

March 19, 2025

Univent Replacement at Stony Point, Thiells, and West Haverstraw Elementary Schools

MSA File No. 43040

Stony Point Elementary School

Thiells Elementary School

West Haverstraw Elementary School

SED No. 50-02-01-06-0-014-012

SED No. 50-02-01-06-0-025-018

SED No. 50-02-01-06-0-024-015

NOTICE TO BIDDERS

Re: **ADDENDUM NO. 2**

THE FOLLOWING REVISIONS TO THE PROJECT MANUAL AND OR THE DRAWINGS REFERENCED HEREIN SHALL BECOME A PART OF THE CONTRACT DOCUMENTS AND SHALL SUPERSEDE ANY PRIOR OR CONFLICTING INFORMATION.

- 1) SEALED BIDS will be received until 1:00 PM. in the office of facilities, on the 25th of March 2025, at the North Rockland Central School District, 65 Chapel Street, Garnerville, NY 10923, at which time and place they will be publicly opened and read. Faxed bids will NOT be accepted. Bids must be in sealed envelope(s) approximately labeled with the following label:
“North Rockland High School Projects – Univent Replacement at Stony Point, Thiells, and West Haverstraw Elementary Schools – Mechanical Construction”
“North Rockland High School Projects – Univent Replacement at Stony Point, Thiells, and West Haverstraw Elementary Schools – General Construction”
“North Rockland High School Projects – Univent Replacement at Stony Point, Thiells, and West Haverstraw Elementary Schools – Electrical Construction”
- 2) Deliver Bids to: North Rockland Central School District
65 Chapel Street
Garnerville, NY 10923
- 3) The North Rockland Central School District is exempt from sales tax.
- 4) All requests may be sent to bidding@shilale.com. As per specification 001000 section 3.2.2, “Requests for clarification or interpretation of the bidding documents shall be submitted by the bidder in writing and shall be received by the architect at least seven (7) days prior to the date for receipt of bids.”
- 5) Requests for additional site visits may be emailed to bidding@shilale.com. We will coordinate with the District for additional visits if required.
- 6) See attached revised plans TES-A-101 and WHES-A-101 including the room tags of the rooms to receive ceiling cassettes related to Alternates No. 201 and 301.
- 7) Revisions for Ceiling Replacement at Stony Point Elementary. See attached Markup drawing SPES-A-401 & SPES-A-402. The ceiling replacement of the highlighted ceilings in yellow will now be base bid. Exclude those areas from Alternate No. 100. The highlighted area in green will not require new ceilings and to be excluded from Alternate No. 100.

- 8) Revisions for Ceiling Replacement at Thiells Elementary School. See attached Markup drawings TES-A-401 & TES-A-402 highlighting locations to receive new ceilings as part of base bid. Exclude those areas from Alternate No. 200.
- 9) Revisions for Ceiling Replacement at West Haverstraw Elementary School. See attached Markup drawings WHES-A-401 & WHES-A-402 highlighting to receive new ceilings as part of base bid. Exclude those areas from Alternate No. 300.
- 10) See attached revised specification section 011200 Multiple Contract Summary.
- 11) See attached Construction Schedule.
- 12) See attached Phasing and Logistics Plans.
- 13) Equipment Screening at Thiells Elementary School and West Haverstraw Elementary School. See attached revised drawings TES-A-103 and WHES-A-103. Drawing A-500 was revised and provided as part of Addendum No. 1.

END OF ADDENDUM NO. 2

C:\Users\alazaro\MSA LLP Dropbox\Andrew Lazaro\ - M DRIVE\2022\42051 High School Projects\6BN\Addenda\Addendum No. 1\42051 Addendum No. 1.doc

SECTION 011200 - MULTIPLE CONTRACT SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes a summary of each contract, including responsibilities for coordination and temporary facilities and controls.
- B. Specific requirements for Work of each contract are also indicated in individual Specification Sections and on Drawings.
- C. Related Requirements:
 - 1. Section 011000 "Summary" for the Work covered by the Contract Documents, restrictions on use of Project site, phased construction, coordination with occupants, and work restrictions.
 - 2. Section 013100 "Project Management and Coordination" for general coordination requirements.

1.3 DEFINITIONS

- A. Permanent Enclosure: As determined by Architect, the condition at which roofing is insulated and weathertight; exterior walls are insulated and weathertight; and all openings are closed with permanent construction or substantial temporary closures equivalent in weather protection to permanent construction.

1.4 PROJECT COORDINATOR

- A. Project coordinator shall be responsible for coordination between the General Construction Contract, Plumbing Contract, HVAC Contract, Electrical Contract,.
 - 1. HVAC Contractor will act as Project Coordinator.

1.5 COORDINATION ACTIVITIES

- A. Coordination activities of Project coordinator include, but are not limited to, the following:
 - 1. Provide overall coordination of the Work.
 - 2. Coordinate shared access to workspaces.
 - 3. Coordinate product selections for compatibility.
 - 4. Provide overall coordination of temporary facilities and controls.
 - 5. Coordinate, schedule, and approve interruptions of permanent and temporary utilities, including those necessary to make connections for temporary services.
 - 6. Coordinate construction and operations of the Work with work performed by each Contract and Owner's construction forces and separate contracts.
 - 7. Prepare coordination drawings in collaboration with each contractor to coordinate work by more than one contract.
 - 8. Coordinate sequencing and scheduling of the Work. Include the following:

- a. Initial Coordination Meeting: At earliest possible date, arrange and conduct a meeting with contractors for sequencing and coordinating the Work; negotiate reasonable adjustments to schedules.
 - b. Prepare a combined contractors' construction schedule for entire Project. Base schedule on preliminary construction schedule. Secure time commitments for performing critical construction activities from contractors. Show activities of each contract on a separate sheet. Prepare a simplified summary sheet indicating combined construction activities of contracts.
 - 1) Submit schedules for approval.
 - 2) Distribute copies of approved schedules to contractors.
9. Provide photographic documentation.
 10. Provide quality-assurance and quality-control services specified in Section 014000 "Quality Requirements."
 11. Coordinate sequence of activities to accommodate tests and inspections, and coordinate schedule of tests and inspections.
 12. Provide information necessary to adjust, move, or relocate existing utility structures affected by construction.
 13. Locate existing permanent benchmarks, control points, and similar reference points, and establish permanent benchmarks on Project site.
 14. Provide field surveys of in-progress construction and site work and final property survey.
 15. Provide progress cleaning of common areas and coordinate progress cleaning of areas or pieces of equipment where more than one contractor has worked.
 16. Coordinate cutting and patching.
 17. Coordinate protection of the Work.
 18. Coordinate firestopping.
 19. Coordinate completion of interrelated punch list items.
 20. Coordinate preparation of Project record documents if information from more than one contractor is to be integrated with information from other contractors to form one combined record.
 21. Print and submit record documents if installations by more than one contractor are indicated on the same contract drawing or shop drawing.
 22. Collect record Specification Sections from contractors, collate Sections into numeric order, and submit complete set.
 23. Coordinate preparation of operation and maintenance manuals if information from more than one contractor is to be integrated with information from other contractors to form one combined record.
- B. Responsibilities of Project coordinator for temporary facilities and controls include, but are not limited to, the following:
1. Provide common-use field office for use by all personnel engaged in construction activities.

1.6 GENERAL REQUIREMENTS OF CONTRACTS

- A. Extent of Contract: Unless the Agreement contains a more specific description of the Work of each Contract, requirements indicated on Drawings and in Specification Sections determine which contract includes a specific element of Project.
1. Unless otherwise indicated, the work described in this Section for each contract shall be complete systems and assemblies, including products, components, accessories, and installation required by the Contract Documents.
 2. Trenches and other excavation for the work of each contract shall be the work of each contract for its own work.
 3. Blocking, backing panels, sleeves, and metal fabrication supports for the work of each contract shall be the work of each contract for its own work.
 4. Furnishing of access panels for the work of each contract shall be the work of each contract for its own work. Installation of access panels shall be the work of the General Construction Contract.
 5. Equipment pads for the work of each contract shall be the work of each contract for its own work.
 6. Roof-mounted equipment curbs for the work of each contract shall be the work of each contract for its own work.
 7. Painting for the work of each contract shall be the work of each contract for its own work. All contractors are responsible for the removal and reinstallation of ceiling (temporary access) where work must be installed above a ceiling not scheduled for removal or out of sequence for new installation.

8. Cutting and Patching: Each contract shall perform its own cutting; patching shall be under the General Construction Contract.
 9. Through-penetration firestopping for the work of each contract shall be provided by each contract for its own work.
 10. Contractors' Startup Construction Schedule: Within five working days after startup horizontal bar-chart-type construction schedule submittal has been received from Project coordinator, submit a matching startup horizontal bar-chart schedule showing construction operations sequenced and coordinated with overall construction.
- B. Substitutions: Each contractor shall cooperate with other contractors involved to coordinate approved substitutions with remainder of the work.
1. Project coordinator shall coordinate substitutions.
- C. Temporary Facilities and Controls: In addition to specific responsibilities for temporary facilities and controls indicated in this Section and in Section 015000 "Temporary Facilities and Controls," each contractor is responsible for the following:
1. Installation, operation, maintenance, and removal of each temporary facility necessary for its own normal construction activity, and costs and use charges associated with each facility, except as otherwise provided for in this Section.
 2. Plug-in electric power cords and extension cords, supplementary plug-in task lighting, and special lighting necessary exclusively for its own activities.
 3. Its own field office, complete with necessary furniture, utilities, and telephone service.
 4. Its own storage and fabrication sheds.
 5. Temporary enclosures for its own construction activities.
 6. Staging and scaffolding for its own construction activities.
 7. General hoisting facilities for its own construction activities, up to 2 tons (2000 kg).
 8. Waste disposal facilities, including collection and legal disposal of its own hazardous, dangerous, unsanitary, or other harmful waste materials.
 9. Progress cleaning of work areas affected by its operations on a daily basis.
 10. Secure lockup of its own tools, materials, and equipment.
 11. Construction aids and miscellaneous services and facilities necessary exclusively for its own construction activities.
- D. Temporary Heating, Cooling, and Ventilation: Project coordinator] is responsible for temporary heating, cooling, and ventilation, including utility-use charges, temporary meters, and temporary connections.
- E. Use Charges: Comply with the following:
1. Water Service: Include the cost for water service, whether metered or otherwise, for water used by all entities engaged in construction activities at Project site in the General Construction Contract.
 2. Electric Power Service: Include the cost for electric power service, whether metered or otherwise, for electricity used by all entities engaged in construction activities at Project site in the General Construction Contract.
- 1.7 GENERAL CONSTRUCTION CONTRACT
- A. Supply all necessary materials, labor, services, equipment, and tools required to perform the following site General Construction, work for the UV Replacement and Rooftop HVAC Units. All work to be installed in strict accordance with Specifications and Drawings.
- B. Supply all necessary materials, equipment, devices and labor for implementation and up-keep of site safety as it relates to this scope of work, to meet or exceed OSHA and / or safety agencies having jurisdiction on this project. Any and all costs resulting from OSHA sited violations will be the complete responsibility of this subcontractor.
- C. This project is a prevailing wage project, and it is the responsibility of this sub-contractor to ensure that all of the latest rules and regulations published by the NYS Department of Labor, Wage and Workplace Standards Division, Public Contract Compliance Unit are strictly followed and adhered to. In the events of an audit conduct by the NYS

Department of Labor, this sub-contractor will be responsible for any and all costs associated with the audit and the Departments' final decision.

- D. Work in the General Construction Contract includes, but is not limited to, the following:
1. Permanent ceiling tile removal and installation. Provide replacement tiles and grid if damaged during removal. All alternate ceiling tile replacement is the under the General Contract.
 2. Supply all materials, labor, equipment, and tools for installation of metal stud partition to encase new ductwork, relief air gypsum enclosures, floor tile replacement and HVAC line set enclosures.
 3. Supply all materials, labor, equipment, and tools to install and finish gypsum at newly constructed metal stud chases, wall area, and masonry walls. Finish and paint all new surfaces, and any damaged existing surfaces.
 4. Supply and install all labor, equipment and temp shoring for the structural improvement to the existing roof structures. Roofing repair will be by HVAC contractor.
 5. Supply all materials, labor, equipment, and tools to install all access panels, patch and paint all disturbed areas.
 6. Supply and install all necessary blocking, anchors, and hangers to support and secure ductwork, and roof curbs.
 7. Supply all materials, labor, equipment, and tools to modify/construct all interior walls, gypsum and masonry patching and paint as required.
 8. File, pay for, and obtain all required permit, inspections and approvals.
 9. Schedule and perform all inspections required by this scope of work.
 10. Removal and disposal of daily generated debris. Upon completion of this contractor's work, all excess materials and debris in the building and site are to be removed and disposed of promptly.
 11. The roof has a Tremco built-up roof. Contractor shall comply with Tremco standards to extend warranty to new areas.
 12. Fabricate, install, and paint all line set enclosures.
 13. This is a prevailing wage project.
 14. Structural work for installation of roof top units.
 15. Cut and install FAI in existing insulating panel, louver to be provided by HVAC contractor.
 16. Modify and install all necessary changes to the casework and other building finishes as required for installation and repair of the UV replacement.
 17. Removal of skylights and ceiling modifications for installation of two (2) new gymnasium RTUs.

1.8 PLUMBING CONTRACT – VOID, NOT IN CONTRACT

1.9 HVAC CONTRACT

- A. Supply all necessary materials, labor, services, equipment and tools required to perform the following site Mechanical Construction work for the UV Replacement and Rooftop HVAC Units. All work to be installed in strict accordance with Specifications and Drawings.
- B. Supply all necessary materials, equipment, devices and labor for implementation and up-keep of site safety as it relates to this scope of work, to meet or exceed OSHA and / or safety agencies having jurisdiction on this project. Any and all costs resulting from OSHA cited violations will be the complete responsibility of this subcontractor
- C. This project is a prevailing wage project and it is the responsibility of this sub-contractor to ensure that all of the latest rules and regulations published by the NYS Department of Labor, Wage and Workplace Standards Division, Public Contract Compliance Unit are strictly followed and adhered to. In the events of an audit conduct by the NYS Department of Labor, this sub-contractor will be responsible for any and all costs associated with the audit and the Departments' final decision.
- D. Work in the HVAC Contract includes, but is not limited to, the following:
1. Remaining work not identified as work under other contracts.

2. The owner will contract directly with Siemens for BMS integration. All controls listed on the drawings and not listed in the Siemens purchase agreement will be the responsibility of the HVAC contract to provide.
3. The owner will purchase HVAC equipment from Trane via state contract and provide to HVAC contract for installation. Equipment that owner will provided is specified in Omnia purchase agreement. All equipment listed on the drawings and not listed in the Trane Omnia purchase agreement will be the responsibility of the HVAC contract to provide. Contractor shall take equipment delivery at all locations. Storage containers will be the provided for UV / Equipment storage on site. MC to protect floors if storing within building.
4. Curbs, RTUs/UV's/ VRF's, and accessories to be hoisted onto the roof or required floor level.
5. Assemble roof curbs and dunnage, set in place, anchor, and flash to roof structure.
6. Supply and install galvanized supply and return curb transitions.
7. All roofing flashing, modifications are by HVAC contract.
8. Install RTUs onto curbs and weather-tight.
9. Install all RTU accessories, including filters.
10. Install UV's and new cabinets, associated ductwork/pipe work and duct/pipe insulation.
11. Install thermostats and make connections at RTUs, UV's, and VRF's
12. Program thermostats for heat, cooling, and occupied & unoccupied times.
13. Make all supply and return ductwork connections.
14. Start up and test RTUs/UV's/VRF's/FAI for heat. Cooling and fresh air where applicable.
15. Adjust all volume dampers and diffusers to provide proper air flow.
16. Make all ductwork connections for fans.
17. Drill and install all condensate piping
18. Test all fans.
19. Balance system as per specifications.
20. File, pay for, and obtain all required permit, inspections, and approvals.
21. Schedule and perform all inspections required by this scope of work.
22. Removal and disposal of daily generated debris.
23. Demolition of existing system that are being replaced.
24. Upon completion of this contractor's work, all excess materials and debris in the building and site are to be removed and disposed of promptly.
25. Integrate with current BMS system.
26. This is a prevailing wage project.
27. Installation of duct smoke detectors, provided by the Electrical Contractor.
28. Provide general contractor FAI louver for insulated panel.
29. Hazardous Material removal and abatement

E. Temporary facilities and controls in the HVAC Contract include, but are not limited to, the following:

1. Temporary facilities and controls that are not otherwise specifically assigned to the Plumbing Contract.
2. Temporary enclosure for building exterior.
3. Temporary roads and paved areas.
4. Project identification and temporary signs.
5. General waste disposal facilities.
6. Temporary fire-protection facilities.
7. Barricades, warning signs, and lights.
8. Site enclosure fence.
9. Security enclosure and lockup.
10. Environmental protection.
11. Restoration of Owner's existing facilities used as temporary facilities.

1.10 ELECTRICAL CONTRACT

- A. Supply all necessary materials, labor, services, equipment and tools required to perform the following site electrical work for the UV Replacement and Rooftop HVAC Units. All work to be installed in strict accordance with Specifications and Drawings.
- B. Supply all necessary materials, equipment, devices and labor for implementation and up-keep of site safety as it relates to this scope of work, to meet or exceed OSHA and / or safety agencies having jurisdiction on this project. Any and all costs resulting from OSHA sited violations will be the complete responsibility of this subcontractor

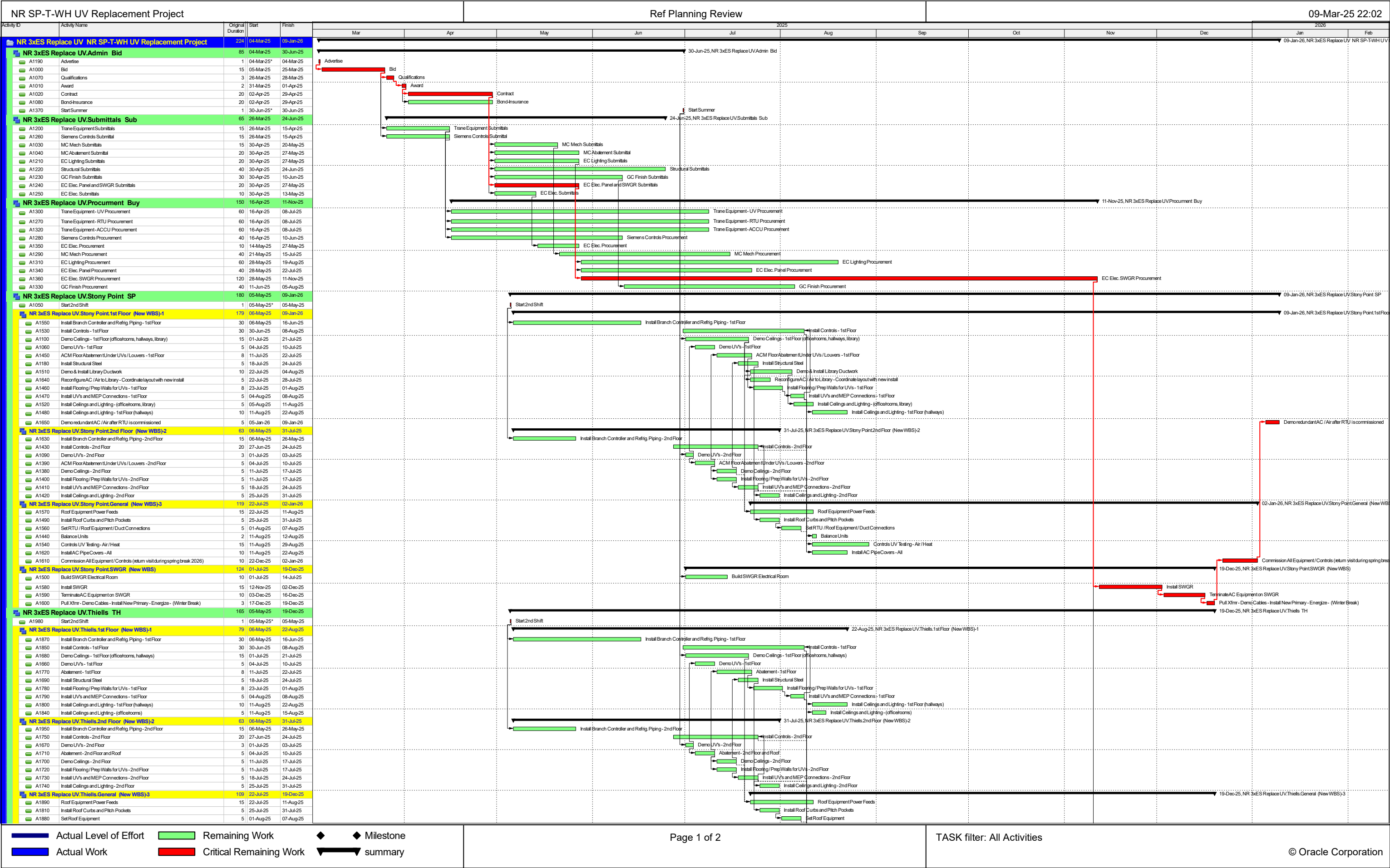
- C. This project is a prevailing wage project and it is the responsibility of this sub-contractor to ensure that all of the latest rules and regulations published by the NYS Department of Labor, Wage and Workplace Standards Division, Public Contract Compliance Unit are strictly followed and adhered to. In the events of an audit conduct by the NYS Department of Labor, this sub-contractor will be responsible for any and all costs associated with the audit and the Departments' final decision.
- D. Work in the Electrical Contract includes, but is not limited to, the following:
1. Supply and install all electrical materials, devices, and equipment for the RTU, UV, and VRF heat pumps .
 2. Supply and install complete electrical service from source to new RTU's and VRF, heat pumps.
 3. Supply and install complete electrical service from source to new RTU and VRF Condenser units.
 4. Supply and install RTU and VRF disconnects and make electrical connections.
 5. Supply and install RTU and VRF maintenance receptacles and make electrical connections.
 6. Disconnect and reconnect electrical connection to UV's.
 7. Provide and install all new lighting.
 8. Test all site installed systems.
 9. Test all factory installed systems.
 10. File and obtain and pay for all required permits, inspections, and approval.
 11. Provide duct detectors to Mechanical Contractor.
 12. Schedule and perform all inspections required by this scope of work.
 13. Start up RTUs, UV, and VRF heat pumps
 14. Supply, install and coordinate fire alarm wiring and devices. Provide duct detectors to HVAC Contractor for installation.
 15. Removal and disposal of daily generated debris.
 16. Upon completion of this contractor's work, all excess materials and debris in the building, connecting link and site are to be removed and disposed of promptly, and site restored to original condition.
 17. This is a prevailing wage project.
- E. All new systems shall include fire and smoke detection connected to the building's existing fire alarm system.
- E. Temporary facilities and controls in the Electrical Contract include, but are not limited to, the following:
1. Electric power service and distribution.
 2. Fire alarm devices shall be surveyed and protected during the work. Contractor shall maintain a safe an operable system during construction, up until the new system us operational.
 3. Contractor shall be responsible for re-installing all existing devices in the ceiling.

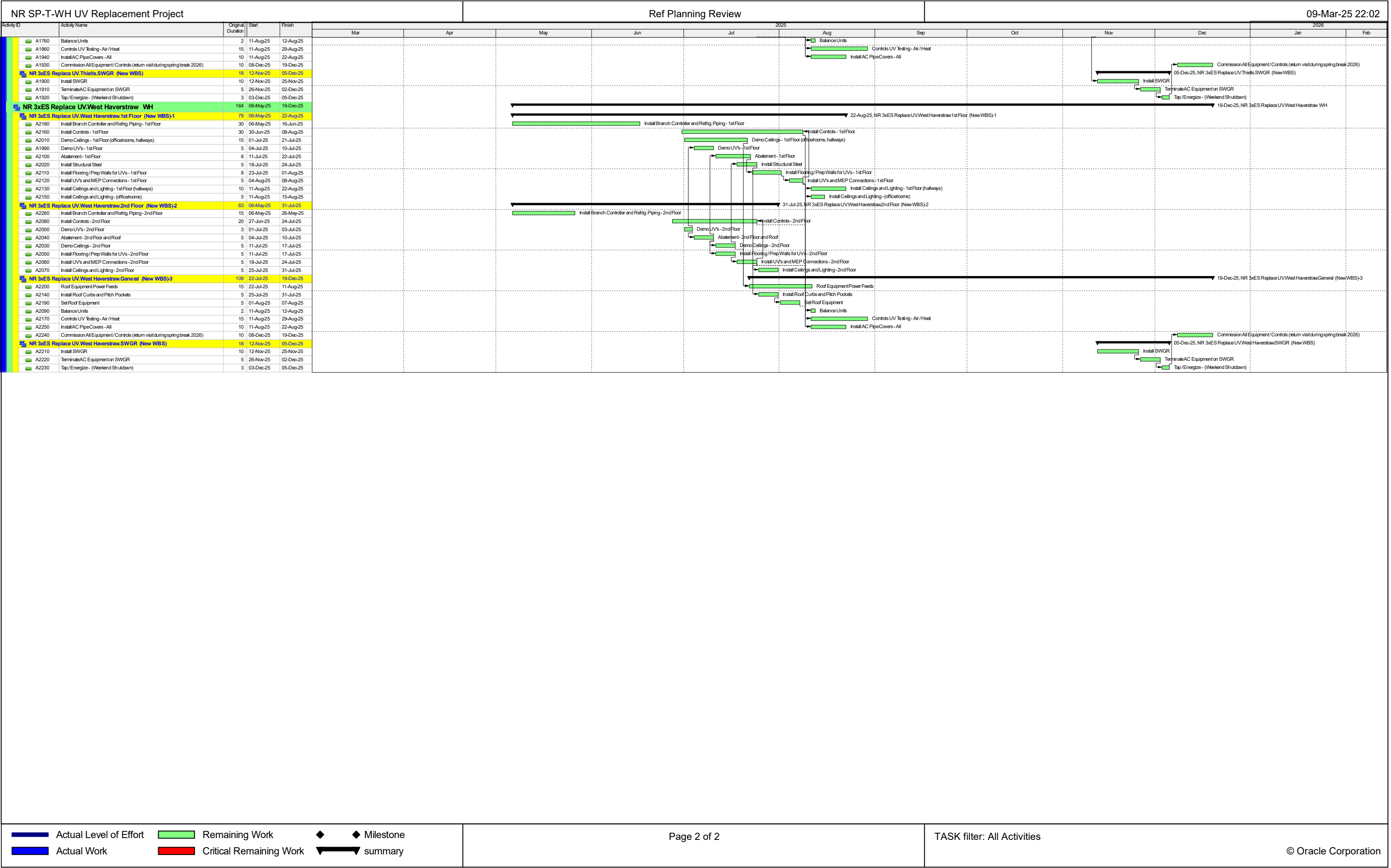
Provide and install temporary power to Hazardous Material Contractor temporary equipment as required for the Hazardous Material Contractor provided sub/supply panel. Electrical connections to existing systems and temporary facilities and controls furnished by the General Construction Contract, Plumbing Contract, HVAC Contract, Electrical Contract,.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011200





Second phase of ACM removals on 1st Floor

First phase of ACM removals on 1st Floor

Direction/Flow of Construction

Abatement Contractor 2nd Floor Access once scheduled

ASBESTOS ABATEMENT LEGEND

① ABATEMENT CONTRACTOR RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF ACM FLOOR TILES AND MASTIC.

② ABATEMENT CONTRACTOR RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF ACM / PCB LOUVER CASING.

REFER TO ASBESTOS ABATEMENT SPECIFICATION 03000-3.17 FOR A MORE DETAILED DESCRIPTION OF THE ABATEMENT WORK REQUIREMENTS.

REFER TO PCB ABATEMENT SPECIFICATION 03000-3.13 FOR A MORE DETAILED DESCRIPTION OF THE PCB ABATEMENT WORK REQUIREMENTS.

UNIVERSITY REPLACEMENT AT STONY POINT, THIELLS & WEST HAVERSTRAW ELEMENTARY SCHOOLS

PROJECT NO. 20-001-01-00-0-000-012
 PROJECT NO. 20-001-01-00-0-000-012
 PROJECT NO. 20-001-01-00-0-000-012

EXISTING FIRST FLOOR ABATEMENT PLAN

SCALE: 1/16"=1'-0"

[illegible]

ACTING UNDER THE

STATE OF NEW YORK
JUDICIAL BRANCH
CLERK OF THE SUPREME COURT
JULY 1, 2015

SEE EXP DATE: 07/01/2015

Drawn by	AM
Checked by	RL
Project No.	43040
Scale	AS NOTED
Date	05-10-24

Mechanical & Electrical Engineer:																																																																																																																																																								
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UNIVENT REPLACEMENT AT
STONY POINT, THIELLS
& WEST HAVERSTRAW
ELEMENTARY SCHOOLS

FIS SED# 50-02-01-06-0-003-012
TES SED# 50-02-01-06-0-023-018
WHS SED# 50-02-01-06-0-024-015

SEE US AT THE 1995
CONVENTION, OCT. 1-5, 1995
COUNTY OF HIGHLAND

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Drawing No. **SPES
HM-101**

Stony Point 2nd Floor Logistics and Phasing Plan

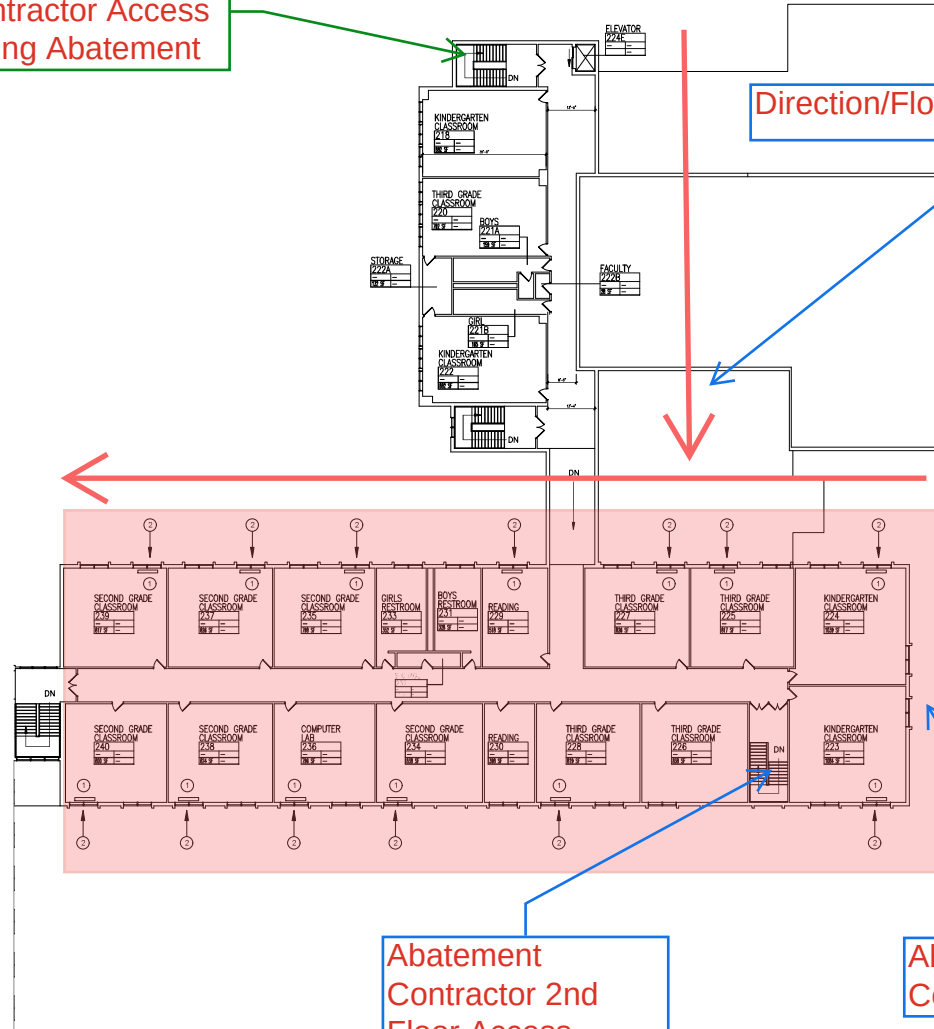
Non Hazardous Contractor Access during Abatement

Direction/Flow of Construction

Abatement Contractor 2nd Floor Access

Abatement Containment Area

1 SECOND FLOOR ABATEMENT PLAN
SCALE: NTS



UNIVENT REPLACEMENT AT STONY POINT, THIELS & WEST HAVENSTRAW ELEMENTARY SCHOOLS

PROJ. NO. 00-02-01-00-0-000-012
 PROJ. NAME: STONY POINT, THIELS & WEST HAVENSTRAW ELEMENTARY SCHOOLS
 100 WEST 10TH ST., NEW YORK, NY 10011-1001
 212-693-1111

HSA
 MICHAEL SHALJE ARCHITECTS, L.L.P.
 100 West Avenue, New York, NY 10011-1001
 212-693-1111

SECOND FLOOR ABATEMENT PLAN

Drawing No. **SPES HM-102**

Drawn by	AM
Checked by	RL
Project No.	43040
Scale	AS NOTED
Date	05-10-24

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER OR ADD TO ANY MAP.

0 1/2 1

MEASURED 1" = 10' PER QUANTITIES

Theills 1st Floor Logistics and Phasing Plan

ASBESTOS ABATEMENT LEGEND

- ① ABATEMENT CONTRACTOR RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF ACM FLOOR TILES AND MASTIC.
 - ② ABATEMENT CONTRACTOR RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF PCB LOUVER CAULK.
 - ③ ABATEMENT CONTRACTOR RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF ACM DUCTWORK, INSULATION, PIN MASTIC ACM AND VIBRATION ISOLATORS.
- REFER TO ASBESTOS ABATEMENT SPECIFICATION 02800-3.17 FOR A MORE DETAILED DESCRIPTION OF THE ABATEMENT WORK REQUIREMENTS.
- REFER TO PCB ABATEMENT SPECIFICATION 028400-3.13 FOR A MORE DETAILED DESCRIPTION OF THE PCB ABATEMENT WORK REQUIREMENTS.

Direction/Flow of Construction

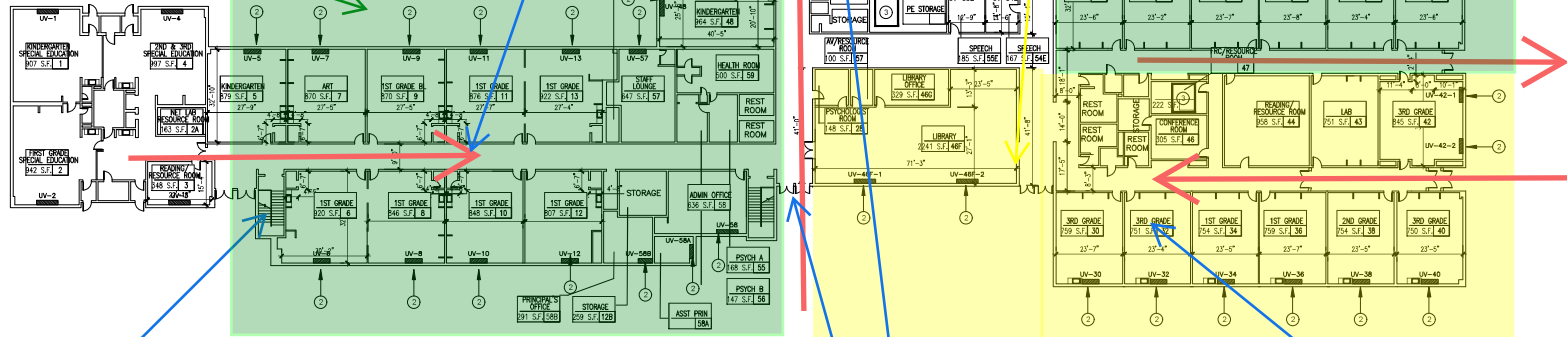
First phase of ACM removals on 1st Floor

Second phase of ACM removals on 1st Floor

Abatement Contractor 2nd Floor Access

Non Hazardous Contractor Access during Abatement

Abatement Containment Area



1 FIRST FLOOR ABATEMENT PLAN
SCALE: 1/16"=1'-0"

43041 EXIST FIRST FLOOR PLAN
SCALE: 1"=1'-0" NORTH

No.	Date	Revisions



Drawn by	AM
Checked by	RL
Project No.	43041
Scale	AS NOTED
Date	05-10-24

Mechanical & Electrical Engineer	QUEST Inc. Environmental www.questinc.com
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UNIVENT REPLACEMENT AT
STONY POINT, THEILLS
& WEST HAVESTRAW
ELEMENTARY SCHOOLS
PSS 5804 50-50-01-00-00-018
PSS 5804 50-50-01-00-00-018
WSS 5804 50-50-01-00-00-018
440 PPS 5804 50-50-01-00-00-018



FIRST FLOOR ABATEMENT PLAN
TES
HM-101

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

Theills 2nd Floor Logistics and Phasing Plan

ASBESTOS ABATEMENT LEGEND

① ABATEMENT CONTRACTOR RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF ACM FLOOR TILES AND MASTIC.

② ABATEMENT CONTRACTOR RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF PCB LOUVRE CAULK.

③ ABATEMENT CONTRACTOR RESPONSIBLE FOR TOTAL AND COMPLETE REMOVAL AND DISPOSAL OF ACM DUCTWORK, INSULATION, FIB MASTIC ACM AND VIBRATION ISOLATORS.

REFER TO ASBESTOS ABATEMENT SPECIFICATION 020800 - 3.17 FOR A MORE DETAILED DESCRIPTION OF THE ABATEMENT WORK REQUIREMENTS.

REFER TO PCB ABATEMENT SPECIFICATION 020400 - 3.13 FOR A MORE DETAILED DESCRIPTION OF THE PCB ABATEMENT WORK REQUIREMENTS.

Direction/Flow of Construction

Abatement Contractor 2nd Floor Access

Abatement Containment Area

1 SECOND FLOOR ABATEMENT PLAN
SCALE: NTS



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

Revisions	No.	Date	Revisions



Drawn by	AM
Checked by	RL
Project No.	43041
Scale	AS NOTED
Date	05-10-24

Professional Engineer	David J. H. Smith 1278 Route 9 Hempstead, NY 11550 646.258.0031 www.djhsmith.com
Environmental Engineer	David J. H. Smith 1278 Route 9 Hempstead, NY 11550 646.258.0031 www.djhsmith.com

UNIVENT REPLACEMENT AT
STONY POINT, THEILLS
& WEST HAVERSTRAW
ELEMENTARY SCHOOLS

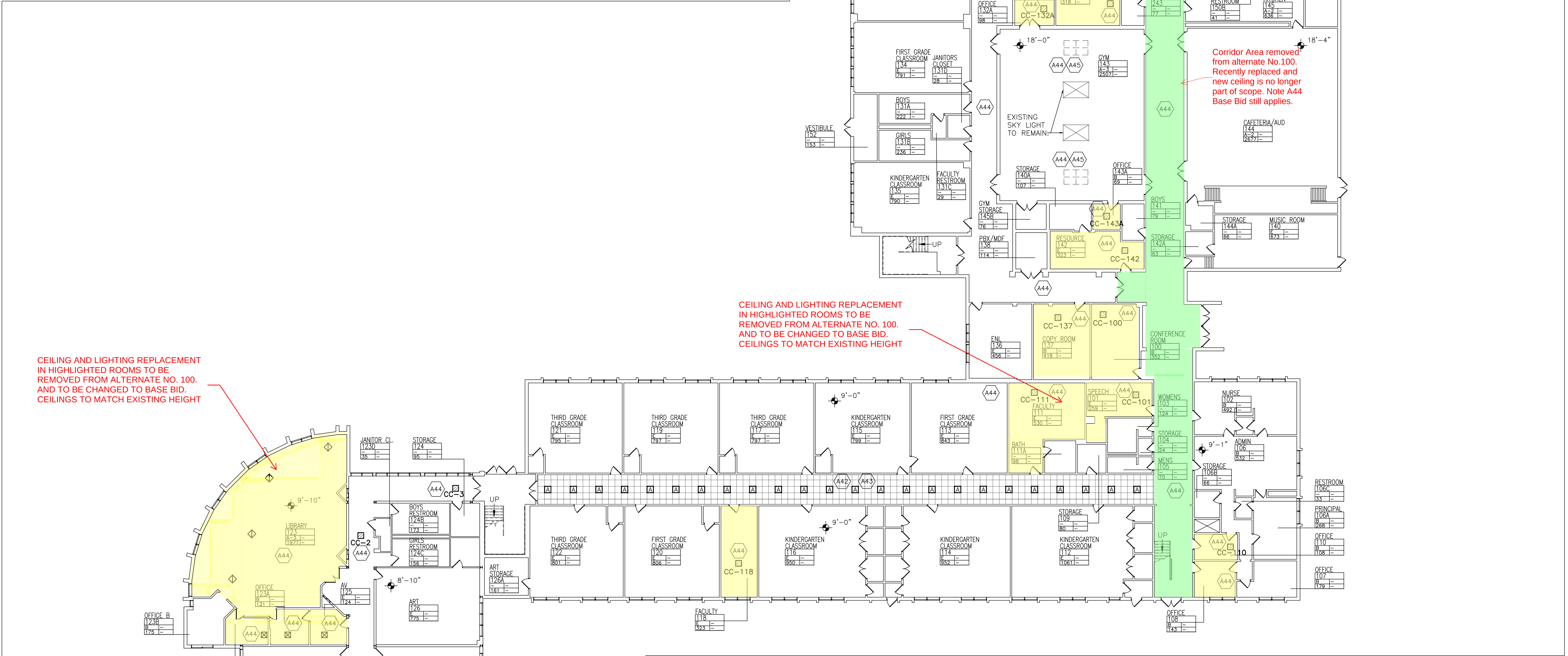
THEILLS 90-02-01-06-0-005-010
THEILLS 90-02-01-06-0-005-010
THEILLS 90-02-01-06-0-005-010
COUNTY OF SULLY



**SECOND FLOOR
ABATEMENT
PLAN**

Drawing No. **TES
HM-102**

A40 VOID.	A45 NEW RTU ABOVE TO INFILL EXISTING SKYLIGHT OPENING. SEE PLANS SPES-A-103, SPES-S-101, AND SPES-M-106.
A41 VOID	
A42 INSTALL NEW 2X2 SUSPENDED ACT-1 CEILING. NEW CEILING HEIGHT TO MATCH EXISTING.	
A43 INSTALL NEW 2X2 RECESSED LIGHTING IN NEW CEILING GRID.	
A44 BASE BID: MODIFY AND REINSTALL EXISTING ACT CEILING/CEILING, CEILING LIGHTS FOR NEW HVAC EQUIPMENT AND REFRIGERANT PIPING AS REQUIRED. ALTERNATE-100: REPLACE EXISTING CEILING/CEILING TILE, GRID AND LIGHTING WITH NEW ACT-1 AND LIGHTING	
KEY NOTES	



1

PROPOSED FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1"=16'-0"

PLAN NORTH

- GENERAL NOTES
1. CONTRACTOR SHALL BE REQUIRED TO CORE DRILL ALL HOLES IN WALLS, FLOORS AND CEILINGS TO FACILITATE NEW LINESETS, ELECTRICAL CONDUITS AND CONDENSATE LINES.

2. EXT'D CLG. TILE SHALL BE REMOVED AS REQ'D. TO ALLOW INSTALLATION AND REMOVAL OF HVAC DEVICES, LINESETS, AND ELECTRICAL. AS REQ'D FOR THIS WORK. REINSTALLATION OF ALL CLG'S AS REQ'D. COORDINATE WITH MECHANICAL DRAWINGS.

3. FIRE ALARM DEVICES, SECURITY CAMERA, AND OTHER CEILING MOUNTED DEVICES TO BE REMOVED, TEMPORARILY STORED AND RE-INSTALLED AS REQ'D.

LEGEND

—

EXISTING THROUGH WALL LOUVER

☒

SUPPLY REGISTER

☒

EXISTING SUPPLY REGISTER

NEW UNIT VENT

UV-00

NEW FAN COIL UNIT

FC-00

NEW CEILING CASSETTE

CC-00

NEW RELIEF VENT ENCLOSURE

2' x 2' SUSPENDED CLG GRID

2' x 2' RECESSED LIGHT

RETURN

CEILING ACCESS PANEL

X'-X" CEILING ELEVATION

EXHAUST

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1", THEN DRAWING IS NOT TO FULL SCALE

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

Drawn by

JR/SP/OG

Checked by

MS/JC

Project No.

43041

Scale

AS NOTED

Date

03-18-24

REG. EXP DATE:

12-31-25

GREENMAN PEDERSEN, INC

MECHANICAL & ELECTRICAL ENGINEER

400 BELLA BOULEVARD

MONTEBELLO, NY 10901

GREENMAN PEDERSEN, INC

STRUCTURAL ENGINEER

400 BELLA BOULEVARD

MONTEBELLO, NY 10901

UNIVENT REPLACEMENT AT STONY POINT, THIELLS AND WEST HAVERSTRAW ELEMENTARY SCHOOL

SPES SED# 50-02-01-06-0-014-012

TES SED# 50-02-01-06-0-025-018

WHES SED# 50-02-01-06-0-024-015

7 GURNEE DRIVE

STONY POINT, NY 10980

COUNTY OF ROCKLAND

HSA

MICHAEL SHILALE ARCHITECTS, L.L.P.

140 Park Avenue New City, NY 10956 Tel 845-708-9200

www.mshlak.com

Drawing No.

SPES-A-401

A40

VOID.

A41

VOID

A42

INSTALL NEW 2X2 SUSPENDED ACT-1 CEILING. NEW CEILING HEIGHT TO MATCH EXISTING.

A43

INSTALL NEW 2X2 RECESSED LIGHTING IN NEW CEILING GRID.

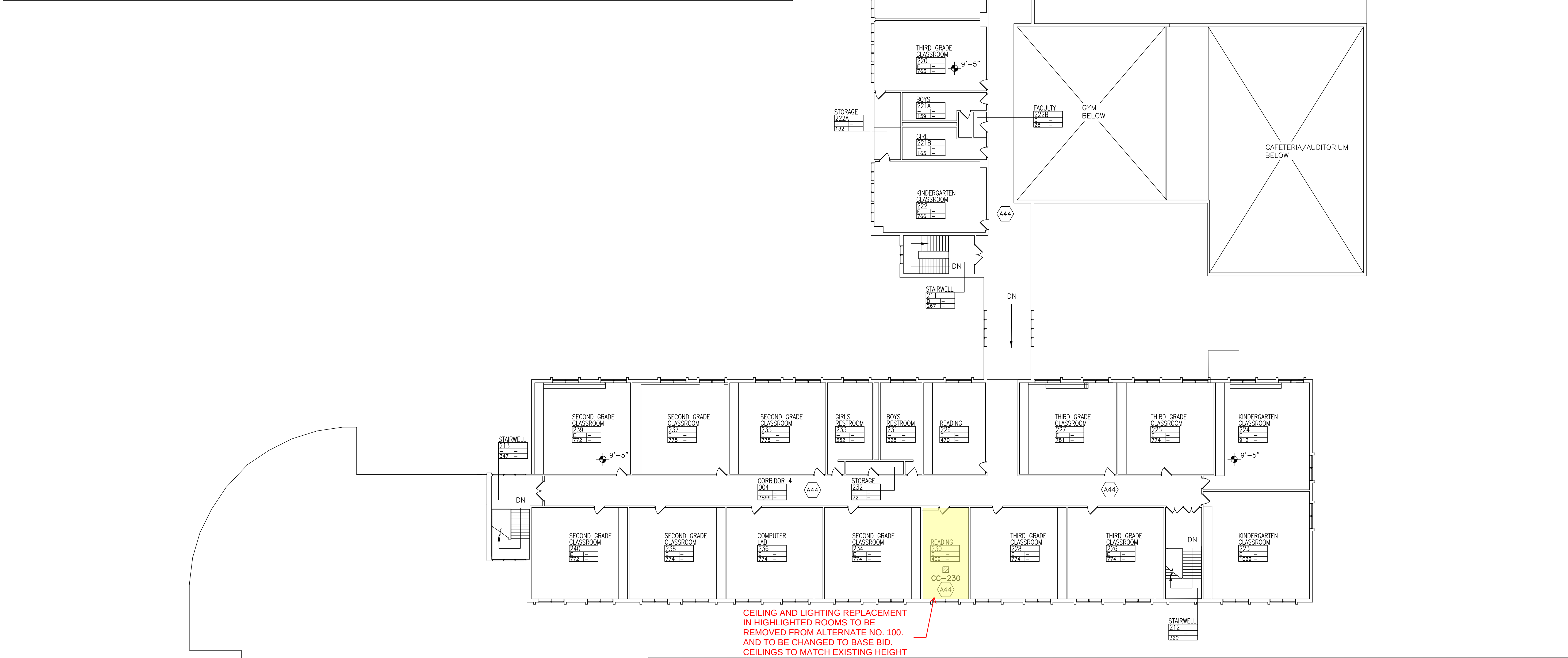
A44

BASE BID: MODIFY AND REINSTALL EXISTING ACT CEILING/CEILING, CEILING LIGHTS FOR NEW HVAC EQUIPMENT AND REFRIGERANT PIPING AS REQUIRED.
ALTERNATE-100: REPLACE EXISTING CEILING/CEILING TILE, GRID AND LIGHTING WITH NEW ACT-1 AND LIGHTING

A45

NEW RTU ABOVE TO INFILL EXISTING SKYLIGHT OPENING. SEE PLANS SPES-A-103, SPES-S-101, AND SPES-M-106.

KEY NOTES



1

PROPOSED SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/16"=1'-0"

PLAN NORTH

1.

CONTRACTOR SHALL BE REQUIRED TO CORE DRILL ALL HOLES IN WALLS, FLOORS AND CEILINGS TO FACILITATE NEW LINESETS, ELECTRICAL CONDUITS AND CONDENSATE LINES.

2.

EXT'G CLG. TILE SHALL BE REMOVED AS REQ'D. TO ALLOW INSTALLATION AND REMOVAL OF HVAC DEVICES, LINESETS, AND ELECTRICAL, AS REQ'D FOR THIS WORK. REINSTALLATION OF ALL CLG'S AS REQ'D. COORDINATE WITH MECHANICAL DRAWINGS.

3.

FIRE ALARM DEVICES, SECURITY CAMERA, AND OTHER CEILING MOUNTED DEVICES TO BE REMOVED, TEMPORARILY STORED AND RE-INSTALLED AS REQ'D.

—

EXISTING THROUGH WALL LOUVER

☒

SUPPLY REGISTER

☒

EXISTING SUPPLY REGISTER

NEW UNIT VENT
UV-00

NEW FAN COIL UNIT
FC-00

☒

NEW CEILING CASSETTE
CC-00

RA

NEW RELIEF VENT ENCLOSURE

2' x 2' SUSPENDED CLG GRID

A

2' x 2' RECESSED LIGHT

☒

RETURN

☒

CEILING ACCESS PANEL

X'-X"

CEILING ELEVATION

☒

EXHAUST

LEGEND

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Drawing Title
PROPOSED
SECOND FLOOR
RCP PLAN

Michael Shilale Architects LLP
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info@shilale.com

Drawing No.
SPES-A-402

UNIVENT REPLACEMENT AT
STONY POINT, THIELLS
AND WEST HAVERSTRAW
ELEMENTARY SCHOOL

SPES SED# 50-02-01-08-0-014-012
YES SED# 50-02-01-06-0-025-018
WHES SED# 50-02-01-06-0-024-015
7 GURNE DRIVE
STONY POINT, NY 10980
COUNTY OF ROCKLAND

Greenman
& Pedersen
Engineer:
Mechanical
& Electrical
Engineer:
Greenman
Pedersen, Inc.
400 BELLA BOULEVARD
MONTEBELLO, NY 10901

Greenman
& Pedersen
Engineer:
Structural
Engineer:
Greenman
Pedersen, Inc.
400 BELLA BOULEVARD
MONTEBELLO, NY 10901

Drawn by
JR/SP/CG

Checked by
MS/JC

Project No.
43041

Scale
AS NOTED

Date
03-18-24

REG. EXP DATE: 12-31-25

No. 0

Date 03-04-25

Revisions

Drawn by JR/SP/CG	Checked by MS/JC	Project No. 43041	Scale AS NOTED	Date 03-18-24
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Mechanical & Electrical Engineer: Greenman Pedersen, Inc. 400 BELLA BOULEVARD MONTEBELLO, NY 10901	Structural Engineer: Greenman Pedersen, Inc. 400 BELLA BOULEVARD MONTEBELLO, NY 10901
--	--

UNIVENT REPLACEMENT AT
STONY POINT, THIELLS
AND WEST HAVERSTRAW
ELEMENTARY SCHOOL

SPES SED# 50-02-01-08-0-014-012
YES SED# 50-02-01-06-0-025-018
WHES SED# 50-02-01-06-0-024-015
7 GURNE DRIVE
STONY POINT, NY 10980
COUNTY OF ROCKLAND

MSA

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info@shilale.com

PROPOSED
SECOND FLOOR
RCP PLAN

Drawing No.
SPES-A-402

—

EXISTING THROUGH WALL LOUVER

☒

SUPPLY REGISTER

☒

EXISTING SUPPLY REGISTER

NEW UNIT VENT
UV-00

NEW FAN COIL UNIT
FC-00

NEW CEILING CASSETTE
CC-00

NEW RELIEF VENT
ENCLOSURE

2' X 2' SUSPENDED CLG
GRID

A

2' X 2' RECESSED LIGHT

RETURN

CEILING ACCESS PANEL

X'-X"

CEILING ELEVATION

EXHAUST

LEGEND

A40

VOID.

A41

VOID

A42

INSTALL NEW 2X2 SUSPENDED ACT-1 CEILING. NEW CEILING HEIGHT TO MATCH EXISTING.

A43

INSTALL NEW 2X2 RECESSED LIGHTING IN NEW CEILING GRID.

A44

BASE BID: MODIFY AND REINSTALL EXISTING ACT CEILING/CEILING, CEILING LIGHTS FOR NEW HVAC EQUIPMENT AND REFRIGERANT PIPING AS REQUIRED.
ALTERNATE-200: REPLACE EXISTING CEILING/CEILING TILE, GRID AND LIGHTING WITH NEW ACT-1 AND LIGHTING

KEY NOTES

1. CONTRACTOR SHALL BE REQUIRED TO CORE DRILL ALL HOLES IN WALLS, FLOORS AND CEILINGS TO FACILITATE NEW LINESETS, ELECTRICAL CONDUITS AND CONDENSATE LINES.

2. EXT'G CLG. TILE SHALL BE REMOVED AS REQ'D. TO ALLOW INSTALLATION AND REMOVAL OF HVAC DEVICES, LINESETS, AND ELECTRICAL, AS REQ'D FOR THIS WORK. REINSTALLATION OF ALL CLG'S AS REQ'D. COORDINATE WITH MECHANICAL DRAWINGS.

3. FIRE ALARM DEVICES, SECURITY CAMERA, AND OTHER CEILING MOUNTED DEVICES TO BE REMOVED, TEMPORARILY STORED AND RE-INSTALLED AS REQ'D.

GENERAL NOTES



1

PROPOSED FIRST FLOOR RCP

SCALE: 1"=20'-0"

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

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Checked by

Project No.

Scale

Date

GREENMAN PEDERSEN, INC

400 BELLA BOULEVARD

MONTEBELLO, NY 10901

GREENMAN PEDERSEN, INC

400 BELLA BOULEVARD

MONTEBELLO, NY 10901

UNIVENT REPLACEMENT AT

STONY POINT, THIELLS

AND WEST HAVERSTRAW

ELEMENTARY SCHOOL

SPES SED# 50-02-01-08-0-014-012

TES SED# 50-02-01-08-0-025-018

WHES SED# 50-02-01-08-0-024-015

7 CURRIER DRIVE

STONY POINT, NY 10980

COUNTY OF ROCKLAND

MSA

MICHAEL SHILALE ARCHITECTS, L.L.P.

140 Park Avenue North, 5th Fl., New York, NY 10018 Tel: 212-685-7050 Fax: 212-685-7051

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Drawing Title

PROPOSED FIRST FLOOR RCP

Drawing No.

TES-A-401

—

EXISTING THROUGH WALL LOUVER

☒

SUPPLY REGISTER

☒

EXISTING SUPPLY REGISTER

NEW UNIT VENT
UV-00

NEW FAN COIL UNIT
FC-00

NEW CEILING CASSETTE
CC-00

RA

NEW RELIEF VENT ENCLOSURE

2' x 2' SUSPENDED CLG GRID

A

2' X 2' RECESSED LIGHT

RETURN

CEILING ACCESS PANEL

X'-X"

CEILING ELEVATION

EXHAUST

LEGEND

(A40)

VOID.

(A41)

VOID

(A42)

INSTALL NEW 2X2 SUSPENDED ACT-1 CEILING. NEW CEILING HEIGHT TO MATCH EXISTING.

(A43)

INSTALL NEW 2X2 RECESSED LIGHTING IN NEW CEILING GRID.

(A44)

BASE BID: MODIFY AND REINSTALL EXISTING ACT CEILING/CEILING, CEILING LIGHTS FOR NEW HVAC EQUIPMENT AND REFRIGERANT PIPING AS REQUIRED.
ALTERNATE-200: REPLACE EXISTING CEILING/CEILING TILE, GRID AND LIGHTING WITH NEW ACT-1 AND LIGHTING

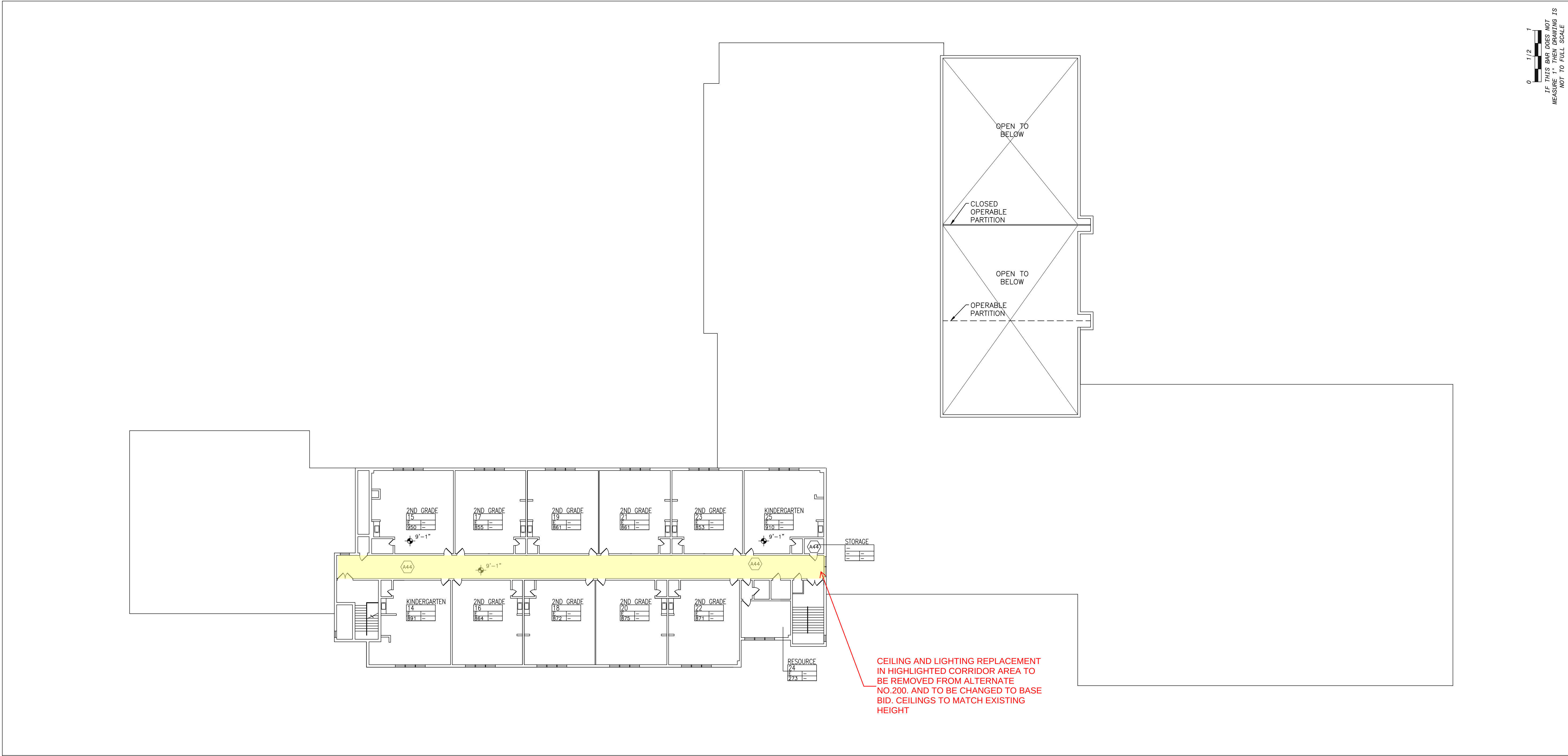
KEY NOTES

1. CONTRACTOR SHALL BE REQUIRED TO CORE DRILL ALL HOLES IN WALLS, FLOORS AND CEILINGS TO FACILITATE NEW LINESETS, ELECTRICAL CONDUITS AND CONDENSATE LINES.

2. EXT'G CLG. TILE SHALL BE REMOVED AS REQ'D. TO ALLOW INSTALLATION AND REMOVAL OF HVAC DEVICES, LINESETS, AND ELECTRICAL, AS REQ'D FOR THIS WORK. REINSTALLATION OF ALL CLG'S AS REQ'D. COORDINATE WITH MECHANICAL DRAWINGS.

3. FIRE ALARM DEVICES, SECURITY CAMERA, AND OTHER CEILING MOUNTED DEVICES TO BE REMOVED, TEMPORARILY STORED AND RE-INSTALLED AS REQ'D.

GENERAL NOTES



1

PROPOSED SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1"=20'-0"



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO FULL SCALE

Drawn by JR

Checked by MS/JC

Project No.

Scale

Date

GREENMAN PEDERSEN, INC
400 BELLA BOULEVARD
MONTEBELLO, NY 10901

GREENMAN PEDERSEN, INC
400 BELLA BOULEVARD
MONTEBELLO, NY 10901

UNIVENT REPLACEMENT AT
STONY POINT, THIELLS
AND WEST HAVERSTRAW
ELEMENTARY SCHOOL

SPES SED# 50-02-01-08-0-014-012
TES SED# 50-02-01-08-0-025-018
WHES SED# 50-02-01-08-0-024-015
7 CURRIER DRIVE
STONY POINT, NY 10980
COUNTY OF ROCKLAND

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www.shilale.com

PROPOSED
SECOND FLOOR
RCP PLAN

Drawing Title

PLAN NORTH

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TES-A-402

Drawing No.

No.

Date

Revisions

0 03-04-25 BIDDING DOCUMENTS

REG. EXP DATE: 12-31-25

	EXISTING THROUGH WALL LOUVER		NEW RELIEF VENT ENCLOSURE
	SUPPLY REGISTER		2' x 2' SUSPENDED CLG GRID
	EXISTING SUPPLY REGISTER		2' x 2' RECESSED LIGHT
	NEW UNIT VENT		RETURN
	NEW FAN COIL UNIT		CEILING ACCESS PANEL
	NEW CEILING CASSETTE		CEILING ELEVATION
	CC-00		EXHAUST

LEGEND

	VOID.
	VOID
	INSTALL NEW 2X2 SUSPENDED ACT-1 CEILING. NEW CEILING HEIGHT TO MATCH EXISTING.
	INSTALL NEW 2X2 RECESSED LIGHTING IN NEW CEILING GRID.
	BASE BID: MODIFY AND REINSTALL EXISTING ACT CEILING/CEILING, CEILING LIGHTS FOR NEW HVAC EQUIPMENT AND REFRIGERANT PIPING AS REQUIRED. ALTERNATE-300: REPLACE EXISTING CEILING/CEILING TILE, GRID AND LIGHTING WITH NEW ACT-1 AND LIGHTING

KEY NOTES

1.	CONTRACTOR SHALL BE REQUIRED TO CORE DRILL ALL HOLES IN WALLS, FLOORS AND CEILINGS TO FACILITATE NEW LINESETS, ELECTRICAL CONDUITS AND CONDENSATE LINES.
2.	EXT'G CLG. TILE SHALL BE REMOVED AS REQ'D. TO ALLOW INSTALLATION AND REMOVAL OF HVAC DEVICES, LINESETS, AND ELECTRICAL, AS REQ'D FOR THIS WORK. REINSTALLATION OF ALL CLG'S AS REQ'D. COORDINATE WITH MECHANICAL DRAWINGS.
3.	FIRE ALARM DEVICES, SECURITY CAMERA, AND OTHER CEILING MOUNTED DEVICES TO BE REMOVED, TEMPORARILY STORED AND RE-INSTALLED AS REQ'D.

GENERAL NOTES

1

PROPOSED FIRST FLOOR RCP

SCALE: 1"=20'-0"

0 1/2 1

IF THIS BID DOES NOT MEASURE 1" THEN DRAWING IS NOT TO FULL SCALE

Drawn by

Checked by

Project No.

Scale

Date

GREENMAN PEDERSEN, INC

Mechanical & Electrical Engineer

GREENMAN PEDERSEN, INC

Structural Engineer

UNIVENT REPLACEMENT AT STONY POINT, THIELLS AND WEST HAVERSTRAW ELEMENTARY SCHOOL

SPES SBD# 50-02-01-06-0-014-012

TES SBD# 50-02-01-06-0-025-018

WHES SBD# 50-02-01-06-0-024-015

COURTESY, DEPT. OF EDUCATION

STONY POINT, NY 10980

M S A

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PROPOSED FIRST FLOOR RCP

Drawing No.

WHES-A-401

03-04-25 BIDDING DOCUMENTS

03-18-24

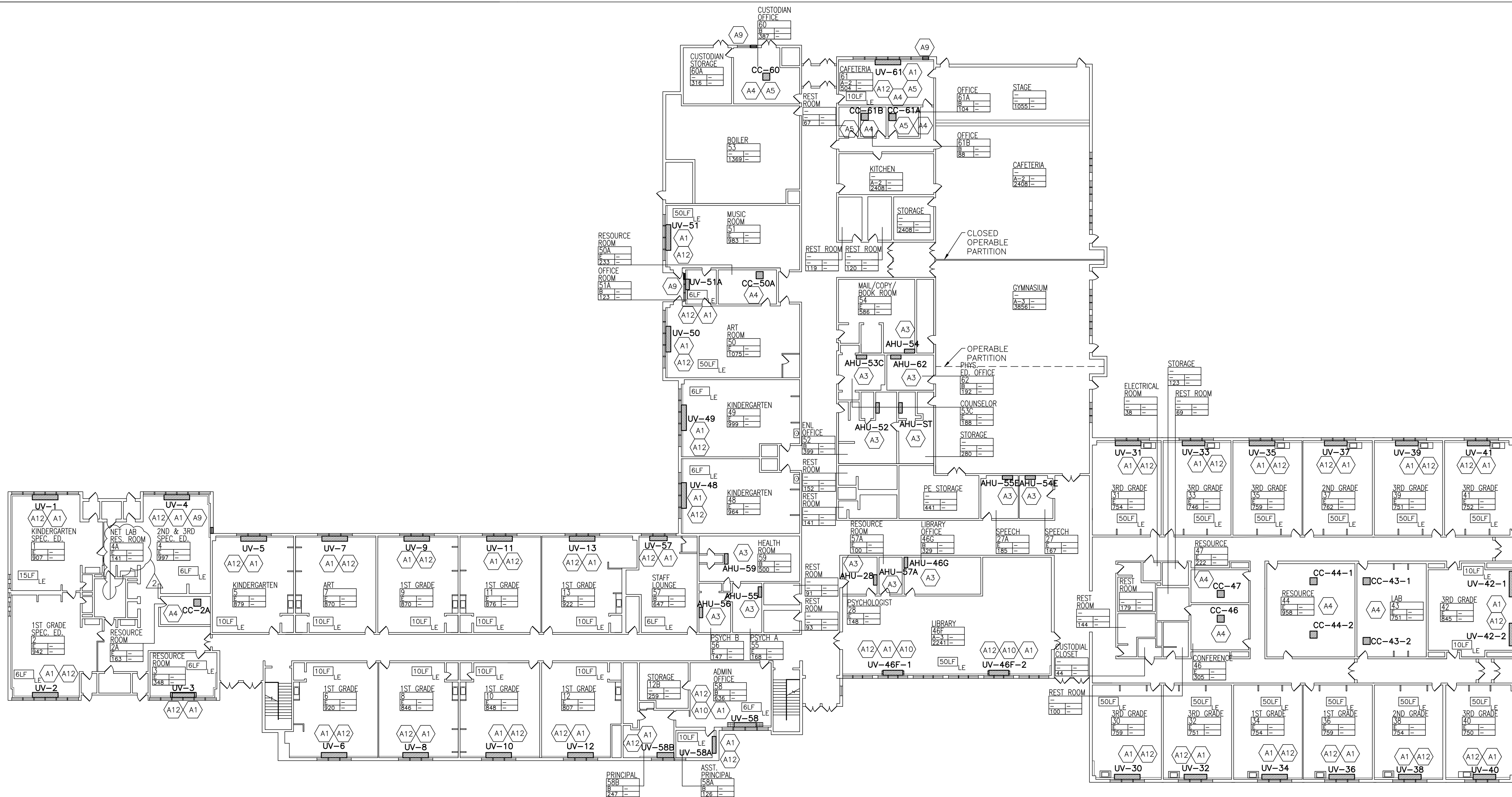
REG. EXP. DATE: 12-31-25

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

	THROUGH WALL LOUVER		FLOOR PATCHING TO MATCH EXISTING PATTERN
	NEW UNIT VENT UV-00		SUPPLY REGISTER
	NEW FAN COIL UNIT FC-00		RETURN
	NEW CEILING CASSETTE CC-00		ACCESS PANEL
	LINEAR FEET OF LINE SET ENCLOSURE		

A1 INSTALL NEW UNIT VENTILATOR (UV). SEE MECHANICAL DRAWINGS A2 VOID. A3 INSTALL NEW AIR HANDLER UNIT (AHU). SEE MECHANICAL DRAWINGS A4 INSTALL NEW CEILING CASSETTES (CC). SEE MECHANICAL DRAWINGS A5 INSTALL NEW SUPPLY/RETURN DIFFUSER AND REPLACE CEILING TILES WHERE REQUIRED. SEE MECHANICAL DRAWINGS FOR LOCATION OF DIFFUSERS.	A7 PATCH FLOOR AS REQUIRED WHERE HVAC UNIT WAS REMOVED. A8 PATCH SOFFIT WHERE LOUVER WAS REMOVED AND MATCH FINISH TO EXISTING. A9 PROVIDE NEW LOUVER L-1. SEE MECHANICAL DRAWINGS A10 PATCH EXISTING FLOOR AND WALL WHERE EXISTING UV IS REMOVED A11 VOID A12 PROVIDE METAL LINE SET ENCLOSURES AS PER DETAIL 1/A-610. COORDINATE WITH MECHANICAL DRAWINGS FOR LOCATIONS.
KEY NOTES	

1. CONTRACTOR SHALL BE REQUIRED TO CORE DRILL ALL HOLES IN WALLS, FLOORS AND CEILINGS TO FACILITATE NEW LINESETS, ELECTRICAL CONDUITS AND CONDENSATE LINES.
2. PATCH EXISTING VCT FLOORING AT BASE UNDER UNI-VENT TO MATCH EXIST. AS REQ'D.
3. PATCH EXISTING PLASTER/GYPSUM AT ALL UV LOCATIONS TO MATCH EXIST. AS REQ'D.
4. EXT'G CLG. TILE SHALL BE REMOVED AS REQ'D. TO ALLOW INSTALLATION AND REMOVAL OF HVAC DEVICES, LINESETS, AND ELECTRICAL, AS REQ'D FOR THIS WORK. REINSTALLATION OF ALL CLG'S AS REQ'D. COORDINATE WITH MECHANICAL DRAWINGS. COORDINATE WITH A-400 SERIES DRAWINGS; REFLECTED CEILING PLANS.
5. FIRE ALARM DEVICES TO BE REMOVED, TEMPORARILY STORED AND RE-INSTALLED AS REQ'D.
6. PROVIDE SPLASH BLOCKS AT ALL UV'S IN FIRST FLOOR.



IF THIS BAR DOES NOT MEASURE 1", THEN DRAWING IS NOT TO FULL SCALE

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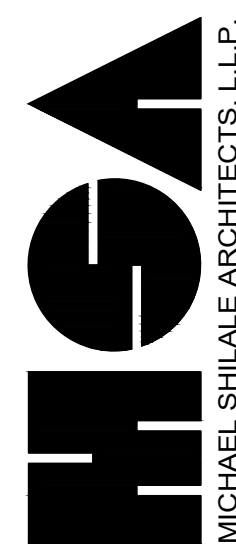
Date	03-04-25	REG. EXP. DATE: 12-31-25 DRAWING SHEET
Scale		
Project No.	43042	
Checked by	MS/JC	
Drawn by	JR	

Mechanical & Electrical Engineer:	GREENMAN PEDERSEN, INC 400 RELLA BOULEVARD MONTEBELLO, NY 10901
Structural Engineer:	GREENMAN PEDERSEN, INC 400 RELLA BOULEVARD MONTEBELLO, NY 10901

UNIVENT REPLACEMENT AT
STONY POINT, THIELS
AND WEST HAVERSTRAW
ELEMENTARY SCHOOL

SPES SED# 50-02-01-06-0-014-012
TES SED# 50-02-01-06-0-025-018
WHES SED# 50-02-01-06-0-024-015

CUMBER JAWY
STONY POINT, NY 10980
COUNTY OF ROCKLAND



MICHAEL SHILALE ARCHITECTS, L.P.
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www.shilale.com

PROPOSED FIRST FLOOR PLAN

Drawing No.

TES-A-101



1

PROPOSED FIRST FLOOR PLAN

SCALE: 1"=20'-0"

THROUGH WALL LOUVER

NEW UNIT VENT
UV-00

NEW FAN COIL UNIT
FC-00

NEW CEILING CASSETTE
CC-00

LINEAR FEET OF LINE
SET ENCLOSURE

FLOOR PATCHING TO MATCH
EXISTING PATTERN

SUPPLY REGISTER

RETURN

ACCESS PANEL

LEGEND

A1

INSTALL NEW UNIT VENTILATOR (UV). SEE MECHANICAL DRAWINGS

A2

VOID.

A3

INSTALL NEW AIR HANDLER UNIT (AHU). SEE MECHANICAL DRAWINGS

A4

INSTALL NEW CEILING CASSETTES (CC). SEE MECHANICAL DRAWINGS

A5

INSTALL NEW SUPPLY/RETURN DIFFUSER AND REPLACE CEILING TILES WHERE REQUIRED. SEE MECHANICAL DRAWINGS FOR LOCATION OF DIFFUSERS.

A7

PATCH FLOOR AS REQUIRED WHERE HVAC UNIT WAS REMOVED.

A8

PATCH SOFFIT WHERE LOUVER WAS REMOVED AND MATCH FINISH TO EXISTING.

A9

PROVIDE NEW LOUVER L-1. SEE MECHANICAL DRAWINGS

A10

PATCH EXISTING FLOOR AND WALL WHERE EXISTING UV IS REMOVED

A11

VOID

A12

PROVIDE METAL LINE SET ENCLOSURES AS PER DETAIL 1/A-610. COORDINATE WITH MECHANICAL DRAWINGS FOR LOCATIONS.

KEY NOTES

1. CONTRACTOR SHALL BE REQUIRED TO CORE DRILL ALL HOLES IN WALLS, FLOORS AND CEILINGS TO FACILITATE NEW LINESETS, ELECTRICAL CONDUITS AND CONDENSATE LINES.

2. PATCH EXISTING VCT FLOORING AT BASE UNDER UNI-VENT TO MATCH EXIST. AS REQ'D.

3. PATCH EXISTING PLASTER/GYPSUM AT ALL UV LOCATIONS TO MATCH EXIST. AS REQ'D.

4. EXT'G CLG. TILE SHALL BE REMOVED AS REQ'D. TO ALLOW INSTALLATION AND REMOVAL OF HVAC DEVICES, LINESETS, AND ELECTRICAL, AS REQ'D FOR THIS WORK. REINSTALLATION OF ALL CLG'S AS REQ'D. COORDINATE WITH MECHANICAL DRAWINGS. COORDINATE WITH A-400 SERIES DRAWINGS; REFLECTED CEILING PLANS.

5. FIRE ALARM DEVICES TO BE REMOVED, TEMPORARILY STORED AND RE-INSTALLED AS REQ'D.

6. PROVIDE SPLASH BLOCKS AT ALL UV'S IN FIRST FLOOR.

GENERAL NOTES

1

PROPOSED FIRST FLOOR PLAN

SCALE: 1"=20'-0"

0 1/2 1

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO FULL SCALE

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY.

REG. EXP DATE: 12-31-25

Drawn by JR

Checked by MS/JC

Project No. 43041

Scale AS NOTED

Date 03-18-24

Mechanical & Electrical Engineer: GREENMAN PEDERSEN, INC
400 BELLA BOULEVARD
MONTBELLE, NY 10801

Structural Engineer: GREENMAN PEDERSEN, INC
400 BELLA BOULEVARD
MONTBELLE, NY 10801

UNIVENT REPLACEMENT AT STONY POINT, THIELS AND WEST HAVERSTRAW ELEMENTARY SCHOOL

SPES SED# 50-02-01-06-0-014-012
THS SED# 50-02-01-06-0-025-018
WHES SED# 50-02-01-06-0-024-015
7 GUNNER DRIVE, STONY POINT, NY 10980
COUNTY OF ROCKLAND

MSA

MICHAEL SHILALE ARCHITECTS, LLP
140 Park Avenue, New York, NY 10022
www.shilale.com

PROPOSED FIRST FLOOR PLAN

Drawing No. WHES-A-101

	EXISTING THROUGH WALL LOUVER		EXISTING MECHANICAL EQUIPMENT
	EXISTING THROUGH WALL SCUPPER		ROOF VENT
	EXISTING PIPE PENETRATION		EXISTING SKYLIGHT
	EXISTING ROOF DRAIN		EXISTING FRESH AIR INTAKE
	NEW ROOF DRAIN		EXISTING CHIMNEY
	EXISTING VENTILATOR OR MECHANICAL PENETRATION		NEW PROTECTION RAILING
	EXISTING EQUIPMENT PAD		
	EXISTING ROOF HATCH		
	EXISTING LADDER		
	NEW RTU		

LEGEND

A20

INSTALL NEW AIR-COOLING-CONDENSING UNIT (ACCU)

A21

INSTALL NEW RTU. SEE STRUCTURAL AND MECHANICAL DRAWINGS.

A22

NEW MECHANICAL ROOF PENETRATION WITH ROOF FLASHING. SEE DETAIL 4/A-500 AND MECHANICAL DRAWINGS.

A23

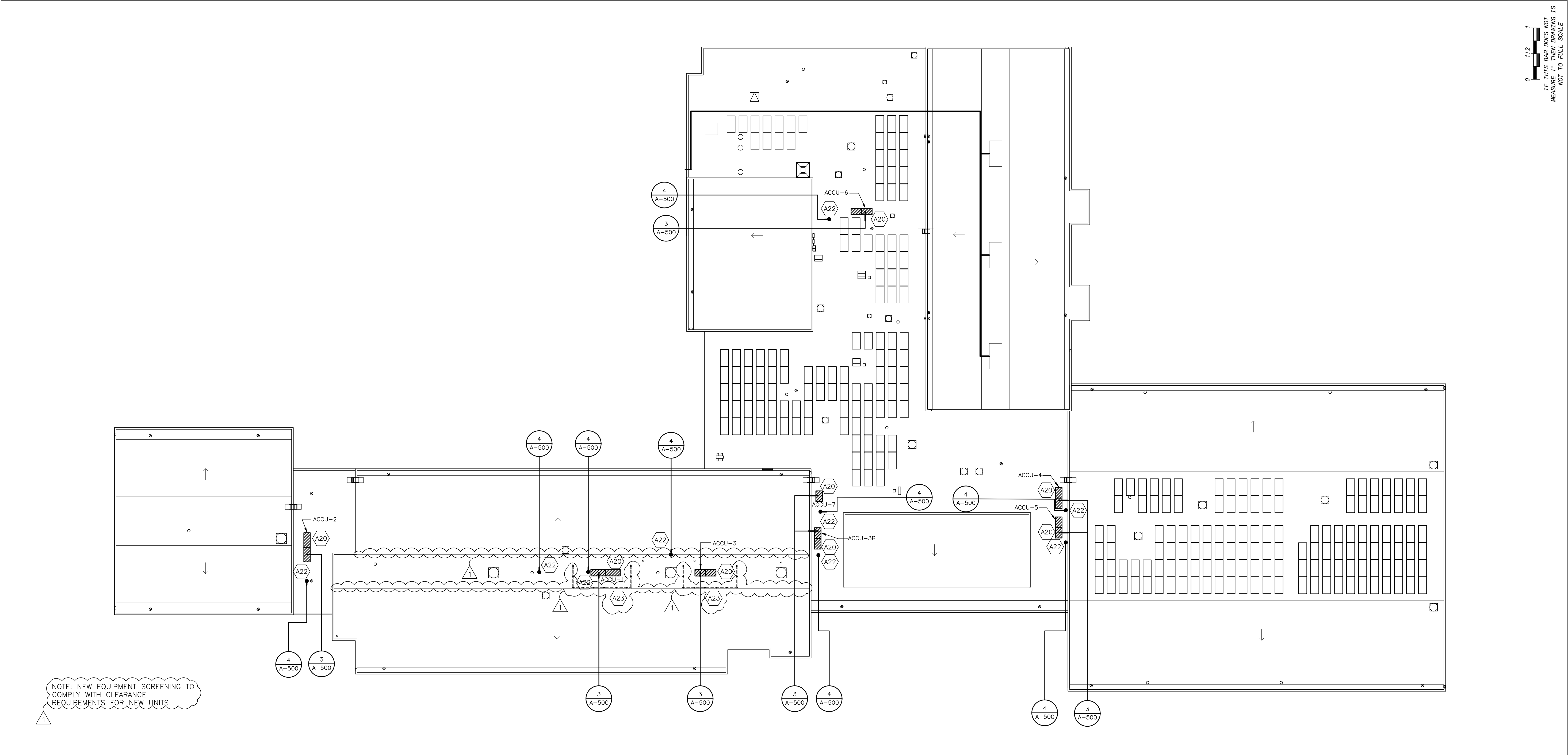
INSTALL 125 L.F. OF NEW EQUIPMENT SCREENING FOR NEW CHILLER. CHILLER TO BE INSTALLED UNDER SEPARATE CONTRACT. (SEE DETAIL 7/A-500).

KEY NOTES

1. CONTRACTOR SHALL BE REQUIRED TO COORDINATE WITH ALL MEP AND STRUCTURAL DRAWINGS. SEE MECHANICAL DRAWINGS FOR ALL HVAC ROOFTOP EQUIPMENT.

2. EXISTING ROOF HAS A WARRANTY ISSUED BY TREMCO. ALL REPAIR WORK MUST BE PERFORMED BY TREMCO AUTHORIZED CONTRACTOR. LETTER FROM TREMCO WILL BE REQUIRED STATING WORK PERFORMED DOES NOT VOID EXISTING WARRANTY AND NEW WORK IS COVERED UNDER EXISTING WARRANTY.

GENERAL NOTES



1

PROPOSED ROOF PLAN

SCALE: 1"=20'-0"

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PROPOSED ROOF PLAN

Drawing Title

WHES-A-103

Drawing No.

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UNIVENT REPLACEMENT AT STONY POINT, THIELS AND WEST HAVERSTRAW ELEMENTARY SCHOOL

SPES SED# 50-02-01-08-0-014-012
YES SED# 50-02-01-06-0-025-018
WHES SED# 50-02-01-06-0-024-015
7 EUNENE DRIVE STONY POINT, NY 10980
COUNTY OF ROCKLAND

GREENMAN PEDERSEN, INC.
400 BELLA BOULEVARD
MONTEBELLO, NY 10061
Mechanical & Electrical Engineer:

GREENMAN PEDERSEN, INC.
400 BELLA BOULEVARD
MONTEBELLO, NY 10061
Structural Engineer:

Drawn by JR

Checked by MS/JC

Project No. 43042

Scale

Date 03-04-25

REG. EXP DATE: 12-31-25

03-19-25 BIDDING ADDENDUM 2

03-04-25 BIDDING DOCUMENTS

No. Revisions