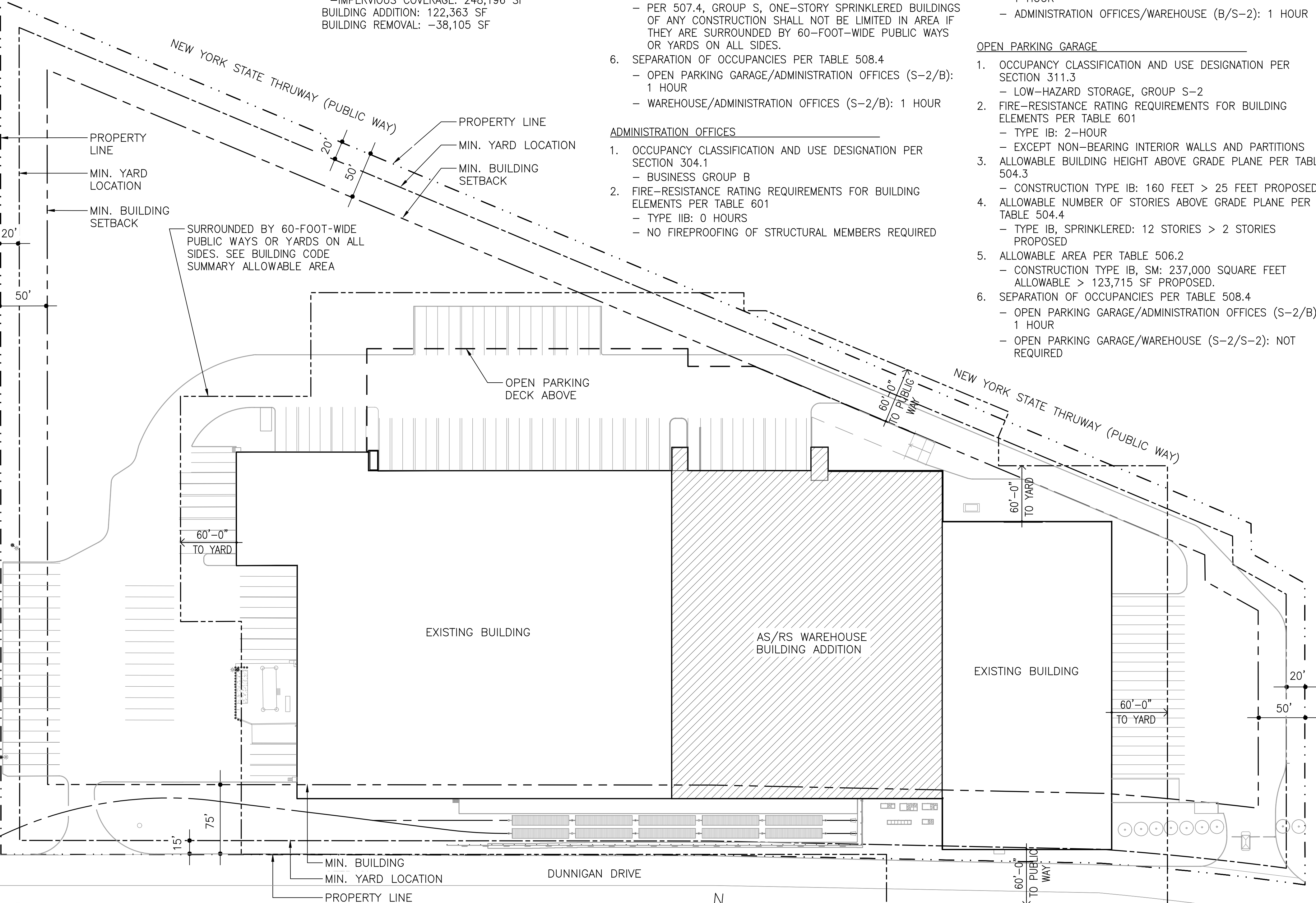


ZONING REQUIREMENTS SUMMARY

FLOOR AREA RATIO (FAR)	OFF-STREET LOADING BERTHS 80 SPACES PROVIDED
0.400 MAXIMUM PERMITTED	OFF-STREET PARKING SPACES 149 SPACES PROVIDED
0.385 PROPOSED (COMPLIES)	MIN. REQUIRED:
TOTAL LOT AREA = 876,330 SF	1 PER 150 SF OF OFFICE
TOTAL BUILDING FLOOR AREA = 338,337 SF	1 PER 2 EMPLOYEES IN WAREHOUSE
=338,337 / 876,330	10,170 / 150 = 68 STALLS
=.386	EST. 20 EMPLOYEES = 10 STALLS
.386 < .400 (COMPLIES)	
DEVELOPMENT COVERAGE	OFF-STREET TRUCK PARKING SPACES 48 SPACES PROVIDED
65.0% MAXIMUM PERMITTED	
64.8% PROPOSED (COMPLIES):	DEVELOPMENT COVERAGE BREAK-DOWN
TOTAL LOT AREA = 876,330 SF	TOTAL LOT AREA: 876,330 SF
TOTAL DEVELOPMENT AREA = 567,872 SF	DEVELOPMENT COVERAGE: 565,072 SF
=567,872 / 876,330	-BUILDING COVERAGE: 316,876 SF
=.648	-IMPERVIOUS COVERAGE: 248,196 SF
.648 < .650 (COMPLIES)	BUILDING ADDITION: 122,363 SF
	BUILDING REMOVAL: -38,105 SF



1 SITE PLAN
A-015 A-015
SCALE: 1/64"=1'-0"

2 SITE ELEVATION
A-015 A-015
SCALE: 1/32"=1'-0"

2020 NEW YORK STATE BUILDING CODE SUMMARY

WAREHOUSE	3. ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE PER TABLE 504.3
1. OCCUPANCY CLASSIFICATION AND USE DESIGNATION PER SECTION 311.3	- CONSTRUCTION TYPE IIB: 75 FEET > 49 FEET PROPOSED
2. FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601	4. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4
- TYPE IIB: 0 HOURS	- TYPE IIB, SPRINKLERED: 4 STORIES = 4 STORIES PROPOSED
- NO FIREPROOFING OF STRUCTURAL MEMBERS REQUIRED	5. ALLOWABLE AREA PER TABLE 506.2
3. ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE PER TABLE 504.3	- CONSTRUCTION TYPE IIB, SM: 69,000 SQUARE FEET ALLOWABLE > 20,000 SF PROPOSED.
- CONSTRUCTION TYPE IIB: 75 FEET > 54 FEET PROPOSED	6. SEPARATION OF OCCUPANCIES PER 508.2.4
4. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4	- NO SEPARATION REQUIRED BETWEEN MAIN AND ACCESSORY OCCUPANCIES WITHIN ADMINISTRATION OFFICES.
- TYPE IIB, SPRINKLERED: 4 STORIES > 1 STORY PROPOSED	7. SEPARATION OF OCCUPANCIES PER TABLE 508.4
5. ALLOWABLE AREA	- ADMINISTRATION OFFICES/OPEN PARKING GARAGE (B/S-2): 1 HOUR
- UNLIMITED AREA > 316,000 SF PROPOSED	- ADMINISTRATION OFFICES/WAREHOUSE (B/S-2): 1 HOUR
- PER 507.4, GROUP S, ONE-STORY SPRINKLERED BUILDINGS OF ANY CONSTRUCTION SHALL NOT BE LIMITED IN AREA IF THEY ARE SURROUNDED BY 60-FOOT-WIDE PUBLIC WAYS OR YARDS ON ALL SIDES.	
6. SEPARATION OF OCCUPANCIES PER TABLE 508.4	
- OPEN PARKING GARAGE/ADMINISTRATION OFFICES (S-2/B): 1 HOUR	
- WAREHOUSE/ADMINISTRATION OFFICES (S-2/B): 1 HOUR	

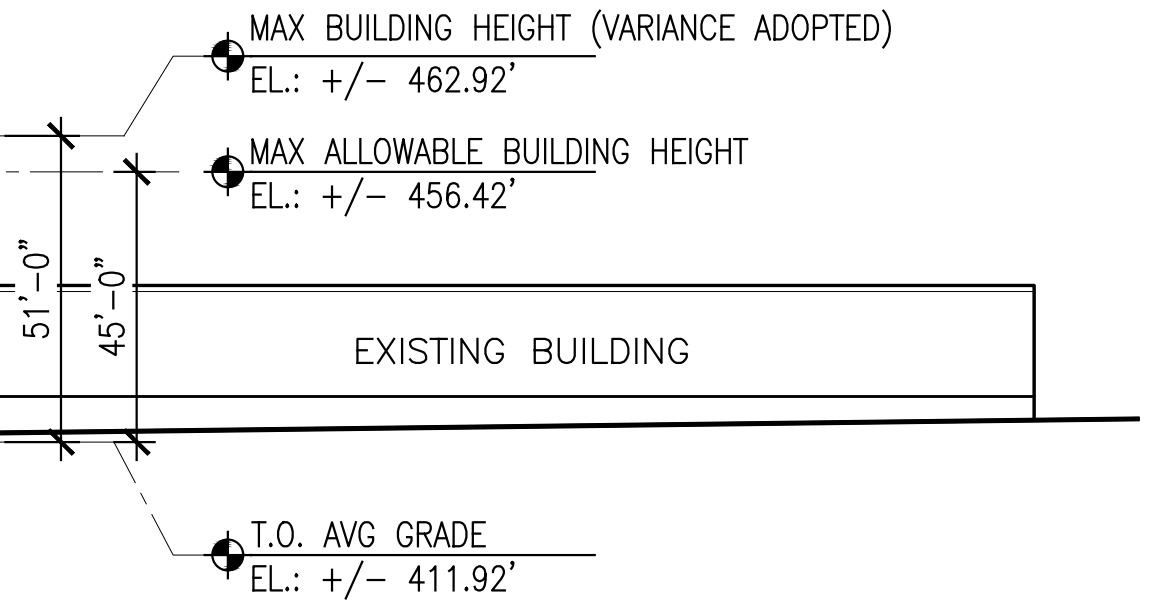
ADMINISTRATION OFFICES	4. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4
1. OCCUPANCY CLASSIFICATION AND USE DESIGNATION PER SECTION 304.1	- TYPE IB, SPRINKLERED: 12 STORIES > 2 STORIES PROPOSED
- BUSINESS GROUP B	5. ALLOWABLE AREA PER TABLE 506.2
2. FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601	- CONSTRUCTION TYPE IB, SM: 237,000 SQUARE FEET ALLOWABLE > 123,715 SF PROPOSED.
- TYPE IIB: 0 HOURS	6. SEPARATION OF OCCUPANCIES PER TABLE 508.4
- NO FIREPROOFING OF STRUCTURAL MEMBERS REQUIRED	- OPEN PARKING GARAGE/ADMINISTRATION OFFICES (S-2/B): 1 HOUR
	- OPEN PARKING GARAGE/WAREHOUSE (S-2/S-2): NOT REQUIRED

OPEN PARKING GARAGE
1. OCCUPANCY CLASSIFICATION AND USE DESIGNATION PER SECTION 311.3
- LOW-HAZARD STORAGE, GROUP S-2
2. FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601
- TYPE IB: 2-HOUR
- EXCEPT NON-BEARING INTERIOR WALLS AND PARTITIONS
3. ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE PER TABLE 504.3
- CONSTRUCTION TYPE IB: 160 FEET > 25 FEET PROPOSED
4. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4
- TYPE IB, SPRINKLERED: 12 STORIES > 2 STORIES PROPOSED
5. ALLOWABLE AREA PER TABLE 506.2
- CONSTRUCTION TYPE IB, SM: 237,000 SQUARE FEET ALLOWABLE > 123,715 SF PROPOSED.
6. SEPARATION OF OCCUPANCIES PER TABLE 508.4
- OPEN PARKING GARAGE/ADMINISTRATION OFFICES (S-2/B): 1 HOUR
- OPEN PARKING GARAGE/WAREHOUSE (S-2/S-2): NOT REQUIRED

ZONING					
SECTION	ZONING REQUIREMENTS	PERMITTED PI DISTRICT	EXISTING/ COVERAGE	NEW/(TOTAL) COVERAGE	REMARKS
195 ATTACHMENT 2:1	TABLE OF BULK REQUIREMENTS				
	MINIMUM LOT DIMENSIONS				
	-AREA (ACRES)	20.117	20.117	20.117	NO CHANGE
	-AREA (FEET)	876,330	876,330	876,330	NO CHANGE
	MAXIMUM DEVELOPMENT COVERAGE	65%	48%	64.8%	
	-GROSS SITE AREA (SF)	569,614	421,106	567,872	COMPLIES
	MAXIMUM FLOOR AREA RATIO	.40	.29	.386	
	-GROSS FLOOR AREA (SF)	350,532	252,757	338,337	COMPLIES
	MINIMUM REQUIRED SETBACKS (FEET)				
	-FRONT BUILDING	75	11	44	*
	-FRONT YARD	15	11	11	NO CHANGE
	-REAR BUILDING	50	29	50	NO CHANGE
	-REAR YARD	20	26	50	COMPLIES
	-SIDE WEST BUILDING	50	252.5	252.5	NO CHANGE
	-SIDE YARD	20	3	3	NO CHANGE
	-SIDE EAST BUILDING	50	142	207	COMPLIES
	-SIDE EAST YARD	20	1.5	20	COMPLIES
	MAXIMUM BUILDING HEIGHT				
	-MAX ALLOWABLE HEIGHT	45	28.5	51	*
195 ATTACHMENT 1:14	TABLE OF GENERAL REQUIREMENTS				
	MIN. OFF-STREET PARKING SPACES				
	1 SPACE PER 150 SF - OFFICE	68	141	144	COMPLIES
	1 FOR EVERY 2 EMPLOYEE - WAREHOUSE	10	10	10	COMPLIES
195-35 A	MIN. OFF-STREET LOADING BERTHS				
	1 FOR FIRST 20,000 SF PLUS 1 FOR EVERY ADDITIONAL 40,000 SF	5	12	80	COMPLIES

NEW COVERAGE INCLUDES EXISTING
*VARIANCE APPROVED

GROSS FLOOR AREA SUMMARY			
	EXISTING	REMOVAL /ADDITION	BUILDINGS TO BE COMBINED
10 DUNNIGAN	92,836 SF	-28,804 SF	64,032 SF
20 DUNNIGAN	159,921 SF	-9,301 SF	150,620 SF
PROPOSED ADDITION		123,725 SF	123,725 SF
TOTAL	252,757 SF	85,620 SF	338,337 SF



ARCHITECT

di Domenico + Partners LLP

Architecture
Landscape Architecture
Planning

3743 Crescent Street, 3rd Floor
Long Island City, New York 11101
Tel 212-337-0400
Fax 212-337-3567

CIVIL PLANNING ENGINEER

JMC

JMC Planning Engineering Landscape
Architecture & Land Surveying, PLLC
120 Bedford Road
Armonk, New York 10504
Tel 914-273-5225
Fax 914-273-2102

MEP ENGINEER

Burns

BURNS ENGINEERING, PC.
1261 Broadway, Suite 708
New York, New York 10001
Tel 212-662-3503

STRUCTURAL ENGINEER

GEI

GEI50
1385 Broadway, 20th FL
New York, New York 10018
Tel 212-687-8282

MANHATTAN
BEER DISTRIBUTORS

MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
-	ISSUED FOR CONSTRUCTION	11.30.21
-	REVISED BID SET	01.20.22
-	REVISED FOR CONSTRUCTION	04.05.22
-	PER METAL PANEL REDESIGN	07.26.22
-	REVISED FOR CONSTRUCTION	08.15.22

DRAWN BY :	S. WOO
CHECKED BY :	D. TOBAR, R.A.
APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

ZONING AND BUILDING CODE SUMMARY

DWG NUMBER :

A-015