

Manhattan Beer Distributors

10-20 Dunnigan Drive, Suffern, New York

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ZONING:

LOT: 55.07-1-11
55.07-1-12

DISTRICT: PI

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MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

REV	DESCRIPTION	DATE
—	ISSUED FOR DOB SUBMISSION	9.10.21
—	ISSUED FOR BID	10.15.21
—	ISSUED FOR CONSTRUCTION	11.30.21

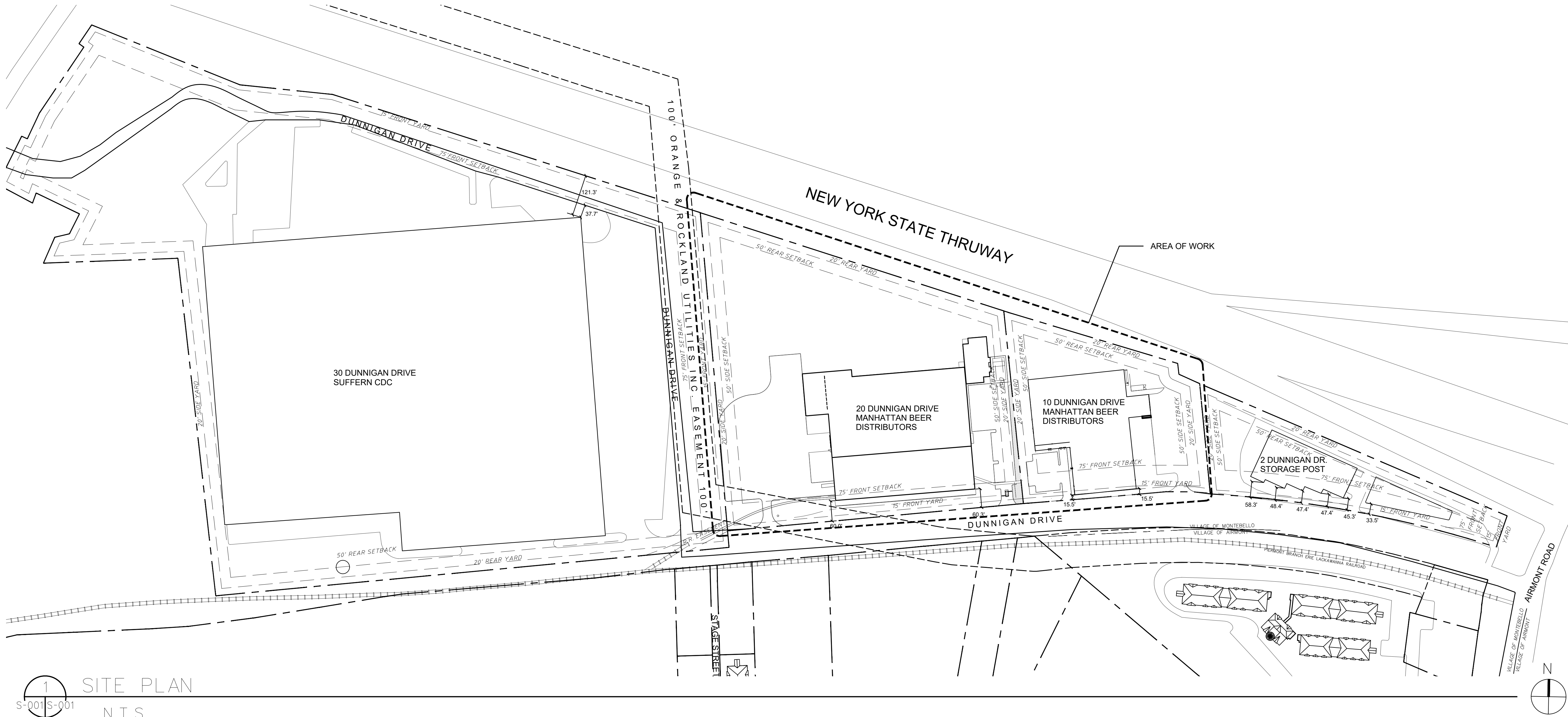
DRAWN BY :	S. WOO
CHECKED BY :	D. TOBAR, R.A.
APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

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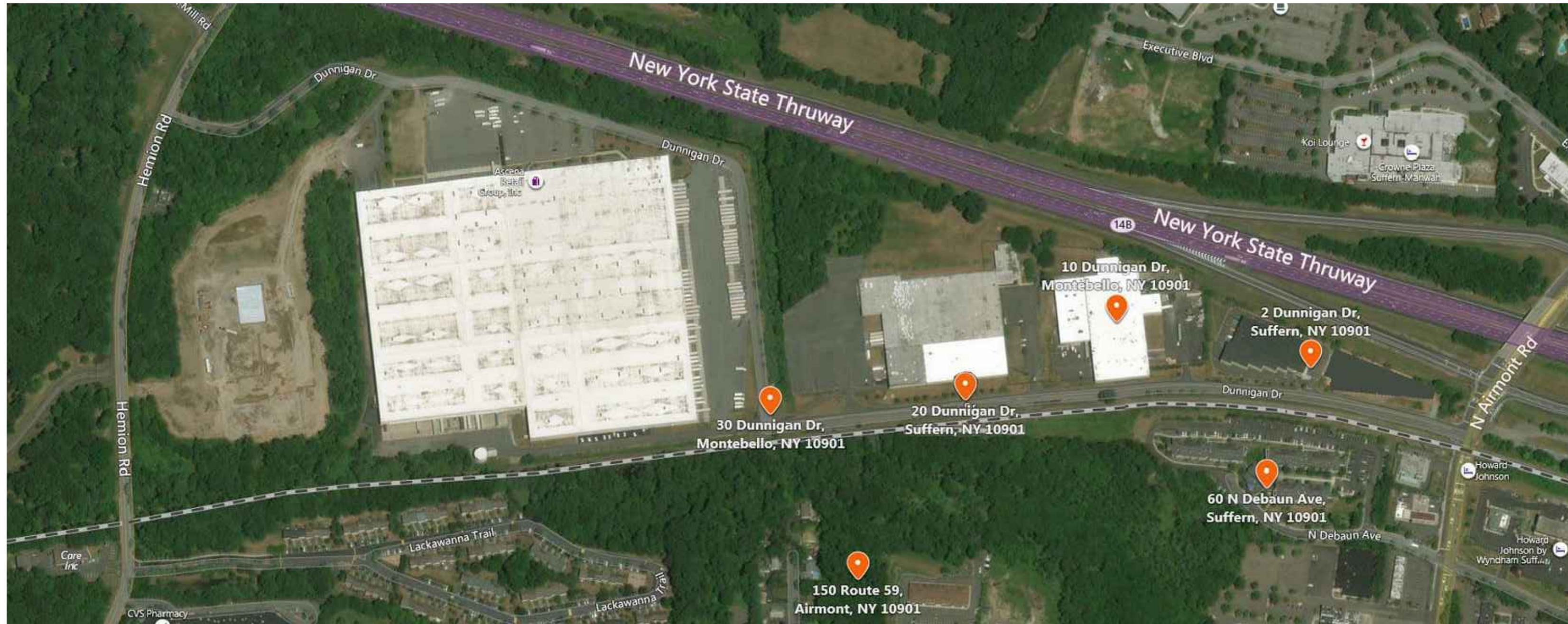
TITLE PAGE AND
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DWG NUMBER :

T-001



1 SITE PLAN
S-001 S-001
N.T.S.



2 AERIAL VIEW
S-001 S-001
N.T.S.

STANDARD SITE DEVELOPMENT PLAN NOTES:

1. LOT 11&12 IN BLOCK 1, SECTION 55.07
2. AREA OF TRACT: LOT 11; 244,431 SF, 5.611 AC. LOT 12; 631,899 SF, 14.506 AC.
3. ZONE: PI (PLANNED INDUSTRY)
4. PROPOSED USE: WAREHOUSING
5. RECORD OF OWNER: SIMON BERGSON (PRESIDENT)
6. APPLICANT: ANDREW BERGER, AIA, ASLA
7. FIRE DISTRICT: TALLMAN FP004
8. SCHOOL DISTRICT: RAMAPO CENTRAL 392601
9. WATER DISTRICT: NR 1 WD001
10. WATER SUPPLY BY: SUEZ WATER NEW YORK
11. SEWER DISTRICT: RR SD100
12. DATUM: NATIONAL GEODETIC VERTICAL DATUM, 1929.
13. ALL UTILITIES UNDERGROUND, ELECTRIC SERVICE SHALL BE IN CONDUIT OF NOT LESS THAN TWO-INCH DIAMETER.
14. THERE ARE NO COVENANTS, DEED RESTRICTIONS, EASEMENTS, OR OTHER RESERVATIONS OF LAND RELATIVE TO THIS SITE, OTHER THAN AS SHOWN ON THIS PLAN.
15. THE ZONING BOARD OF APPEALS, ON 08-20-2020 AS CASE NUMBER 1173 IN THE APPLICATION OF FRONT YARD SETBACK AREA AND MAX BUILDING HEIGHT GRANTED VARIANCES FOR RELIEF FROM SECTION 195-13 BULK TABLE, USE GROUP K.
16. NO SIGN(S) OTHER THAN THOSE SHOWN ON THIS DRAWING ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE PLANNING BOARD (TENANTS ARE TO BE ADVISED OF THIS CONDITION).
17. THE UNDERSIGNED, OWNER AND/OR APPLICANT, AS A CONDITION OF APPROVAL OF THIS SITE PLAN, HEREBY AGREES TO COMPLETE THE WITHIN SITE DEVELOPMENT PLAN AS DRAWN AND ALL IMPROVEMENTS SHOWN THEREON, AS A CONDITION OF THE ISSUANCE OF A BUILDING PERMIT. THE APPLICANT/OWNER IS AWARE THAT NO CHANGES IN THIS PLAN MAY BE MADE UNLESS APPROVED BY THE PANNING BOARD.

APPLICANT:
ANDREW BERGER, AIA, ASLA

OWNER:
SIMON BERGSON

DATE:
10-15-2019

DATE:
10-15-2019

18. PLANS ARE BASE ON FIELD ENGINEERING DATA AND CERTIFIED HERETO BY:

LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR:
JAY A. GREENWELL, PLS

DATE:
10-15-2019

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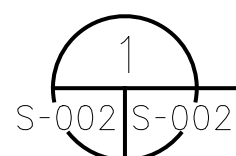
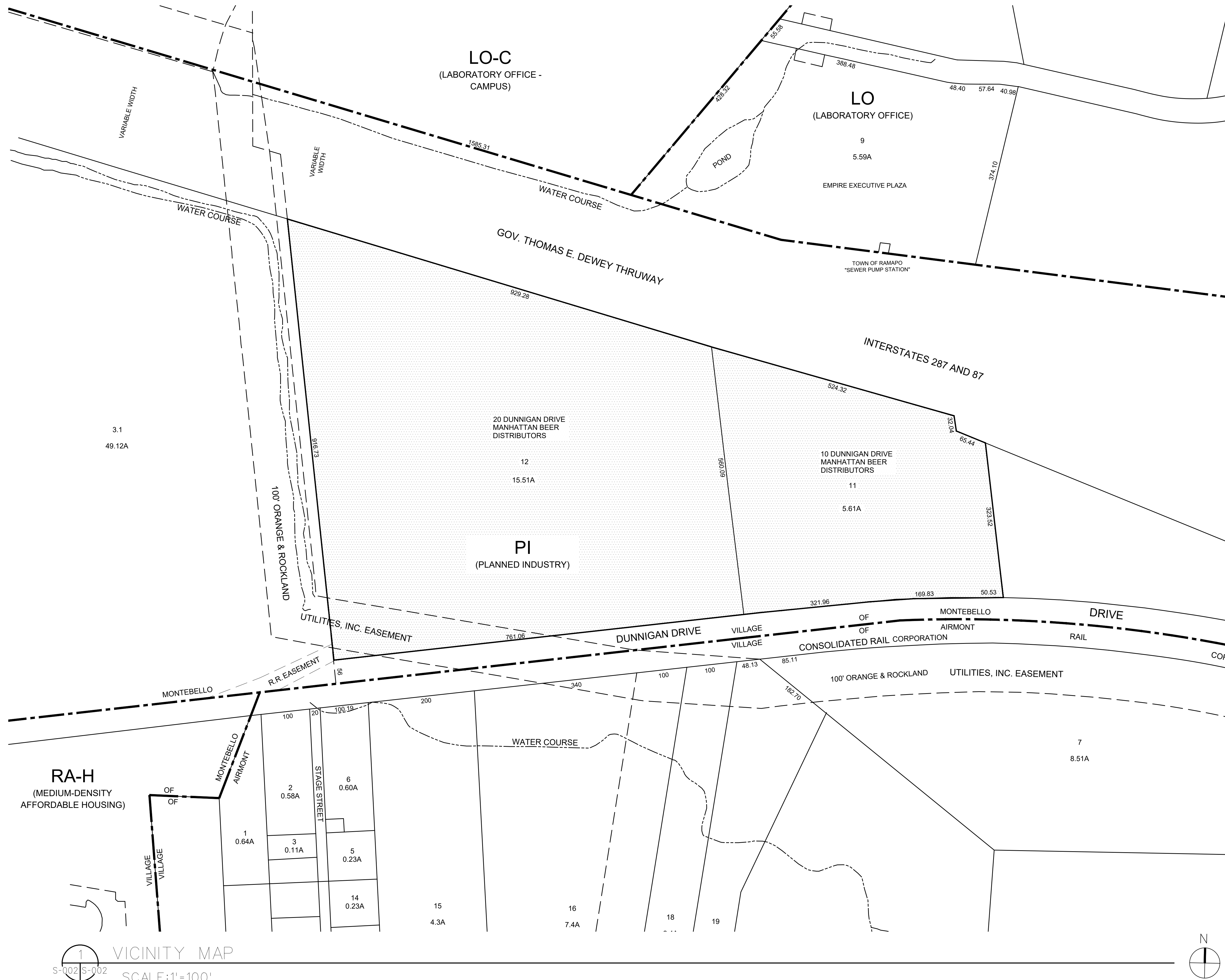
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DRAWING TITLE :

PLOT PLAN AND
AERIAL VIEW

DWG NUMBER :

S-001



VICINITY MAP

SCALE: 1"=100'

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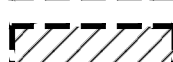


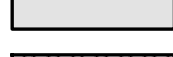




DRAWING TITLE :

VICINITY MAP

DWG NUMBER :

S-002

PHASING (SEQUENCES) NOTES

- | | |
|---|---|
|  | CONSTRUCTION PHASE I |
|  | CONSTRUCTION PHASE II |
|  | CONSTRUCTION PHASE III |
|  | CONSTRUCTION PHASES IV & IV (TBD) |
|  | EXISTING BUILDING |
|  | CONTRACTOR'S STAGING, LAY-DOWN, MATERIAL STORAGE, CONSTRUCTION WORKER PARKING. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION FENCE ALONG PERIMETER OF THIS ZONE. CONTRACTOR TO COMPLY WITH ALL THE VILLAGE REQUIREMENTS INCLUDING SOIL EROSION/CONTAINMENT |
|  | REMOVE EXISTING TREES |
|  | EXISTING TREES TO REMAIN |
|  | PROVIDE TEMPORARY FENCING ALONG TEMPORARY DRIVE LANE AND PARKING |
|  | TEMPORARY MOVABLE JERSEY BARRIERS |

THE CONTRACTOR IS INFORMED THAT THE FOLLOWING IS A SUMMARY OF THE WORK TO BE PERFORMED DURING EACH PHASE OF THE PROJECT. DETAILED CONSTRUCTION STAGING AND MAINTENANCE AND PROTECTION OF TRAFFIC PLANS SHALL BE PROVIDED FOR EACH PHASE OF THE PROJECT AS PART OF THE BUILDING PERMIT APPLICATION. SEPARATE DETAILED PLANS SHALL BE PREPARED FOR THE ON-SITE AND OFF-SITE ACTIVITIES. THE CONTRACTOR'S PLAN SHALL FOLLOW THE REQUIREMENTS OUTLINED IN THE CONSTRUCTION PHASING NOTES ON DRAWING CP-002

PHASE I

- SETUP/INSTALL ALL REQUIRED SITE STABILIZATION AND EROSION CONTROL MEASURES.
- INSTALL ALL CONSTRUCTION FENCING AND SIGNAGE.
- PERFORM CLEARING, GRUBBING, STRIPPING/STOCKPILE TOPSOIL EXCAVATION.
- RELOCATE ALL REQUIRED BUILDING SERVICES AND UTILITIES (INCLUDING TRANSFORMERS) IN THE LOCATION OF THE PROPOSED AS/RS AND R.R. TRACKS.
- RELOCATE SOLAR PANEL TRANSFORMER AND PAD.
- RELOCATE EXISTING FIRE PROTECTION WATER LINE LOOP AND HYDRANTS.
- REMOVE TREES AS REQUIRED FOR NEW WORK.
- DEMOLISH AND REMOVE EXISTING 10 & 20 DUNNIGAN ADMIN. STRUCTURES

PHASE IIA

- CONSTRUCT TEMPORARY PARKING
- CONSTRUCT STORM WATER SYSTEM.

PHASE IIB

- INSTALL AS/RS AND PARKING DECK FOUNDATIONS. COORDINATE FOUNDATION INSTALLATION WITH PARKING
- INSTALL/ERECT PARKING DECK.

PHASE III

- CONSTRUCT AS/RS ADDITION INCLUDING MEP/FP.
- CONSTRUCT NEW ADMINISTRATION OFFICES INCLUDING MEP/FP.

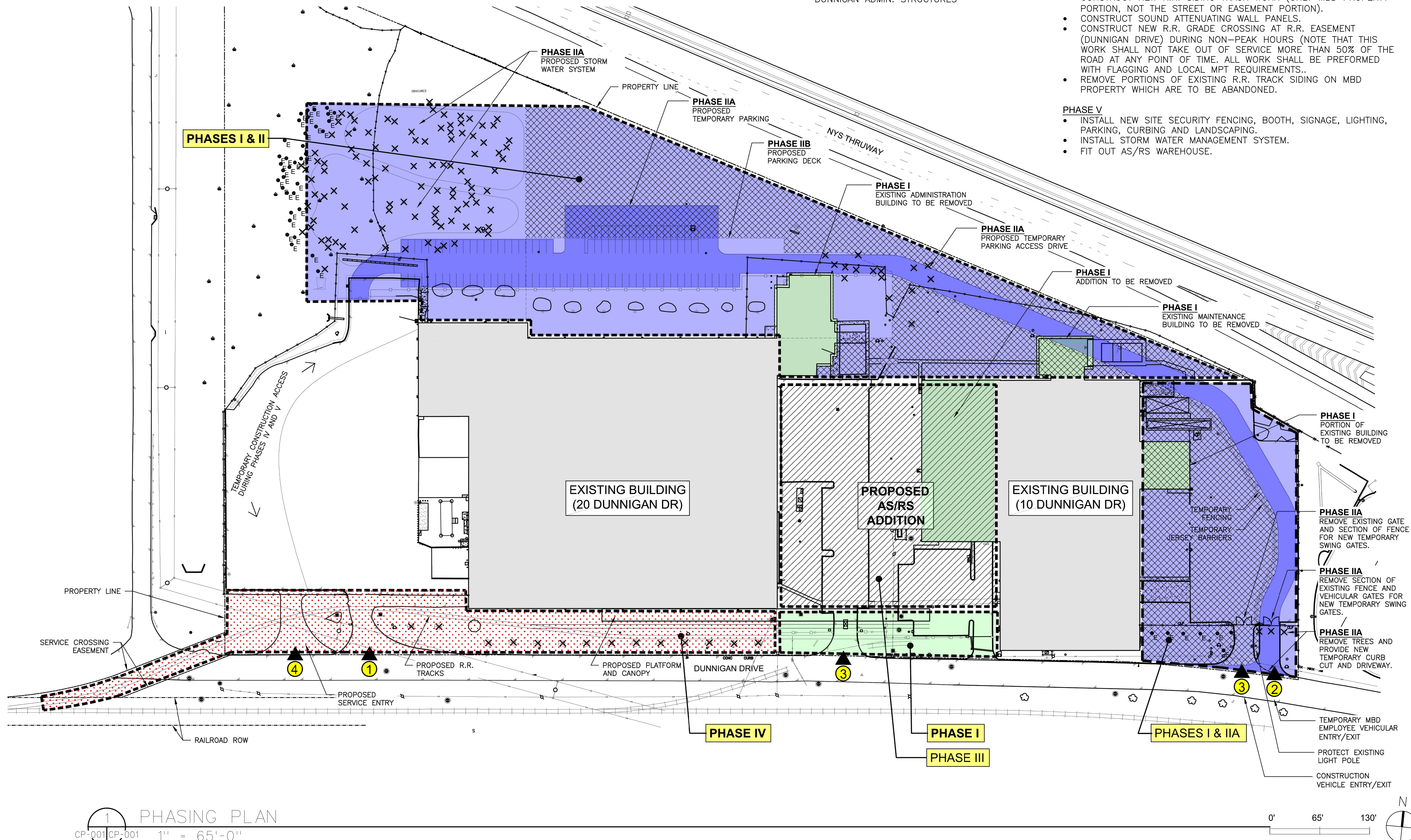
SEQUENCE AND SCOPE OF WORK FOR PHASES IV AND V ARE TBD AND WILL BE PROVIDED PRIOR TO THE START OF THE PHASE

PHASE IV

- CONSTRUCT NEW R.R. SIDING TRACK WORK (ONLY MBD PROPERTY PORTION, NOT THE STREET OR EASEMENT PORTION).
- CONSTRUCT SOUND ATTENUATING WALL PANELS.
- CONSTRUCT NEW R.R. GRADE CROSSING AT R.R. EASEMENT (DUNNIGAN DRIVE) DURING NON-PEAK HOURS (NOTE THAT THIS WORK SHALL NOT TAKE OUT OF SERVICE MORE THAN 50% OF THE ROAD AT ANY POINT OF TIME. ALL WORK SHALL BE PREFORMED WITH FLAGGING AND LOCAL MPT REQUIREMENTS..
- REMOVE PORTIONS OF EXISTING R.R. TRACK SIDING ON MBD PROPERTY WHICH ARE TO BE ABANDONED.

PHASE V

- INSTALL NEW SITE SECURITY FENCING, BOOTH, SIGNAGE, LIGHTING, PARKING, CURBING AND LANDSCAPING.
- INSTALL STORM WATER MANAGEMENT SYSTEM.
- FIT OUT AS/RS WAREHOUSE.



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CONSTRUCTION PHASING PLAN

DWG NUMBER :

CP-001

CONSTRUCTION PHASING NOTES

1. THE CONSTRUCTION PHASING PLANS ARE PROVIDED TO SHOW THE GENERAL/INTENDED PHASING FOR THE MANHATTAN BEER DISTRIBUTORS (MBD) EXPANSION PROJECT. DETAILED CONSTRUCTION STAGING PLANS AND MAINTENANCE AND PROTECTION OF TRAFFIC PLANS FOR EACH IDENTIFIED PHASE OF THE PROJECT SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW YORK. THESE PLANS SHALL BE PREPARED IN CLOSE COORDINATION WITH MBD AND THE SELECTED CONTRACTOR. UPON COMPLETION, THEY SHALL BE SUBMITTED TO THE VILLAGE AS PART OF THE BUILDING PERMIT APPLICATION FOR REVIEW AND APPROVAL OF THE VILLAGE ENGINEER. THE PLANS SHALL INCORPORATE THE REQUIREMENTS OUTLINED BELOW AND ANY FURTHER SPECIAL REQUIREMENTS OUTLINED IN A RESOLUTION OF APPROVAL.
2. THE CONTRACTOR IS INFORMED THAT MANHATTAN BEER DISTRIBUTORS (MBD) WILL REMAIN IN OPERATION THROUGHOUT THE COURSE OF CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PERFORM THE ON SITE CONSTRUCTION, WHILE PROVIDING SAFE, WELL-LIGHTED, VEHICULAR AND PEDESTRIAN CIRCULATION THROUGH THE SITE, AS WELL AS PARKING FACILITIES FOR MBD STAFF AND VISITORS.
3. THE CONTRACTOR IS INFORMED THAT DUNNIGAN DRIVE PROVIDES VEHICULAR AND PEDESTRIAN ACCESS TO THE PROJECT SITE, AS WELL AS ADJACENT PARCELS AND IS TO REMAIN IN OPERATION THROUGHOUT THE COURSE OF CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PERFORM THE CONSTRUCTION WITHIN DUNNIGAN WHILE MAINTAINING SAFE, WELL-LIGHTED, VEHICULAR AND PEDESTRIAN CIRCULATION ALONG DUNNIGAN DRIVE.
4. THE CONSTRUCTION STAGING PLANS SHALL, AT A MINIMUM, SHOW AREAS FOR CONSTRUCTION TRAILERS, STORAGE OF CONSTRUCTION MATERIALS, PARKING FOR CONTRACTORS, PARKING FOR MBD, AND VEHICULAR AND PEDESTRIAN CIRCULATION. ALL TRAILERS, DELIVERY/STORAGE OF MATERIALS, PARKING, ETC., SHALL BE PROVIDED/PERFORMED WITHIN THE PROJECT SITE, NOT ALONG DUNNIGAN DRIVE. SHOULD THE CONTRACTOR REQUIRE ADDITIONAL SPACE FOR PARKING, THEY MAY ELECT TO FIND AN OFF SITE LOCATION AND SHUTTLE THE CONSTRUCTION STAFF TO/FROM THE SITE. ON-SITE PARKING SHALL BE PROVIDED FOR ALL MBD STAFF AND VISITORS THROUGHOUT CONSTRUCTION, UNLESS OTHERWISE APPROVED BY MBD. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH OFF-SITE PARKING AND SHUTTLE SERVICES THE VILLAGE SHALL BE INFORMED OF THE LOCATION OF THE OFF SITE PARKING.
5. ALL WORK SALLY BE PERFORMED AT TIMES PERMITTED BY VILLAGE CODE SECTION 118-4(C), EXCEPT THAT THE CONTRACTOR MAY ELECT TO PERFORM THE OFF SITE IMPROVEMENTS DURING OFF HOURS TO MINIMIZE IMPACTS TO THE VEHICULAR AND PEDESTRIAN OPERATIONS ALONG DUNNIGAN DRIVE. ANY WORK TO BE PERFORMED OUTSIDE THE HOURS PERMITTED BY VILLAGE CODE SECTION 118-4(C) SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE VILLAGE BUILDING INSPECTOR.
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS.
7. TEMPORARY CLOSURES OF DUNNIGAN DRIVE SHALL BE LIMITED TO ONE LANE (DIRECTION) AT A TIME. ALL CLOSURES SHALL BE CONTROLLED BY TRAINED FLAG PERSONS. LANE CLOSURES SHALL NOT TAKE PLACE DURING THE PEAK HOURS OF 7 AM TO 9 AM AND/OR 4 PM TO 6 PM. PER NOTE 5 ABOVE, THE CONTRACTOR MAY REQUEST APPROVAL OF THE VILLAGE BUILDING DEPARTMENT TO PERFORM WORK WITHIN DUNNIGAN DRIVE OUTSIDE THE HOURS PERMITTED BY VILLAGE CODE SECTION 118-4(C). AT ANY POINT DURING CONSTRUCTION, THE VILLAGE MAY REQUIRE THE USE OF POLICE OFFICERS TO PROVIDE TRAFFIC CONTROL. THE COST OF THE POLICE OFFICERS, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND AT NO EXPENSE TO THE VILLAGE.
8. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF CONSTRUCTION, WHICH SHALL HAVE ALL INVOLVED PARTIES PRESENT. INVOLVED PARTIES SHALL INCLUDE BUT NOT BE LIMITED TO MBD, THE CONTRACTOR, THE DESIGN TEAM, VILLAGE OF MONTEBELLO, TOWN OF RAMAPO, COUNTY OF ROCKLAND, TRAIN TRACK OWNER/OPERATOR.
9. SITE ACCESS BY CONSTRUCTION VEHICLES AND CONTRACTOR STAFF SHALL BE LIMITED TO ENTRANCE #2, AS IDENTIFIED ON THE CONSTRUCTION PHASING PLAN. ENTRANCES #1 AND #3 SHALL BE DEDICATED TO THE ONGOING OPERATIONS OF MBD. STAGING PLANS SHALL INCLUDE TEMPORARY SIGNAGE TO DIRECT MBD STAFF/VISITORS AND CONTRACTORS TO APPROPRIATE SITE ENTRANCES.
10. ALL FIRE AND LIFE SAFETY SYSTEMS SHALL REMAIN IN PLACE AND OPERATIONAL DURING THE COURSE OF CONSTRUCTION. ANY TEMPORARY SHUT DOWNS SHALL REQUIRE THE APPROVAL OF THE VILLAGE OF MONTEBELLO AND SHALL BE SUBJECT TO ANY REQUIREMENTS SET FORTH BY THE BUILDING INSPECTOR AND/OR FIRE INSPECTOR.

MANHATTAN BEER DISTRIBUTORS CONSTRUCTION OPERATION NOTES

1. MBD SHALL PREPARE A BUSINESS OPERATIONS PLAN, WHICH SHALL SHOW HOW THE PORTIONS OF THE BUILDINGS AND SITE AVAILABLE TO THEM DURING CONSTRUCTION WILL BE MAINTAINED AND OPERATED.
2. MANHATTAN BEER DISTRIBUTORS PLANS TO MINIMIZE VEHICULAR TRIPS ON DUNNIGAN DRIVE DURING CONSTRUCTION PERIOD BY IMPLEMENTING THE FOLLOWING:

• ALL ADMINISTRATION AND OFFICE STAFF (APPROX. 26 PEOPLE) WILL WORK REMOTELY OR FROM OTHER MBD FACILITIES IN NYC DURING THE CONSTRUCTION PERIOD THEREBY MINIMIZING VEHICLES COMING TO 10 AND 20 DUNNIGAN DRIVE.

• MBD WILL SHIFT APPROXIMATELY 25% OF WAREHOUSE DISTRIBUTION ACTIVITY TO OTHER WAREHOUSE FACILITIES WITHIN THE 5 BOROUGHES OF NEW YORK CITY. THIS WILL REDUCE TRUCK ACTIVITY DURING THIS PERIOD BY 25%. THE TRANSFERRING OF 25% ROUTES WILL RESULT IN 15 DELIVERY ROUTES BEING TRANSFERRED. THE RESULT WILL EQUAL (APPROX.):

• 15 LESS DRIVERS WITH THEIR CARS


• 15 LESS TRUCKS LEAVING IN THE MORNING

• 15 LESS TRUCKS RETURNING IN THE AFTERNOON

• 5 LESS LOADERS AND THEIR CARS IN THE EVENING SHIFT

• 2 LESS SUPERVISORS AND THEIR CARS

• 1 LESS MANAGER AND HIS CAR
- ARCHITECT




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MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
-	ISSUED FOR CONSTRUCTION	11.30.21

DRAWN BY :	S. WOO
CHECKED BY :	D. TOBAR, R.A.
APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE :

CONSTRUCTION
PHASING NOTES

DWG NUMBER :

CP-002

DEFINITIONS

1. OWNER - MANHATTAN BEER DISTRIBUTORS OR ITS AUTHORIZED REPRESENTATIVES
2. ARCHITECT - DI DOMENICO + PARTNERS, LLP
3. CONTRACTOR- CLARIS DESIGN BUILD

ARCHITECTURAL GENERAL NOTES

1. CODES AND STANDARDS

1.1. 2020 BUILDING CODE OF NEW YORK STATE

1.2. 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

1.3. 2020 FIRE CODE OF NEW YORK STATE
2. ALL WORK SHALL BE OF HIGHEST QUALITY, PERFORMED IN A NEAT WORKMANLIKE MANNER, EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTED TRADE PRACTICES AND AS PER MANUFACTURERS’ RECOMMENDATIONS.
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE SUBMITTING SHOP DRAWINGS OR PLACING ORDERS OR PROCEEDING WITH THAT PORTION OF THE WORK DURING THE COURSE OF THE CONTRACT. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS IN THE FIELD. HE SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO SUBMITTING SHOP DRAWINGS AND PLACING ORDERS DURING THE COURSE OF THE CONTRACT.
5. THE CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND SHALL REPAIR OR REPLACE ANY ITEM DAMAGED DURING THE COURSE OF WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
6. ANY DAMAGE TO INSTALLED FINISHES OR EQUIPMENT CAUSED BY THE WORK OF THE CONTRACT SHALL BE REPLACED AND REINSTALLED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
7. ALL WORK TO BE IN COMPLIANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE. ANY OR ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BUILDING IN ALL RECESSED ITEMS SUCH AS CONCEALED CONDUITS, PIPES, WIRES, JUNCTION BOXES, OUTLET BOXES, ETC. AND ANY OPENINGS REQUIRED IN MASONRY WALLS, CONCRETE WALLS AND CONCRETE SLABS.
9. THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND COORDINATE WORK OF ALL TRADES AND VERIFY THE LOCATION OF FIXTURES, EQUIPMENT, ROUGHING, ETC.
10. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY. DIMENSIONS SHOWN ARE NORMALLY GIVEN TO:

A. COLUMN CENTER LINES

B. FACES OF CONCRETE AND MASONRY SURFACES

C. FACE OF GYPSUM BOARD PARTITIONS AND CEILINGS

D. EXTERNAL FACE OF BUILDING

E. CURB LINE
11. PATCH ALL DAMAGED CONCRETE SURFACES WITH SIMILAR MATERIALS.
12. ELEVATIONS INDICATED ON ALL DRAWINGS REFER TO SURVEY DATUM.
13. ALL MATERIAL AND WORK REQUIRED OR CALLED OUT ON THE DRAWINGS ARE INTENDED TO BE NEW UNLESS OTHERWISE NOTED.
14. ALL DISSIMILAR MATERIALS, INCLUDING METALS IN CONTACT WITH EACH OTHER SHALL BE SEPARATED IN AN APPROVED MANNER.
15. ALL DETAILS SHOWN ARE TYPICAL. CONTRACTOR SHALL APPLY SAME CONCEPTS FOR CONDITIONS NOT SHOWN TO MAINTAIN UNIFORMITY OF DESIGN AND INTEGRITY OF CONSTRUCTION.
16. CONTRACTOR SHALL PROVIDE SECURE PROTECTION FOR ALL OPENINGS IN FLOORS, WALLS AND ROOFS.
17. MINIMUM HEADROOM CLEARANCE SHALL BE 80” WITHIN A ROOM OR SPACE ALONG A 36”-WIDE (MIN.) DESIGNATED AISLE LEADING TO THE EGRESS FROM THE SPACE. THE CONTRACTOR SHALL PROVIDE AND INSTALL SIGNS READING: "CAUTION: LOW HEADROOM" AND PROVIDE AND INSTALL SAFETY YELLOW COLOR PADDING ON ALL PIPING, STEEL BRACKETS, ETC., WHERE EQUIPMENT PROJECTS BELOW THAT CLEARANCE WITHIN THE SPACE.
18. ALL WOOD SHALL BE FIRE RETARDANT AND TREATED TO COMPLY WITH 2020 BUILDING CODE OF NEW YORK STATE.
19. PROVIDE ALL BLOCKING AND ANCHORAGE AS REQUIRED. ANCHOR BOLTS SHALL BE STAINLESS STEEL AS MANUFACTURED BY HILTI-KWIK OR APPROVED EQUAL OR AS OTHERWISE NOTED.
20. PROVIDE TEMPORARY STAIR HANDRAILS DURING CONSTRUCTION.
21. FOR SURFACE PREPARATION AND PAINTING CONTRACTOR MUST REMOVE ALL OIL, DIRT, LOOSE PAINT, RUST, PEELING PAINT AND OTHER CONTAMINANTS TO ENSURE FULL ADHESION. SURFACES MUST BE DRY, FREE OF CONCRETE DUST AND LOOSE CEMENT, AND IN SOUND CONDITION.

22. SAFETY DURING DEMOLITION AND CONSTRUCTION SHALL COMPLY WITH THE 2020 FIRE CODE OF NEW YORK STATE AND THE 2020 BUILDING CODE OF NEW YORK STATE.
23. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED DAILY.
24. ALL DEMOLITION AND REMOVALS ARE TO BE COORDINATED WITH EACH TRADE TO ENSURE THE CONTINUITY OF ALL SERVICES TO THE EXISTING FACILITY. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION DRAWNGS TO ENSURE THAT ITEMS OR SERVICES WHICH ARE TO REMAIN ARE NOT DISTURBED.
25. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN PAINTED (BLUE) COVER AND DUST PARTITIONS CLOSING THE WORK AREA FROM BALANCE OF OCCUPIED SPACE WITHIN THE BUILDING AS DIRECTED BY THE ARCHITECT.
26. WHERE APPLICABLE, ALL NEWLY INSTALLED INTERIOR FINISHES SHALL COMPLY WITH THE FLAME SPREAD REQUIREMENTS OF THE 2020 BUILDING CODE OF NEW YORK STATE.
27. ALL EXISTING EXPOSED STEEL SHALL BE PAINTED AS INDICATED ON DRAWINGS. MACHINE TOOL CLEAN TO SHINY METAL ALL AREAS TO BE PAINTED AND EPOXY PAINT.
28. THE CONTRACTOR SHALL PROPERLY INSTALL ALL ITEMS FURNISHED BY THE OWNER.
29. ALL COLORS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
30. COORDINATE ALL WORK WITH THE SCOPE OF WORK OF OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS.
31. ALL FASTENERS TO COMPLY WITH 2020 BUILDING CODE OF NEW YORK STATE.
32. CONTRACTOR SHALL SUBMIT PROPOSED PROJECT STAGING AND STORAGE PLANS FOR REVIEW BY THE ARCHITECT. STAGING AND STORAGE ACTIVITIES SHALL BE COORDINATED WITH THE OWNER.
33. THE CONTRACTOR SHALL COORDINATE THE WORK OF THIS CONTRACT WITH ANY AND ALL RELATED AND/OR UNRELATED WORK/PROJECTS BY OTHER CONTRACTORS THAT IS/ARE PLANNED OR ONGOING.
34. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES IN THE FIELD PRIOR TO PERFORMING ANY WORK.
35. DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
36. DURING ALL PHASES OF THE WORK THE BUILDING ENVELOPE SHALL BE MAINTAINED WATERTIGHT BY THE CONTRACTOR.
37. CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION OF EXISTING BUILDING.
38. EXISTING PHOTOVOLTAIC PANELS TO REMAIN SHALL BE MAINTAINED & PROTECTED AT ALL TIMES DURING THE THE WORK.
39. PROVIDE TWO-HOUR RATED FIRESTOPPING AT THE FOLLOWING LOCATIONS:

39.1. PENETRATIONS THROUGH ANY/ALL FLOORS

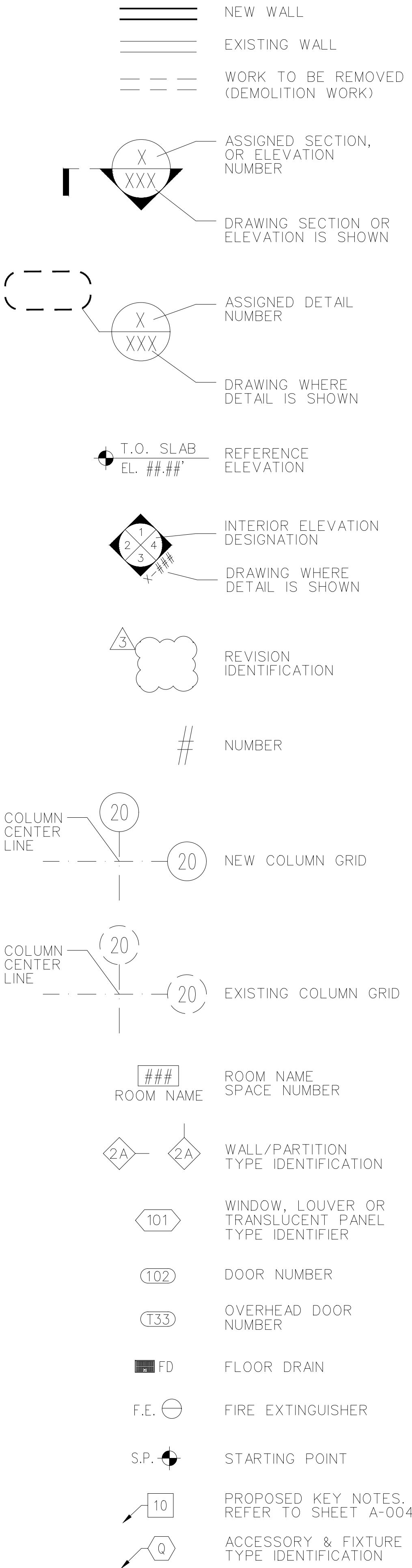
39.2. PENETRATIONS THROUGH ANY/ALL WALLS

39.3. PENETRATIONS THROUGH STAIR ENCLOSURE WALLS AT ANY FLOORS/LEVELS

39.4. PENETRATIONS THROUGH WALLS AT ALL ELECTRICAL, TELCO., IT, MECHANICAL CLOSETS, AND ROOMS.

39.5. PENETRATIONS THROUGH WALLS AND FLOORS BETWEEN OCCUPANCIES (E.G. ADMINISTRATION OFFICE/SPACES, WAREHOUSE, ETC.)
40. IF ANY FOUNDATION WORK OR OTHER TYPES OF MAJOR EXCAVATION WORK IS TO BE DONE NEAR THE RIGHT-OF-WAY WITH THE FORCE MAIN, ROCKLAND COUNTY SEWER DISTRICT SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE. IF REQUIRED, SHORING OR OTHER TYPES OF PRECAUTIONS SHALL BE IMPLEMENTED TO PROTECT THE FORCE MAIN. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMIT(S) AT THE CONTRACTOR’S EXPENSE.
41. CONTRACTOR SHALL PREVENT ANY DAMAGES FROM OCCURRING TO THE EXISTING FORCE MAIN, THE ROCKLAND COUNTY SEWER DISTRICT MUST BE NOTIFIED IF ANY PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OVER THE FORCE MAIN IS TO BE MODIFIED. THIS INCLUDES BUT NOT LIMITED TO REGRADING AND LOWERING/RAISING OF MANHOLE FRAMES. THE SEWER DISTRICT OFFICE MUST APPROVE ANY CHANGES.
42. THE CONTRACTOR MUST OBTAIN REQUIRED INSURANCE AND SIGN A WAIVER TO DEFEND, INDEMNIFY, SAVE AND HOLD HARMLESS BOTH THE COUNTY OF ROCKLAND AND ROCKLAND COUNTY SEWER DISTRICT NO. 1 FROM ANY CLAIMS ARISING FROM PERFORMED WITHIN THE RIGHT-OF-WAY OVER THE FORCE MAIN.
43. PRIOR TO THE REMOVAL OF ABANDONED MONITORING WELLS, THE CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS AND FOLLOW PROPER REMOVAL PROCEDURES.

SYMBOLS:



ROOFING NOTES:

1. GENERAL

A. EXISTING ROOFING TO REMAIN SHALL BE PROTECTED AT ALL TIMES DURING THE WORK.

B. ALL NEW ROOF SYSTEMS SHALL COMPLY WITH UL CLASS 'A' EXTERNAL FIRE RESISTANCE RATING.

C. INSULATION FOR NEW ROOFING ASSEMBLIES SHALL HAVE A MINIMUM AGED R-VALUE OF R-30 AND SHALL BE CONTINUOUS AND INSTALLED ABOVE DECK.

D. DURING ROOF WORK THE CONTRACTOR SHALL PROTECT ALL AIR INTAKES AND WINDOWS FROM CHEMICAL FUMES ENTERING THE BUILDING.

E. SUBMIT SHOP DRAWINGS FOR ALL ROOF WORK. SHOP DRAWINGS OF AL ROOFS SHALL INDICATE EXISTING HIGH AND LOW POINTS, ROOF SLOPES, DRAIN LOCATIONS, PENETRATIONS, AND DETAILS.

F. PROVIDE SUBMITTALS FOR ALL ROOFING MATERIALS, INCLUDING BUT NOT LIMITED TO INSULATION, PROTECTION BOARD, ROOF MEMBRANE, FLASHING AND ACCESSORIES.
2. REPAIRS/MODIFICATION OF EXISTING ROOFING

A. PRIOR TO PERFORMING ANY ROOFING REMOVALS THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT PROOF THAT THE POST WARRANTY ALTERATION NOTIFICATION HAS BEEN SUBMITTED TO THE EXISTING ROOF MANUFACTURER AND THAT THE ROOF MANUFACTURER HAS ACCEPTED THE CONTRACTOR AND WILL EXTEND THE EXISTING ROOF WARRANTY TO INCLUDE ALL ROOFING MODIFICATIONS AND TRANSITIONS PERFORMED UNDER THIS CONTRACT.

B. MATCH EXISTING INSULATION TYPE AND THICKNESS, ALIGN WITH ADJACENT ROOFING.

C. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF EXISTING ROOFING AND FACILITY TO REMAIN AT ALL TIMES DURING THE WORK OF THIS CONTRACT. THE CONTRACTOR SHALL PROTECT CUT PORTIONS OF THE ROOF AND MAINTAIN A WATERTIGHT ROOF AT ALL TIMES. REMOVE TEMPORARY PROTECTION BEFORE INSTALLATION OF ROOF MEMBRANE.

D. WHERE MODIFYING EXISTING ROOFING, THE CONTRACTOR SHALL PERFORM REPAIRS AND TRANSITIONS TO THE NEW WORK OF THIS CONTRACT TO THE SATISFACTION OF THE ROOFING MANUFACTURER WHO HAS ISSUED THE EXISTING ROOF WARRANTY. THE EXISTING MANUFACTURER'S ROOF WARRANTY SHALL BE EXTENDED TO INCLUDE THE ROOFING REPAIRS AND TRANSITIONS OF THIS CONTRACT.
3. NEW EPDM ROOF ASSEMBLIES

A. NEW EPDM ROOF MEMBRANE SHALL BE FIRESTONE RUBBERGARD EPDM LSFR 60 MIL OR APPROVED EQUAL.

B. INSULATION SHALL BE (2) LAYERS FIRESTONE ISOGARD GL 2.6" THICK (R-30).

C. COVER BOARD SHALL BE 5/8" THICK GEORGIA PACIFIC DENSDECK PRIME AND SHALL BE MECHANICALLY FASTENED TO THE ROOF DECK.
4. NEW COAL TAR ROOF ASSEMBLIES

A. MAXIMUM ROOF SLOPE SHALL BE 1/8" PER FOOT.

B. ROOF MEMBRANE SHALL BE THREE-PLY DURAPAX COAL TAR COATED GLASS FIBER FELT WITH DURAPAX COAL TAR PITCH (TYPE I).

C. INSULATION SHALL BE (2) LAYERS FIRESTONE ISOGARD GL 2.6" THICK (R-30).

D. COVER BOARD SHALL BE 1/2" THICK GEORGIA PACIFIC DENSDECK.

E. BALLAST SURFACING SHALL BLAST FURNACE SLAG, INSTALL PER MANUFACTURER'S RECOMMENDATION.

F. FINISHED ROOF ASSEMBLY SHALL NOT EXCEED 10 LBS PER SQUARE FOOT.

ALUMINUM FRAMED GLAZING SYSTEMS:

1. ALUMINUM FRAMED GLAZING SYSTEMS SHALL BE:

A. KAWNEER AA4325 - EXTERIOR THERMALLY BROKEN ALUMINUM WINDOWS (FIXED AND OPERABLE) WITH INSULATED GLAZING UNITS, OR APPROVED EQUAL.

B. KAWNEER 1600UT SYSTEM 1 CURTAIN WALL - EXTERIOR THERMALLY BROKEN ALUMINUM CURTAIN WALL SYSTEM WITH INSULATED GLAZING UNITS, OR APPROVED EQUAL.

C. KAWNEER 250T - EXTERIOR THERMALLY BROKEN ALUMINUM ENTRANCE SYSTEMS, OR APPROVED EQUAL.

D. KAWNEER TRIFAB 451 - INTERIOR NON-THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING WITH INSULATED GLAZING UNITS, OR APPROVED EQUAL.

F. KAWNEER 190 NARROW STILE - INTERIOR NON-THERMALLY BROKEN ALUMINUM DOOR SYSTEMS, OR APPROVED EQUAL.
2. ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING CODES, N.Y.S DEPT. OF LABOR, INDUSTRIAL LABOR CODE, RULE 21, HEALTH CODE, FIRE DEPARTMENT REGULATIONS, NBFU AND UTILITY CODES, OSHA CODES AND NEW YORK STATE BUILDING CODES.
3. ALL WORK ON THESE DRAWINGS SHALL BE CONSIDERED NEW WORK WHETHER STATED OR NOT EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING TO REMAIN".
4. DURING CONSTRUCTION, TEMPORARY PROTECTION TO PREVENT DUST
5. AND DIRT FROM FILTERING INTO OCCUPIED AREAS SHALL BE
6. PROVIDED BY THE CONTRACTOR.
7. ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
8. CONTRACTOR SHALL REMOVE AND REINSTALL AND/OR RELOCATE/MODIFY AND/OR PATCH ANY EXISTING ITEMS INTERFERING WITH THE INSTALLATION OF NEW WORK WHETHER SHOWN OR NOT ON THESE DRAWINGS. INCLUDING, BUT NOT LIMITED TO, ELECTRICAL AND DATA CONDUITS, RACEWAYS, CABLES, WIRES AND JUNCTION BOXES.
9. DO NOT DRIVE ANY FASTENER THROUGH THERMAL BREAKS. SEAL ALL FASTENERS.
10. INTERIOR WINDOW SILL STOOLS AND APRONS SHALL HAVE CLOSED END CAPS SAME GAUGE AS STOOLS.
11. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES IN THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT. NO CHANGE IN DRAWINGS IS PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
12. CONTRACTOR SHALL PROVIDE AND INSTALL INSULATION IN ALL HEADS, JAMBS, SILLS, MULLIONS AND STOOLS.
13. CONTRACTOR MAY ELECT TO REVERSE WINDOW RECEPTOR SYSTEM AS NECESSARY TO FACILITATE WINDOW INSTALLATION FROM INTERIOR OR EXTERIOR. RECEPTOR ORIENTATION MUST BE INDICATED ON APPROVED SHOP DRAWINGS.
14. ALL WINDOWS IN THERMALLY INSULATED WALLS (INTERIOR AND EXTERIOR WALLS) SHALL BE INSTALLED WITH CONTINUOUS SILL PAN FLASHING USING BLUESKIN AIR-BLOC LF OR APPROVED EQUAL. INSTALL BLUESKIN 50 MIL THICK WITH A MINIMUM 1/8" PER FOOT SLOPE TO EXTERIOR. PROVIDE END DAMS.
15. EXTERIOR JOINTS OF ALL WINDOWS INSTALLED IN THERMALLY INSULATED WALLS (INTERIOR AND EXTERIOR) SHALL BE SEALED WITH WILSEAL 600 COMPRESSIBLE JOINT SEALER (SECONDARY SEAL) AND TREMCO SPECTREM1 SILICONE SEALANT (PRIMARY SEAL).

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MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

REV	DESCRIPTION	DATE
–	ISSUED FOR DOB SUBMISSION	9.10.21
–	ISSUED FOR BID	10.15.21
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DRAWN BY :	S. WOO
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APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE :

ROOFING AND WINDOW
NOTES

DWG NUMBER :	A-002
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COMCHECK Software Version COMCHECKWeb

Interior Lighting Compliance Certificate

Project Information

Energy Code: 2020 New York Energy Conservation Construction Code
Project Title: 10 and 20 Dunningan Drive
Project Type: Addition

Construction Site: 2020 New York Energy Conservation Construction Code
Owner/Agent: 10 and 20 Dunningan Drive
Designer/Contractor: Suffern, New York 10901

Allowed Interior Lighting Power

A Area Category	B Floor Area (f2)	C Allowed Watts /f2	D Allowed Watts
1-Mezzanine 1 (Office)	4746	0.79	3749
2-Mezzanine 2 (Office)	5408	0.79	4272
3-Administration (Office)	10963	0.79	8661
4-ASRS Addition (Warehouse)	102307	0.48	49107
Total Allowed Watts =			65790

Proposed Interior Lighting Power

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E (C X D)
1-Mezzanine 1 (Office)				
LED: LF2: Other:	1	27	20	540
LED: B4: Other:	1	10	20	200
2-Mezzanine 2 (Office)				
LED: LF2: Other:	1	25	20	500
LED: B4: Other:	1	7	20	140
LED: LF1: Other:	1	11	11	124
3-Administration (Office)				
LED: LF2: Other:	1	76	20	1520
LED: LF1: Other:	1	70	11	791
4-ASRS Addition (Warehouse)				
LED: AN: Other:	1	34	230	7806
LED: AW: Other:	1	22	230	5061
LED: B4: Other:	1	29	20	768
LED: AN:EM: Other:	1	32	230	7347
LED: AW:EM: Other:	1	14	230	3214
LED: B4:EM: Other:	1	11	20	220
Total Proposed Watts =			28405	

Project Title: 10 and 20 Dunningan Drive
Data filename:

Report date: 09/15/21
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[illegible]

20Mcheck Software Version 10CcheckWeb

Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2020 New York Energy Conservation Construction Code
 Project Title: 10 and 20 Dunnigan Drive
 Project Type: Addition
 Exterior Lighting Zone: 2 (Light industrial area with limited nighttime use (L2Z))

Construction Site: 10 & 20 Dunnigan Drive
 Owner/Agent: Suffern, New York 10901
 Designer/Contractor:

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts /	D Tradable Watts	E Allowed Watts (B X C)
Lower Level (Parking area)	59100 R2	0.04	Yes	2364
2nd Mezz (Parking area)	10200 R2	0.04	Yes	408
Underside of Mezzanine 1 (Loading dock)	4746 R2	0.35	Yes	1661
Canopy at 20 Dunnigan (Loading docks)	7630 R2	0.35	Yes	2670
Electrical Yard (illuminated area of facade wall or surface)	5816 R2	0.07	No	436
North Ramp & Truck Access (Parking area)	30986 R2	0.04	Yes	1239
East Loading Dock (Parking area)	79378 R2	0.04	Yes	3175
6 loading 2 Parking (Parking area)	22372 R2	0.04	Yes	895
Total Tradable Watts (a) =				12413
Total Allowed Watts =				12949
Total Allowed Supplemental Watts (b) =				440

(a) Wattage tradeoffs are only equal to tradable areas/surfaces.

(b) A supplemental allowance equal to 400 watts may be applied to comply allowance for non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E (C X D)
Lower Level (Parking area, 59100 R2): Tradable Wattage LED: Other:	1	54	23	1237
2nd Mezz (Parking area, 10200 R2): Tradable Wattage LED: Other:			7	23
Underside of Mezzanine 1 (Loading dock, 4746 R2): Tradable Wattage LED: C8: Other:	1	11	40	440
Canopy at 20 Dunnigan (Loading dock, 7630 R2): Tradable Wattage LED: C8: Other:	1	33	40	1320
Electrical Yard (illuminated area of facade wall or surface, 5816 R2): Non-tradable Wattage LED: W: Other:		2	29	58
North Ramp & Truck Access (Parking area, 30986 R2): Tradable Wattage LED: W: Other:	1	5	29	146
LED: PHIL: Other:	1	1	154	154

Project Title: 10 and 20 Dunnigan Drive

Data filename:

Report date: 09/15/21

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A	B	C	D	E
Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	Lamps/ Fixture	# of Fixture	Fixture Watt.	(C X D)
LED: PII: Other:	1	1	154	154
Fast Loading Dock (Parking area, 79378 ft2): Tradable Wattage				
LED: W: Other:	1	5	29	146
LED: PII: Other:	1	1	154	154
LED: PIV: Other:	1	2	154	307
LED: PV: Other:	1	2	154	307
6 loading, 2 parking (Parking area, 22372 ft2): Tradable Wattage				
LED: PII: Other:	1	1	154	154
LED: W: Other:	1	1	29	29
Total Tradable Proposed Watts =				4706
Exterior Lighting PASSES: Design 63% better than code				
Exterior Lighting Compliance Statement				
Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2020 New York Energy Conservation Construction Code requirements in COMcheck Version COMcheckweb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.				
Andrew Berger, AIA, ASLA			09-10-2021	
Name - Title _____ Signature _____			Date _____	

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<p>MEP ENGINEER</p> 	<p>BURNS ENGINEERING, PC.</p> <p>1261 Broadway, Suite 708 New York, New York 10001 Tel 212-962-3503</p>
<p>STRUCTURAL ENGINEER</p> 	<p>GEI Consultants</p> <p>GEI50 1385 Broadway, 20th FL New York, New York 10018 Tel 212-687-8282</p>
	
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<p>MANHATTAN BEER DISTRIBUTORS</p> <p>20 DUNNIGAN DRIVE SUFFERN, NEW YORK</p>	

INTERIOR LIGHTING COMPLIANCE CERTIFICATE

EXTERIOR LIGHTING COMPLIANCE CERTIFICATE

ENERGY CONSERVATION CODE
NOTES

1. THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE.
2. PER TABLE C301.1 SUFFERN, ROCKLAND COUNTY IS CLIMATE ZONE 5A.
3. PER TABLE C402.1.3, MINIMUM R VALUES SHALL BE AS FOLLOW
 - 3.1. ROOF INSULATION SHALL BE R-30 MINIMUM, CONTINUOUS INSULATION.
 - 3.2. MASS WALLS (CONCRETE OR CMU) SHALL BE

ENERGY COMPLIANCE NOTES

COMCHECK Software Version COMCHECK Web

Envelope Compliance Certificate

Project Information

Energy Code:	2020 New York Energy Conservation Construction Code
Project Title:	10 & 20 Dunnigan Drive
Location:	Suffern, New York
Climate Zone:	5a
Project Type:	Addition
Vertical Glazing / Wall Area:	5%

Construction Site:	Owner/Agent:	Designer/Contractor:
10 & 20 Dunnigan Drive Suffern, New York 10901		

Building Area

1-Mezzanine (1 Office)	Nonresidential
2-Mezzanine (2 Office)	Nonresidential
3-Administration (Office)	Nonresidential
4-ASRS Addition (Warehouse)	Nonresidential

Floor Area

4746
5408
10963
102307

Envelope Assemblies

Assembly	Gross Area or Perimeter	R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ₀
Floor: Insulation Entirely Above Deck, (Bldg. Use 3 - Administration)	11955	---	30.0	0.032	0.048
Floor: Insulation Entirely Above Deck, (Bldg. Use 4 - ASRS Addition)	102307	---	30.0	0.032	0.048
Floor: Concrete Floor (over unconditioned space), (Bldg. Use 1 - Mezzanine 1)	4746	---	30.0	0.030	0.074
Floor: Concrete Floor (over unconditioned space), (Bldg. Use 2 - Mezzanine 2)	602	---	30.0	0.030	0.074
Floor: Concrete Floor (over unconditioned space), (Bldg. Use 3 - Administration)	11955	---	30.0	0.030	0.074
Floor: Unheated Slab-On-Grade, (Bldg. Use 4 - ASRS Addition) (c)	1284	---	---	0.730	0.730
NORTH					
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 1 - Mezzanine 1)	1489	13.0	7.5	0.060	0.064
Door: Insulated Metal, Swinging, (Bldg. Use 1 - Mezzanine 1)	21	---	---	0.600	0.700
Door: Insulated Metal, Swinging, (Bldg. Use 1 - Mezzanine 1)	21	---	---	0.600	0.700
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 2 - Mezzanine 2)	1628	13.0	7.5	0.060	0.064
Door: Insulated Metal, Swinging, (Bldg. Use 2 - Mezzanine 2)	419	13.0	7.5	0.060	0.064
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 2 - Mezzanine 2)	419	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	240	---	---	0.650	0.450
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 2 - Mezzanine 2)	166	13.0	7.5	0.060	0.064
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 2 - Mezzanine 2)	1231	13.0	7.5	0.060	0.064
Admin: Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450

Project Title: 10 and 20 Dunnigan Drive


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Assembly	Gross Area or Perimeter	R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ₀
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 3 - Administration)	730	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	292	---	---	0.650	0.450
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Ext. Wall: Other Exterior Wall, Heat capacity 0.0, (Bldg. Use 4 - ASRS Addition) (b)	1980	---	---	0.031	0.064
Door: Other (U-Factor option), Non-Swinging, (Bldg. Use 4 - ASRS Addition)	121	---	---	0.030	0.179
Door: Other (U-Factor option), Non-Swinging, (Bldg. Use 4 - ASRS Addition)	80	---	---	1.200	0.179
Door: Other (U-Factor option), Non-Swinging, (Bldg. Use 4 - ASRS Addition)	80	---	---	1.200	0.179
Door: Other (U-Factor option), Non-Swinging, (Bldg. Use 4 - ASRS Addition)	80	---	---	1.200	0.179
Door: Other (U-Factor option), Non-Swinging, (Bldg. Use 4 - ASRS Addition)	80	---	---	1.200	0.179
Door: Other (U-Factor option), Non-Swinging, (Bldg. Use 4 - ASRS Addition)	80	---	---	1.200	0.179
Door: Other (U-Factor option), Non-Swinging, (Bldg. Use 4 - ASRS Addition)	80	---	---	1.200	0.179
Door: Other (U-Factor option), Non-Swinging, (Bldg. Use 4 - ASRS Addition)	80	---	---	1.200	0.179
Ext. Wall: Other Exterior Wall, Heat capacity 0.0, (Bldg. Use 3 - Administration) (b)	6150	---	---	0.031	0.064
Ext. Wall: Other Exterior Wall, Heat capacity 0.0, (Bldg. Use 3 - Administration) (b)	6150	---	---	0.031	0.064
EAST					
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 1 - Mezzanine)	273	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break; Fixed, Perf. Type; Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 1 - Mezzanine)	122	---	---	0.650	0.450
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 2 - Mezzanine)	276	13.0	7.5	0.060	0.064
Door: Insulated Metal, Swinging, (Bldg. Use 2 - Mezzanine)	21	---	---	0.600	0.700
Project Title: 10 and 20 Dunnigan Drive				Report date: 09/15/2021	
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Assembly	Gross Area or Perimeter	R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ₁
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 2 - Mezzanine 2)	400	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	122	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	16	—	—	0.650	0.450
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 3 - Administration)	406	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	—	—	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	—	—	0.650	0.450
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 3 - Administration)	275	13.0	7.5	0.060	0.064
Door: Insulated Metal, Swinging, (Bldg. Use 3 - Administration)	42	—	—	0.600	0.700
Ext. Wall: Other Exterior Wall, Heat capacity 0.0, (Bldg. Use 3 - Administration) (b)	2600	—	—	0.031	0.064
Ext. Wall: Other Exterior Wall, Heat capacity 0.0, (Bldg. Use 3 - Administration) (b)	2960	—	—	0.031	0.064
SOUTH					
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 1 - Mezzanine 1)	1489	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 1 - Mezzanine 1)	16	—	—	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 1 - Mezzanine 1)	16	—	—	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 1 - Mezzanine 1)	16	—	—	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 1 - Mezzanine 1)	16	—	—	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 1 - Mezzanine 1)	16	—	—	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 1 - Mezzanine 1)	16	—	—	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 1 - Mezzanine 1)	16	—	—	0.650	0.450
Ext. Wall: Steel-Framed, 24in. o.c., (Bldg. Use 2 - Mezzanine 2)	2221	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	16	—	—	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type:	16	—	—	0.650	0.450
Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	16	—	—	0.650	0.450
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Assembly	Gross Area or Perimeter	R-Value	Cont. R-Value	U-Factor	Budget U-Factor _W
Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	16	---	---	0.650	0.450
Ext. Wall: Steel-Framed, 24in. oc. (Bldg. Use 3 - Administration)	260	13.5	7.5	0.059	0.064
Ext. Wall: Steel-Framed, 24in. oc. (Bldg. Use 3 - Administration)	1651	13.0	7.5	0.060	0.064
Ext. Wall: Exterior Wall, Heat capacity 0.0, (Bldg. Use 3 - Administration) (b)	14550	---	---	0.031	0.064
WEST					
Ext. Wall: Steel-Framed, 24in. oc. (Bldg. Use 1 - Mezzanine 1)	273	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.38, (Bldg. Use 1 - Mezzanine 1)	80	---	---	0.650	0.450
Ext. Wall: Steel-Framed, 24in. oc. (Bldg. Use 2 - Mezzanine 2)	407	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	16	---	---	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	16	---	---	0.650	0.450
Ext. Wall: Steel-Framed, 24in. oc. (Bldg. Use 2 - Mezzanine 2)	262	13.0	7.5	0.060	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	104	---	---	0.650	0.450
Door: Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 2 - Mezzanine 2)	48	---	---	0.800	0.800
Ext. Wall: Steel-Framed, 24in. oc. (Bldg. Use 3 - Administration)	318	13.0	7.5	0.060	0.064
Door: Insulated Metal, Swinging, (Bldg. Use 3 - Administration)	42	---	---	0.600	0.700
Ext. Wall: Steel-Framed, 24in. oc. (Bldg. Use 3 - Administration)	686	13.5	7.5	0.059	0.064
Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Window: Metal Frame with Thermal Break: Fixed, Perf. Type: Energy code default, Double Pane with Low-E, Clear, SHGC 0.70, (Bldg. Use 3 - Administration)	16	---	---	0.650	0.450
Ext. Wall: Door: Exterior Wall, Heat capacity 0.0, (Bldg. Use 4 - ASHS Addition) (b)	7020	---	---	0.031	0.064
(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements. (b) Other components require supporting documentation provided by the user.					
(c) Slab-On-Grade proposed and budget U-factors shown in table are R-factors.					
Envelope PASSES: Design 23% better than code					
Envelope Compliance Statement					
Compliance Statement: The proposed envelope design presented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2020 New York Energy Conservation Construction Code requirements in COMcheck Version COMcheckWeb and comply with any applicable mandatory requirements listed in the inspection Checklist.					
Andrew Berger, AIA, ASLA				09/15/2021	
Name - Title				Signature 	Date
Project Title: 10 and 20 Durnigan Drive					Report date: 09/15/2021
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ENVELOPE COMPLIANCE CERTIFICATE

DWG NUMBER :

A-003

KEY NOTES

- 1
- NEW CONCRETE WALL AT LOADING DOCK
- 2
- CONCRETE REPAIR TO THE FACE OF THE EXPOSED FOUNDATION WALLS AND FOOTING AT NEW LOADING DOCKS
- 3
- STEEL COLUMN WITH 2" CONCRETE ENCASEMENT. SEE STRUCTURAL DRAWINGS
- 4
- GENERATOR ON CONCRETE PAD. CONSTRUCT CONCRETE PAD 6" THICK AND REINFORCED
- 5
- MODIFY EXISTING RAMP TO PROVIDE A 22' WIDE RAMP FOR VEHICULAR ENTRANCE TO EXISTING OVERHEAD ENTRANCE DOOR/GATE. AN 8' WIDE SAW-CUT PORTION SHALL BE REMOVED FROM THE CENTER SEPARATING THE NORTH AND SOUTH PORTIONS. A NEW RETAINING WALL SHALL BE BUILT WHERE THE 8' WIDE PORTION WAS REMOVED. THE NORTH PORTION OF THE RAMP SHALL BE EXTENDED TO AND MARRIED TO THE NEW RETAINING WALL. THE EXTENSION SHALL BE REINFORCED AND TIED INTO THE WALL WITH TOWELS/REINFORCEMENT BARS. THE SOUTHERN PORTION OF THE RAMP SHALL BE REMOVED AND DISCARDED
- 6
- INSTALL LIGHTING, SEE LIGHTING SCHEDULE
- 7
- REINSTALLATION OF THE EXISTING SECURITY BOOTH SHALL INCLUDE BUT IS NOT LIMITED TO THE SECURITY BOOTH, NEW CONCRETE PAD, TRAFFIC ARM, AND NEW BOLLARDS
- 8
- REINSTALL MANHATTAN BEER DISTRIBUTORS SIGNAGE
- 9
- CONSTRUCT SOUND ATTENUATING PANEL WALL/FENCE SCREEN, SEE DETAILS
- 10
- CONSTRUCT RETAINING WALL, SEE TRACK DRAWINGS
- 11
- ELECTRICAL YARD, SEE ELECTRICAL DRAWINGS FOR ELECTRICAL EQUIPMENT AND CONCRETE PAD LAYOUT. CONCRETE PAD SHALL BE 6" THICK AND REINFORCED
- 12
- RELOCATED TRACK AND NEW TRACK SIDINGS, SEE TRACK DRAWINGS
- 13
- INSTALL STAIR RISERS, TREADS AND STRINGERS, SEE STAIR DETAILS
- 14
- INSTALL HANDRAILS, SEE DETAILS
- 15
- INSTALL GUARDRAILS, SEE DETAILS
- 16
- CONSTRUCT ELEVATOR SHAFT AND INSTALL ELEVATOR PER MANUFACTURE'S INSTRUCTIONS. SEE DRAWING A-400 FOR ADDITIONAL INFORMATION
- 17
- FURNISH AND INSTALL WATER FOUNTAIN, SEE A-508 & A 509
- 18
- VENDING MACHINE
- 19
- INSTALL REFRIGERATOR
- 20
- FURNISH AND INSTALL DOUBLE TIER LOCKER
- 21
- FURNISH AND INSTALL LOCKER ROOM BENCH 9" WIDE WOOD BENCH WITH STEEL PEDESTALS
- 22
- FURNISH AND INSTALL STOREFRONT GLAZING SYSTEM, SEE DRAWING A-320
- 23
- FURNISH AND INSTALL CURTAIN WALL GLAZING SYSTEM, SEE DRAWING A-321
- 24
- FURNISH AND INSTALL RECEPTION DESK
- 25
- FURNISH AND INSTALL PARKING BLOCK
- 26
- FURNISH AND INSTALL STRUCTURAL STEEL BOLLARD POST AND BASE WITH DECORATIVE STAINLESS STEEL SLEEVE
- 27
- PROVIDE STRIPPING FOR PARKING STALLS, VEHICULAR PATHS, ETC.
- 28
- INTERIOR STEEL COLUMNS WITH FIRE-RATED GYPSUM BOARD ENCLOSURE, SEE DETAILS
- 29
- SPRINKLER RISERS, SEE FIRE PROTECTION DRAWINGS
- 30
- FURNISH AND INSTALL GALVANIZED STEEL LADDER. LADDER SHALL COMPLY WITH OSHA REQUIREMENTS, SEE A-503
- 31
- STEEL KING 42" HIGH STEEL GUARD HEAVY DUTY SWING GATE. (2) RAILINGS, 11 GAUGE RAILING WITH 4"x4" POSTS. POWDER COATED SAFETY YELLOW. INSTALL PER MANUFACTURER INSTRUCTIONS
- 32
- GALVANIZED STEEL STAIR ASSEMBLY WITH DIAMOND PLATE TREADS, GUARDRAILS, AND HANDRAILS, SEE A-503
- 33
- CONSTRUCT SLOPED SURFACE AT 1:20
- 34
- EXPANSION JOINT, SEE DETAILS
- 35
- 4" THICK INSULATED METAL WALL PANELS SHALL BE VERAWALL BY CENTRIA
- 36
- CONSTRUCT 42" HIGH CONCRETE PARAPET
- 37
- FLOOR DRAIN, SLOPE TO DRAIN 1.5% MINIMUM
- 38
- 16'-0" WIDE CONCRETE PLATFORM
- 39
- FURNISH AND INSTALL COUNTER TOP
- 40
- INSTALL OVERHEAD COILING DOOR, SEE COILING DOOR SCHEDULE
- 41
- CONSTRUCT 14'-6" WIDE PLATFORM CANOPY, SEE ARCHITECTURAL DETAILS AND STRUCTURAL FOR FRAMING
- 42
- CONSTRUCT AND MATCH NEW WALL TO ADJACENT EXISTING WALL. MATCH COLOR, STYLE AND WALL ASSEMBLY IN ITS ENTIRETY
- 43
- 4" THICK INSULATED CORRUGATED METAL WALL PANELS SHALL BE VERAWALL BY CENTRIA
- 44
- RELOCATED GENERAC GENERATOR WITH NEW REINFORCED CONCRETE PAD. PROVIDE MINIMUM 3'-0" CLEARANCE AROUND
- 45
- INFILL WITH RELOCATED FILL AT FORMER TRAIN TRACK LOCATION AND CONSTRUCT A STRUCTURAL CONCRETE SLAB, FINISH FLOOR TO MATCH EXISTING ELEVATION AND FINISH, SEE STRUCTURAL DRAWINGS
- 46
- FURNISH AND INSTALL ARDEX SELF-LEVELING UNDERLAYMENT OVER STRUCTURAL SLAB AND PREP FOR FLOORING FINISH MATERIAL. SEE FINISH SCHEDULE
- 47
- STEEL KING 42" HIGH STEEL GUARD HEAVY DUTY GUARD RAILING. (2) RAILINGS, 11 GAUGE RAILING WITH 4"x4" POSTS. POST TYPES SHALL BE CENTER END OFFSET, SIDE OFFSET AND STANDARD OFFSET. RAIL SHALL BE TIGHT TO THE EDGE. POWDER COATED SAFETY YELLOW. INSTALL PER MANUFACTURER INSTRUCTIONS
- 48
- FURNISH AND INSTALL 6' HIGH CHAIN LINK FENCING
- 49
- FURNISH AND INSTALL 8"x8" SOFFIT

- 50
- FURNISH AND INSTALL KEEGUARD SAFETY RAILING BY KEESAFETY. RAILING SHALL BE OFFSET FROM THE EDGE OF THE ROOF TO ELIMINATE VIEW FROM THE STREET. PROVIDE 24" MIN. CLEARANCE TO THE EXISTING PHOTO VATIC PANELS
- 51
- ROOF ASSEMBLY: REFER TO STRUCTURAL DRAWINGS FOR METAL DECK; (2) LAYERS 2.6" FIRESTONE ISOGARD GL INSULATION (R-30); (1) 1/2" COVER BOARD GP DENSDECK; ROOF MEMBRANE - FIRESTONE RUBBERGARD EPDM LSFR 60 MIL
- 52
- PROVIDE SCUPPER AND LEADER DOWN TO THE ADJACENT ROOF
- 53
- INSULATE UNDERSIDE OF FLOOR AT RECEPTION AREA AND MEZZANINE 1: PROVIDE R-30 MINERAL WOOL INSULATION; PROVIDE 'Z' METAL FURRING AT 24" O.C.; PROVIDE 2.6" POLISO R-15 RIGID INSULATION PANELS; PROVIDE BLUESKIN VAPOR BARRIER, 5/8" DENSGLASS SHEATHING, AND STUCCO FINISH
- 54
- NEW ROOF LEADER, REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- 55
- PROVIDE 26' WIDE RAMP AND RETAINING WALL FOR VEHICULAR ENTRANCE TO THE EXISTING TRUCK MAINTENANCE SHOP. SEE STRUCTURAL DRAWINGS FOR DETAILS.
- 56
- PROVIDE 5'X5' METAL LANDING AND STEPS TO THE ROOF WITH MAX 7" RISERS. AT STAIR TOWER "C", IN ADDITION TO THE LANDING AND STEPS, A METAL RAMP SHALL BE PROVIDED AT A SLOPE OF 1:12. THE METAL ASSEMBLY SHALL BE OVER A 1/2 RUBBER WALKING MAT TO PROVIDE PROTECTION FOR THE EPDM ROOFING MEMBRANE. ALL METAL SHALL BE GALVANIZED.
- 57
- PROVIDE CONTINUOUS FIXED FABRIC DRAFT CURTAINS WHERE NOTED ON THE PLANS. THE DRAFT CURTAIN SHALL SEPARATE THE AS/RS WAREHOUSE FROM THE EXISTING BUILDINGS AND IN 10 DUNNIGAN SHALL SEPARATE THE ESFR SPRINKLER SYSTEM FROM THE REST OF THE 10 DUNNIGAN WAREHOUSE. DRAFT CURTAINS SHALL BE SECURED TO THE UNDERSIDE OF THE ROOF DECK PER MANUFACTURER'S RECOMMENDED ATTACHMENT METHODS. DRAFT CURTAINS SHALL EXTEND 24" FROM THE UNDERSIDE OF THE ROOF DECK AND SHALL BE SEALED AROUND ALL PENETRATIONS/OBSTRUCTIONS. DRAFT CURTAINS SHALL BE MODEL SD60 FIXED FABRIC DRAFT CURTAINS BY U.S. SMOKE AND FIRE, OR APPROVED EQUAL, AND SHALL MEET THE REQUIREMENTS OF UL 10B, ASTM E84 AND ASTM E136.
- 58
- NEW CANOPY ROOF LEADER +/-40' O.C. AND AVOID CONFLICT WITH OVERHEAD DOORS, REFER TO MEP FOR SIZES
- 59
- PROVIDE ROOF CANOPY AT STAIRS A,B AND C. CANOPY SHALL BE A STEEL CHANNEL FRAMED WITH CORRUGATED METAL DECKING AND EPDM ROOFING. UNDERSIDE OF CANOPY SHALL BE METAL PANEL SOFFIT. CANOPY SHALL BE SUPPORTED FROM THE CONCRETE BULKHEAD BY STEEL RODS AND BRACKETS.

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Tel 212-687-8282



MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

REV	DESCRIPTION	DATE
–	ISSUED FOR DOB SUBMISSION	9.10.21
–	ISSUED FOR BID	10.15.21
–	ISSUED FOR CONSTRUCTION	11.30.21

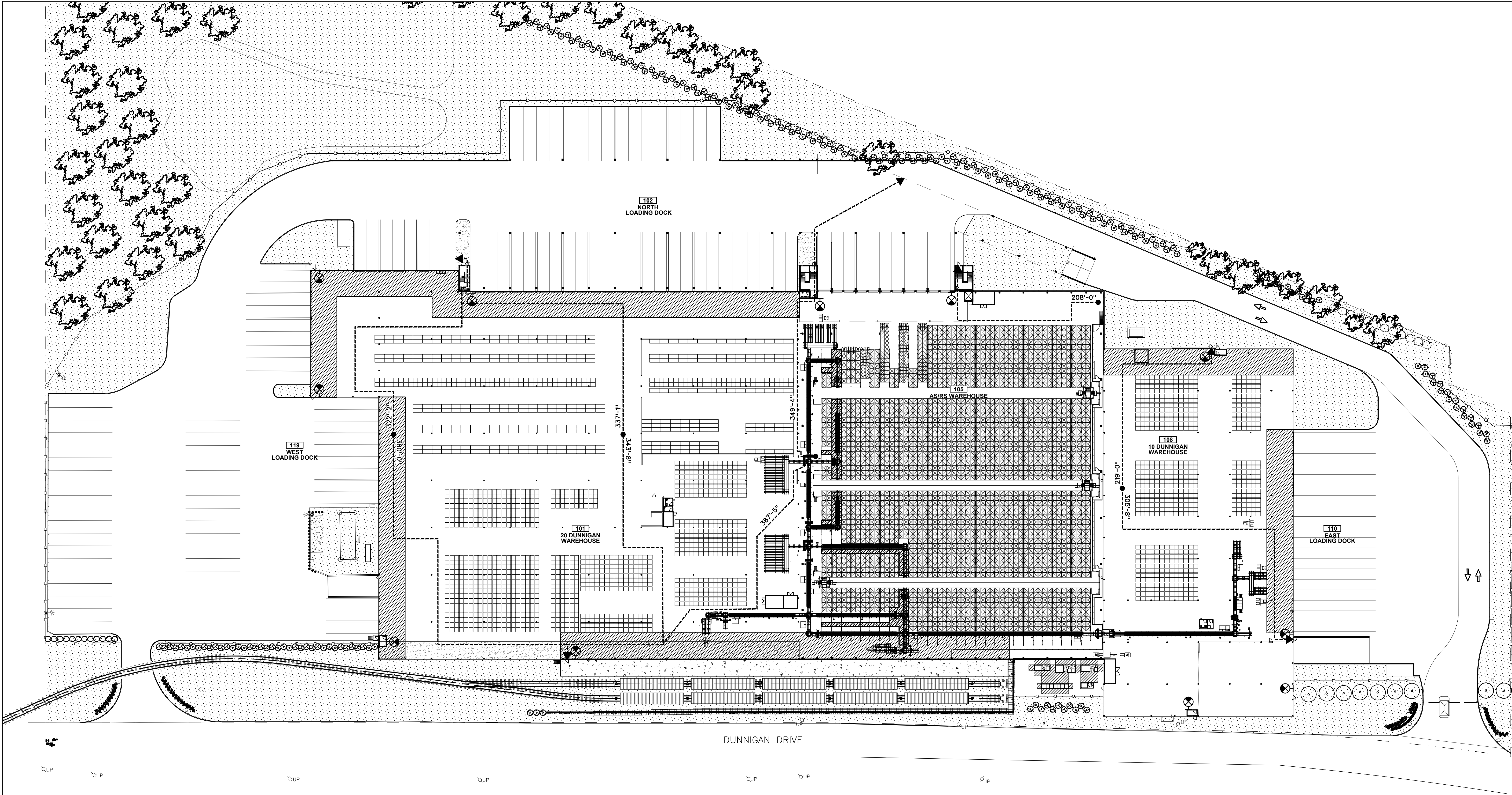
DRAWN BY :	S. WOO
CHECKED BY :	D. TOBAR, R.A.
APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE :

KEY NOTES

DWG NUMBER :

A-004



1 EGRESS PLAN - WAREHOUSE FLOOR PLAN
A-101A-010 NOT TO SCALE

LIFE SAFETY AND EGRESS LEGEND:

100' TRAVEL DISTANCE
PATH OF EGRESS

B S-2 OCCUPANCY CLASSIFICATION

1-HR RATED WALL
2-HR RATED WALL

EXIT SIGN

MAINTAIN CLEAR WIDTH

PROJECT:
MANHATTAN BEER DISTRIBUTORS
10-20 DUNNIGAN DRIVE
SUFFERN NEW YORK

A. EGRESS CODE CRITERIA

BUILDING CODE:
2020 BUILDING CODE OF NEW YORK STATE (BCNYS)

2020 BCNYS SECTION 306.2 - OCCUPANCY CLASS TYPE:
S-2 STORAGE (LOW HAZARD)

ALL EMPLOYEE WORK AREAS ARE IN COMPLIANCE WITH
2020 BCNYS SECTION 1103.2.2 AND ANSI A117.1.

2020 BCNYS TABLE 508.4 - FIRE RATED SEPARATIONS
PER TABLE 508.4, OCCUPANCY GROUPS (S-2) STORAGE
LOW HAZARD AND (B) BUSINESS ARE REQUIRED TO HAVE
A 1-HR FIRE RATED SEPARATION.

AS PER 2020 BCNYS 425, NO RADIOACTIVE MATERIAL OR
RADIATION PRODUCING EQUIPMENT HAS BEEN USED AS
PART OF THIS APPLICATION.

OCCUPANT LOAD CALCULATION PER 2020 BCNYS TABLE 1004.5				
SPACES	USE GROUP/ SPACE DESCRIPTION	AREA (GSF)	AREA PER OCCUPANT	OCCUPANT LOAD
ASRS WAREHOUSE	S-2: STORAGE (LOW HAZARD)	102,307 GSF	500 GSF	204
TOTAL *OF OCCUPANTS				204

OCCUPANT LOAD REQUIREMENTS NET AREA TABLE (2020 BCNYS TABLE 1004.5)
BUSINESS AREAS: 150GSF/OCCUPANT
STORAGE/STOCK/SHIPPING: 300 GSF/OCCUPANT
PARKING GARAGE: 200 GSF/OCCUPANT
WAREHOUSE: 500 GSF/OCCUPANT
LOCKER ROOM: 50 GSF
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM: 300 GSF/OCCUPANT

B. GENERAL MEANS OF EGRESS

MINIMUM REQUIRED EGRESS WIDTH
(2020 NYSBC SECTION 1005.3.1 & 1005.3.2):

STAIRWAYS:
OCCUPANT LOAD x 0.3" (EGRESS WIDTH/OCC.)

OTHER EGRESS COMPONENTS:
OCCUPANT LOAD x 0.2" (EGRESS WIDTH/OCC.)

CORRIDORS (2020 NYSBC SECTION 1020):
BOTH (B) AND (S-2) OCCUPANCIES
- MAX. DEAD END CORRIDOR LENGTH: 50 FT (PER SECTION 1020.4)
- MIN. CORRIDOR WIDTH: 44" MIN. (PER TABLE 1020.2)

EXIT ACCESS REQUIREMENTS (2020 NYSBC TABLE 1017.2):

STORAGE (S-2)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 400 FT
BUSINESS (B)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 300 FT

ARCHITECT
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MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

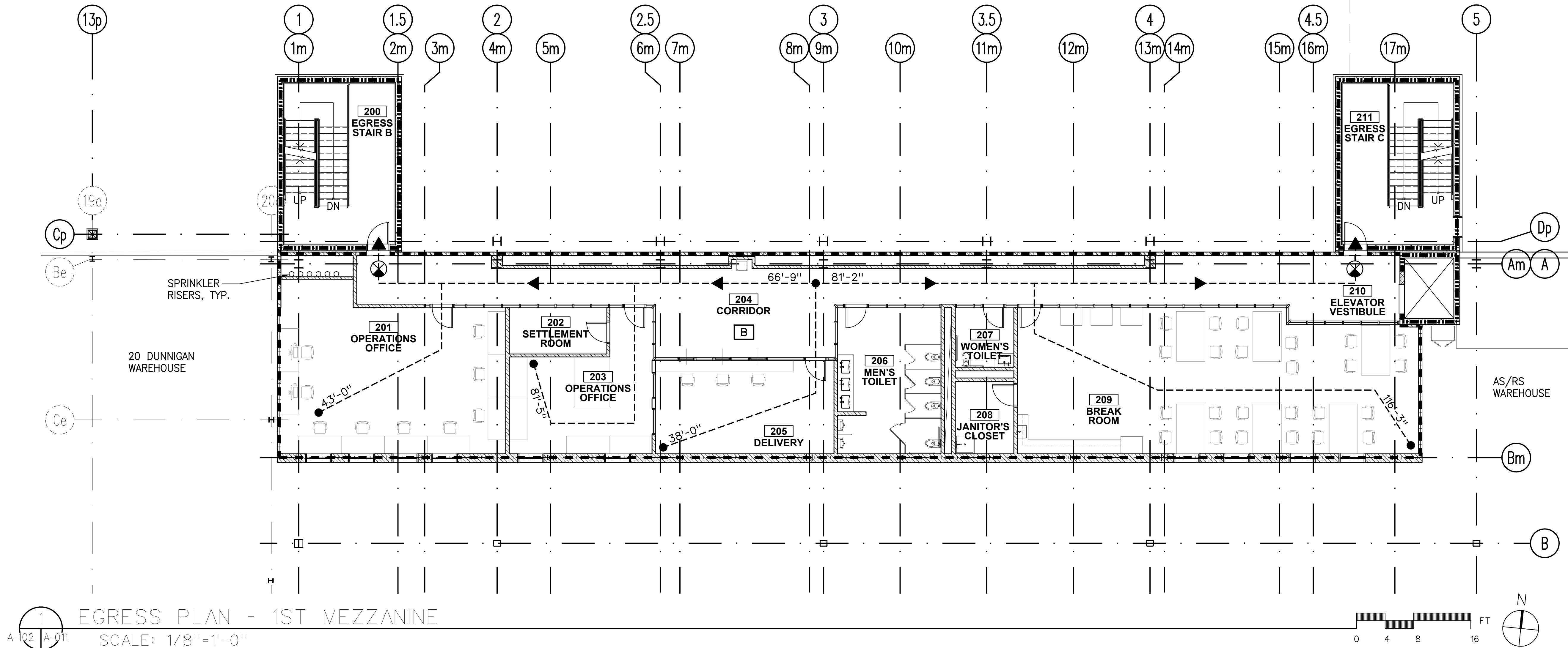
REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
-	ISSUED FOR CONSTRUCTION	11.30.21

DRAWN BY:	S. WOO
CHECKED BY:	D. TOBAR, R.A.
APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**LIFE SAFETY AND
EGRESS PLANS -
WAREHOUSE FLOOR**

DWG NUMBER:

A-010



1 EGRESS PLAN - 1ST MEZZANINE
A-102 A-011 SCALE: 1/8"=1'-0"

LIFE SAFETY AND EGRESS LEGEND:

- 100' TRAVEL DISTANCE
- PATH OF EGRESS
- OCCUPANCY CLASSIFICATION
- 1-HR RATED WALL
- 2-HR RATED WALL
- EXIT SIGN

PROJECT:
MANHATTAN BEER DISTRIBUTORS
10-20 DUNNIGAN DRIVE
SUFFERN NEW YORK

A. EGRESS CODE CRITERIA

BUILDING CODE:
2020 BUILDING CODE OF NEW YORK STATE (BCNYS)

2020 BCNYS SECTION 306.2 - OCCUPANCY CLASS TYPE:
S-2 STORAGE (LOW HAZARD)

ALL EMPLOYEE WORK AREAS ARE IN COMPLIANCE WITH
2020 BCNYS SECTION 1103.2.2 AND ANSI A117.1.

2020 BCNYS TABLE 508.4 - FIRE RATED SEPARATIONS
PER TABLE 508.4, OCCUPANCY GROUPS (S-2) STORAGE
LOW HAZARD AND (B) BUSINESS ARE REQUIRED TO HAVE
A 1-HR FIRE RATED SEPARATION.

AS PER 2020 BCNYS 425, NO RADIOACTIVE MATERIAL OR
RADIATION PRODUCING EQUIPMENT HAS BEEN USED AS
PART OF THIS APPLICATION.

OCCUPANT LOAD CALCULATION: PER 2020 BCNYS TABLE 1004.5				
SPACES	USE GROUP/ SPACE DESCRIPTION	AREA (GSF)	AREA PER OCCUPANT	OCCUPANT LOAD
1ST MEZZANINE	BUSINESS AREAS	4,223 GSF	150 GSF	28
TOTAL *OF OCCUPANTS				28

OCCUPANT LOAD REQUIREMENTS NET AREA TABLE (2020 BCNYS TABLE 1004.5)

BUSINESS AREAS: 150GSF/OCCUPANT
STORAGE/STOCK/SHIPPING: 300 GSF/OCCUPANT
PARKING GARAGE: 200 GSF/OCCUPANT
WAREHOUSE: 500 GSF/OCCUPANT
LOCKER ROOM: 50 GSF
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM: 300 GSF/OCCUPANT

B. GENERAL MEANS OF EGRESS

MINIMUM REQUIRED EGRESS WIDTH
(2020 NYSBC SECTION 1005.3.1 & 1005.3.2):

STAIRWAYS:
OCCUPANT LOAD x 0.3" (EGRESS WIDTH/OCC.)

OTHER EGRESS COMPONENTS:
OCCUPANT LOAD x 0.2" (EGRESS WIDTH/OCC.)

CORRIDORS (2020 NYSBC SECTION 1020):
BOTH (B) AND (S-2) OCCUPANCIES
- MAX. DEAD END CORRIDOR LENGTH: 50 FT (PER SECTION 1020.4)
- MIN. CORRIDOR WIDTH: 44" MIN. (PER TABLE 1020.2)

EXIT ACCESS REQUIREMENTS (2020 NYSBC TABLE 1017.2):

STORAGE (S-2)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 400 FT
BUSINESS (B)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 300 FT

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MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

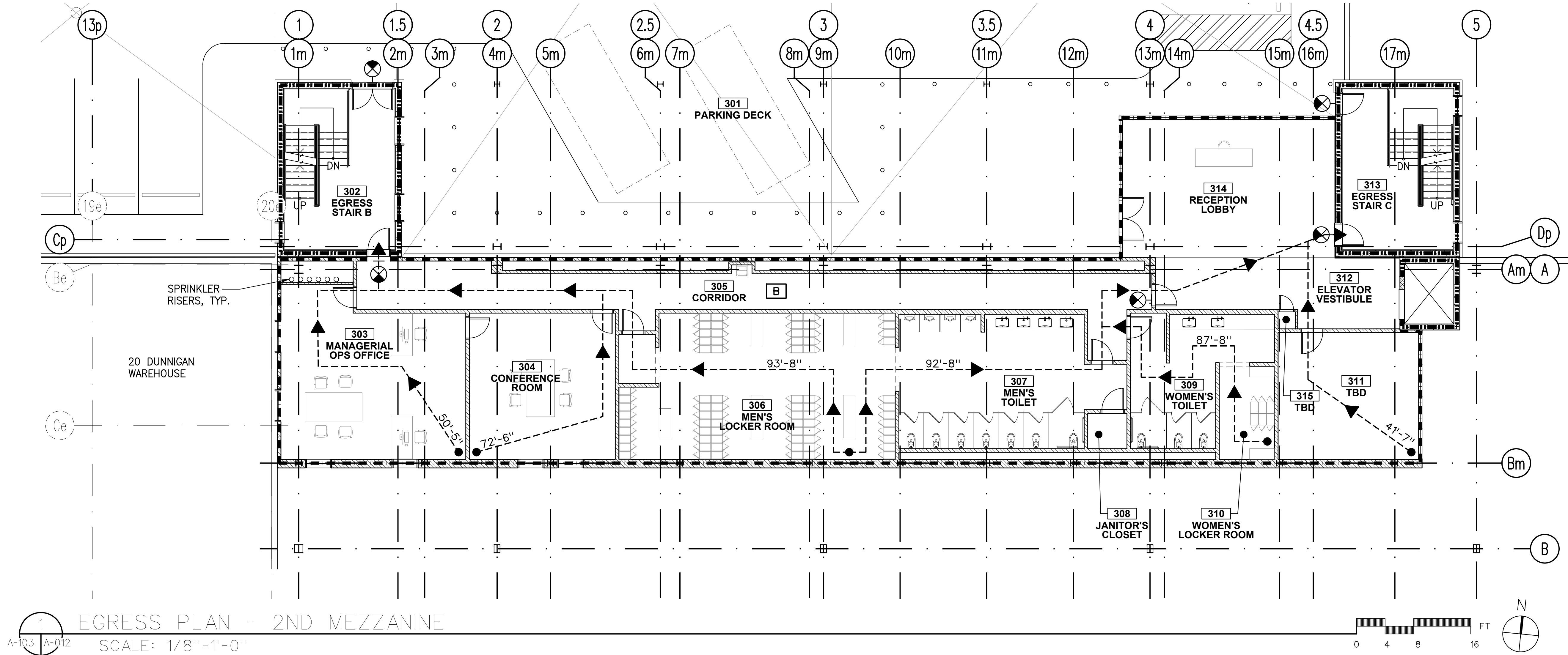
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SCALE:	AS NOTED

DRAWING TITLE:
LIFE SAFETY AND
EGRESS PLANS -
1ST MEZZANINE

DWG NUMBER:

A-011



1 EGRESS PLAN - 2ND MEZZANINE
A-103 A-012 SCALE: 1/8"=1'-0"

LIFE SAFETY AND EGRESS LEGEND:

- 100' TRAVEL DISTANCE
PATH OF EGRESS
- B** **S-2** OCCUPANCY CLASSIFICATION
- 1-HR RATED WALL
2-HR RATED WALL
- EXIT SIGN

PROJECT:
MANHATTAN BEER DISTRIBUTORS
10-20 DUNNIGAN DRIVE
SUFFERN NEW YORK

A. EGRESS CODE CRITERIA

BUILDING CODE:
2020 BUILDING CODE OF NEW YORK STATE (BCNYS)

2020 BCNYS SECTION 306.2 - OCCUPANCY CLASS TYPE:
S-2 STORAGE (LOW HAZARD)

ALL EMPLOYEE WORK AREAS ARE IN COMPLIANCE WITH
2020 BCNYS SECTION 1103.2.2 AND ANSI A117.1.

2020 BCNYS TABLE 508.4 - FIRE RATED SEPARATIONS
PER TABLE 508.4, OCCUPANCY GROUPS (S-2) STORAGE
LOW HAZARD AND (B) BUSINESS ARE REQUIRED TO HAVE
A 1-HR FIRE RATED SEPARATION.

AS PER 2020 BCNYS 425, NO RADIOACTIVE MATERIAL OR
RADIATION PRODUCING EQUIPMENT HAS BEEN USED AS
PART OF THIS APPLICATION.

OCCUPANT LOAD CALCULATION: PER 2020 BCNYS TABLE 1004.5				
SPACES	USE GROUP/ SPACE DESCRIPTION	AREA (GSF)	AREA PER OCCUPANT	OCCUPANT LOAD
2ND MEZZANINE	BUSINESS AREAS	3,254 GSF	150 GSF	21
	LOCKER ROOM	993 GSF	50 GSF	19
UPPER PARKING DECK	PARKING GARAGE	56,617 GSF	200 GSF	283
TOTAL *OF OCCUPANTS				323

OCCUPANT LOAD REQUIREMENTS NET AREA TABLE (2020 BCNYS TABLE 1004.5)
BUSINESS AREAS: 150GSF/OCCUPANT
STORAGE/STOCK/SHIPPING: 300 GSF/OCCUPANT
PARKING GARAGE: 200 GSF/OCCUPANT
WAREHOUSE: 500 GSF/OCCUPANT
LOCKER ROOM: 50 GSF
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM: 300 GSF/OCCUPANT

B. GENERAL MEANS OF EGRESS

MINIMUM REQUIRED EGRESS WIDTH
(2020 NYSBC SECTION 1005.3.1 & 1005.3.2):

STAIRWAYS:
OCCUPANT LOAD x 0.3" (EGRESS WIDTH/OCC.)

OTHER EGRESS COMPONENTS:
OCCUPANT LOAD x 0.2" (EGRESS WIDTH/OCC.)

CORRIDORS (2020 NYSBC SECTION 1020):
BOTH (B) AND (S-2) OCCUPANCIES
- MAX. DEAD END CORRIDOR LENGTH: 50 FT (PER SECTION 1020.4)
- MIN. CORRIDOR WIDTH: 44" MIN. (PER TABLE 1020.2)

EXIT ACCESS REQUIREMENTS (2020 NYSBC TABLE 1017.2):

STORAGE (S-2)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 400 FT
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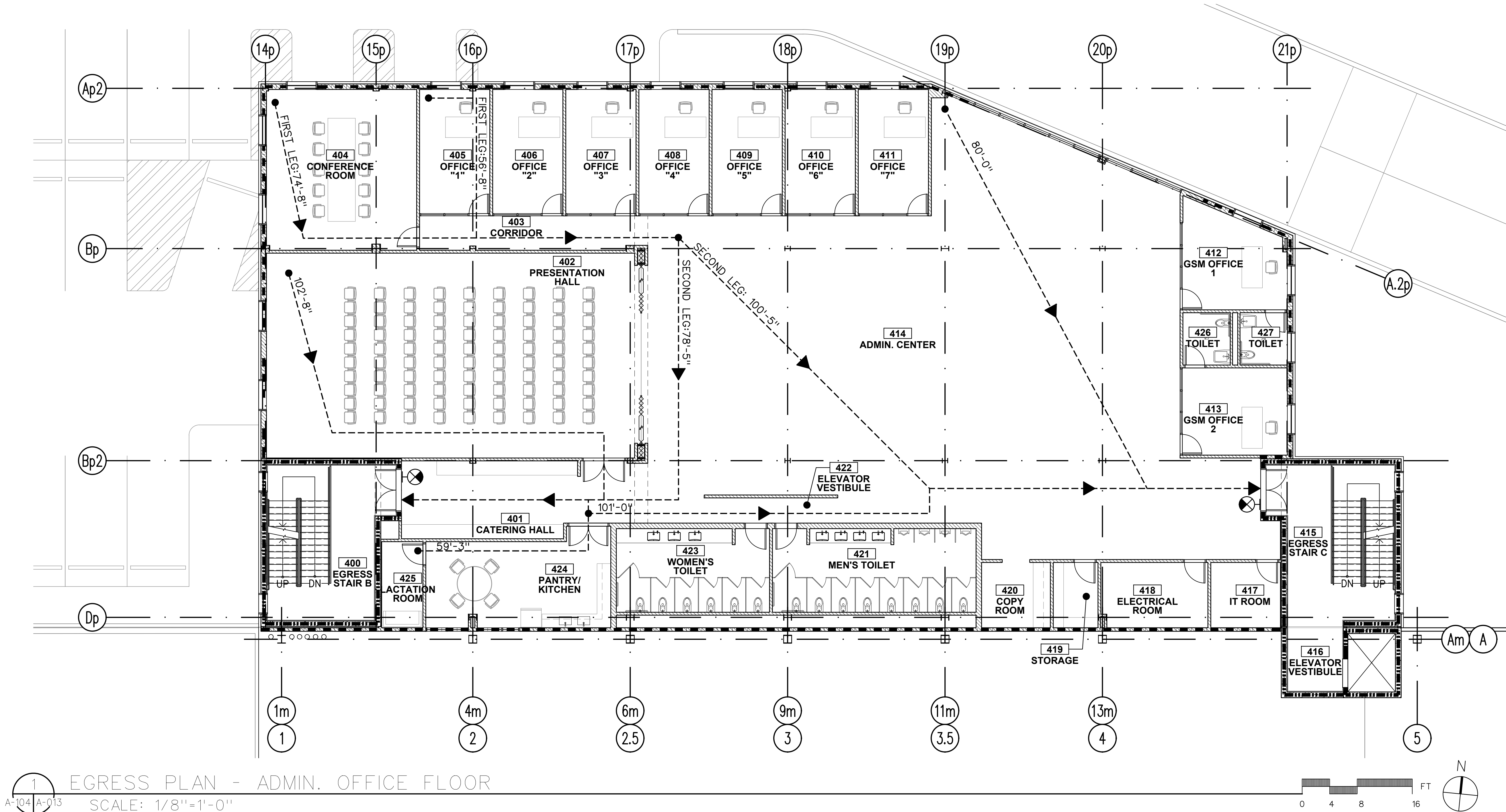
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APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**LIFE SAFETY AND
EGRESS PLANS -
2ND MEZZANINE**

DWG NUMBER:

A-012



1 EGRESS PLAN - ADMIN. OFFICE FLOOR
SCALE: 1/8"=1'-0"

LIFE SAFETY AND EGRESS LEGEND:

100' TRAVEL DISTANCE
PATH OF EGRESS

B **S-2** OCCUPANCY CLASSIFICATION

1-HR RATED WALL
2-HR RATED WALL

EXIT SIGN

PROJECT:
MANHATTAN BEER DISTRIBUTORS
10-20 DUNNIGAN DRIVE
SUFFERN NEW YORK

A. EGRESS CODE CRITERIA

BUILDING CODE:
2020 BUILDING CODE OF NEW YORK STATE (BCNYS)

2020 BCNYS SECTION 306.2 - OCCUPANCY CLASS TYPE:
S-2 STORAGE (LOW HAZARD)

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PER TABLE 508.4, OCCUPANCY GROUPS (S-2) STORAGE
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OCCUPANT LOAD CALCULATION: PER 2020 BCNYS TABLE 1004.5				
SPACES	USE GROUP/ SPACE DESCRIPTION	AREA (GSF)	AREA PER OCCUPANT	OCCUPANT LOAD
ADMIN OFFICE	BUSINESS AREAS	9,995 GSF	150 GSF	66
TOTAL *OF OCCUPANTS				66

OCCUPANT LOAD REQUIREMENTS NET AREA TABLE (2020 BCNYS TABLE 1004.5)

BUSINESS AREAS: 150GSF/OCCUPANT
STORAGE/STOCK/SHIPPING: 300 GSF/OCCUPANT
PARKING GARAGE: 200 GSF/OCCUPANT
WAREHOUSE: 500 GSF/OCCUPANT
LOCKER ROOM: 50 GSF
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM: 300 GSF/OCCUPANT

B. GENERAL MEANS OF EGRESS

MINIMUM REQUIRED EGRESS WIDTH
(2020 NYSBC SECTION 1005.3.1 & 1005.3.2):

STAIRWAYS:
OCCUPANT LOAD x 0.3" (EGRESS WIDTH/OCC.)

OTHER EGRESS COMPONENTS:
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CORRIDORS (2020 NYSBC SECTION 1020):
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- MAX. DEAD END CORRIDOR LENGTH: 50 FT (PER SECTION 1020.4)
- MIN. CORRIDOR WIDTH: 44" MIN. (PER TABLE 1020.2)

EXIT ACCESS REQUIREMENTS (2020 NYSBC TABLE 1017.2):

STORAGE (S-2)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 400 FT
BUSINESS (B)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 300 FT

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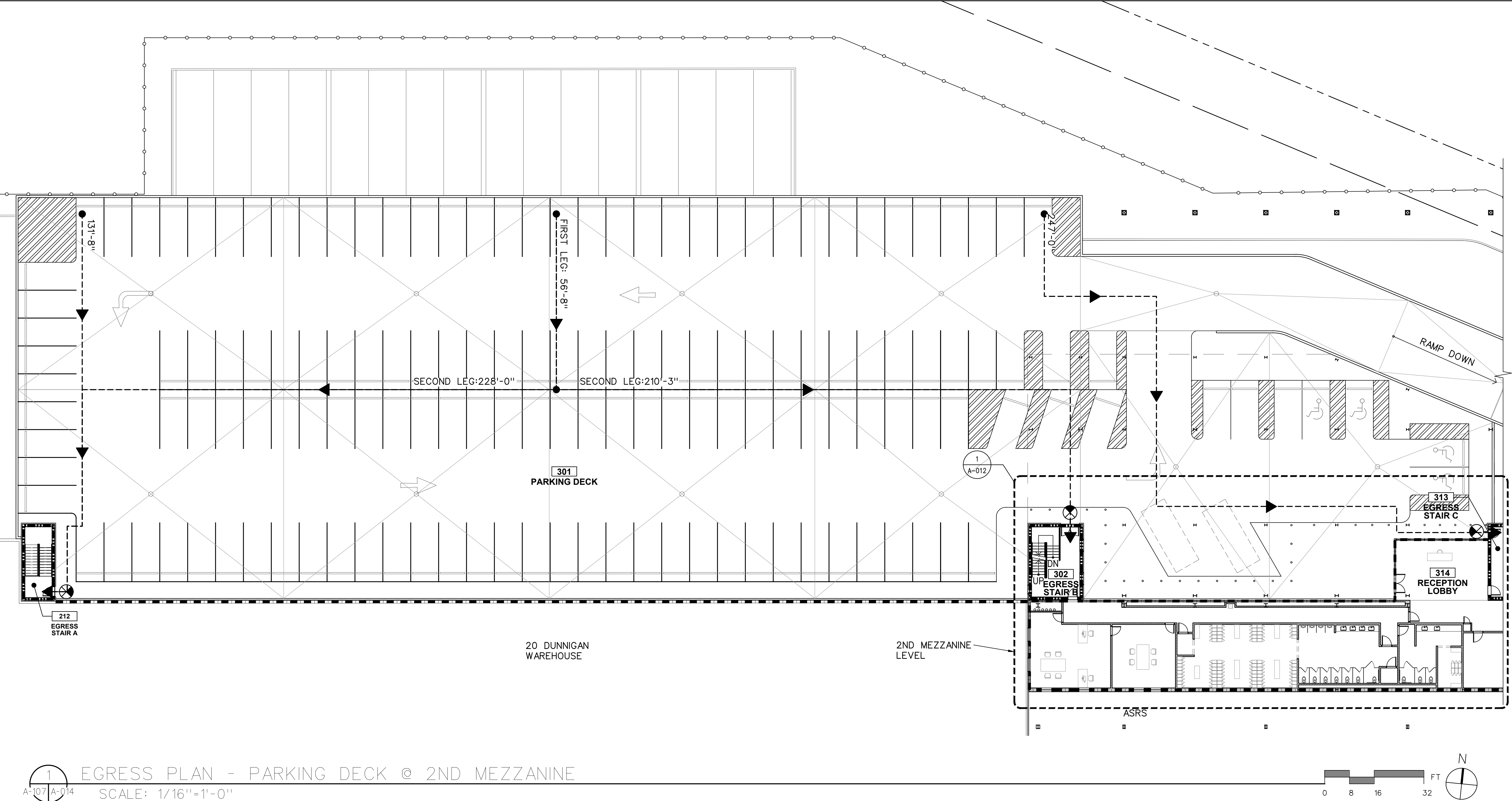
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APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**LIFE SAFETY AND
EGRESS PLANS -
ADMIN OFFICE FLOOR**

DWG NUMBER:
A-013



ARCHITECT

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MANHATTAN

BEER DISTRIBUTORS

MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

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DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE :

**LIFE SAFETY AND
EGRESS PLANS -
PARKING DECK**

DWG NUMBER :	A-014
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LIFE SAFETY AND EGRESS LEGEND:

100' TRAVEL DISTANCE
PATH OF EGRESS

B **S-2** OCCUPANCY CLASSIFICATION

1-HR RATED WALL
2-HR RATED WALL

EXIT SIGN

PROJECT:
MANHATTAN BEER DISTRIBUTORS
10-20 DUNNIGAN DRIVE
SUFFERN NEW YORK

A. EGRESS CODE CRITERIA

BUILDING CODE:
2020 BUILDING CODE OF NEW YORK STATE (BCNYS)

2020 BCNYS SECTION 306.2 - OCCUPANCY CLASS TYPE:
S-2 STORAGE (LOW HAZARD)

ALL EMPLOYEE WORK AREAS ARE IN COMPLIANCE WITH
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2020 BCNYS TABLE 508.4 - FIRE RATED SEPARATIONS
PER TABLE 508.4, OCCUPANCY GROUPS (S-2) STORAGE
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OCCUPANT LOAD CALCULATION: PER 2020 BCNYS TABLE 1004.5				
SPACES	USE GROUP/ SPACE DESCRIPTION	AREA (GSF)	AREA PER OCCUPANT	OCCUPANT LOAD
2ND MEZZANINE	BUSINESS AREAS	3,254 GSF	150 GSF	21
	LOCKER ROOM	993 GSF	50 GSF	19
UPPER PARKING DECK	PARKING GARAGE	56,617 GSF	200 GSF	283
TOTAL *OF OCCUPANTS				323

OCCUPANT LOAD REQUIREMENTS NET AREA TABLE (2020 BCNYS TABLE 1004.5)
BUSINESS AREAS: 150GSF/OCCUPANT
STORAGE/STOCK/SHIPPING: 300 GSF/OCCUPANT
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LOCKER ROOM: 50 GSF
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM: 300 GSF/OCCUPANT

B. GENERAL MEANS OF EGRESS

MINIMUM REQUIRED EGRESS WIDTH
(2020 NYSBC SECTION 1005.3.1 & 1005.3.2):

STAIRWAYS:
OCCUPANT LOAD x 0.3" (EGRESS WIDTH/OCC.)

OTHER EGRESS COMPONENTS:
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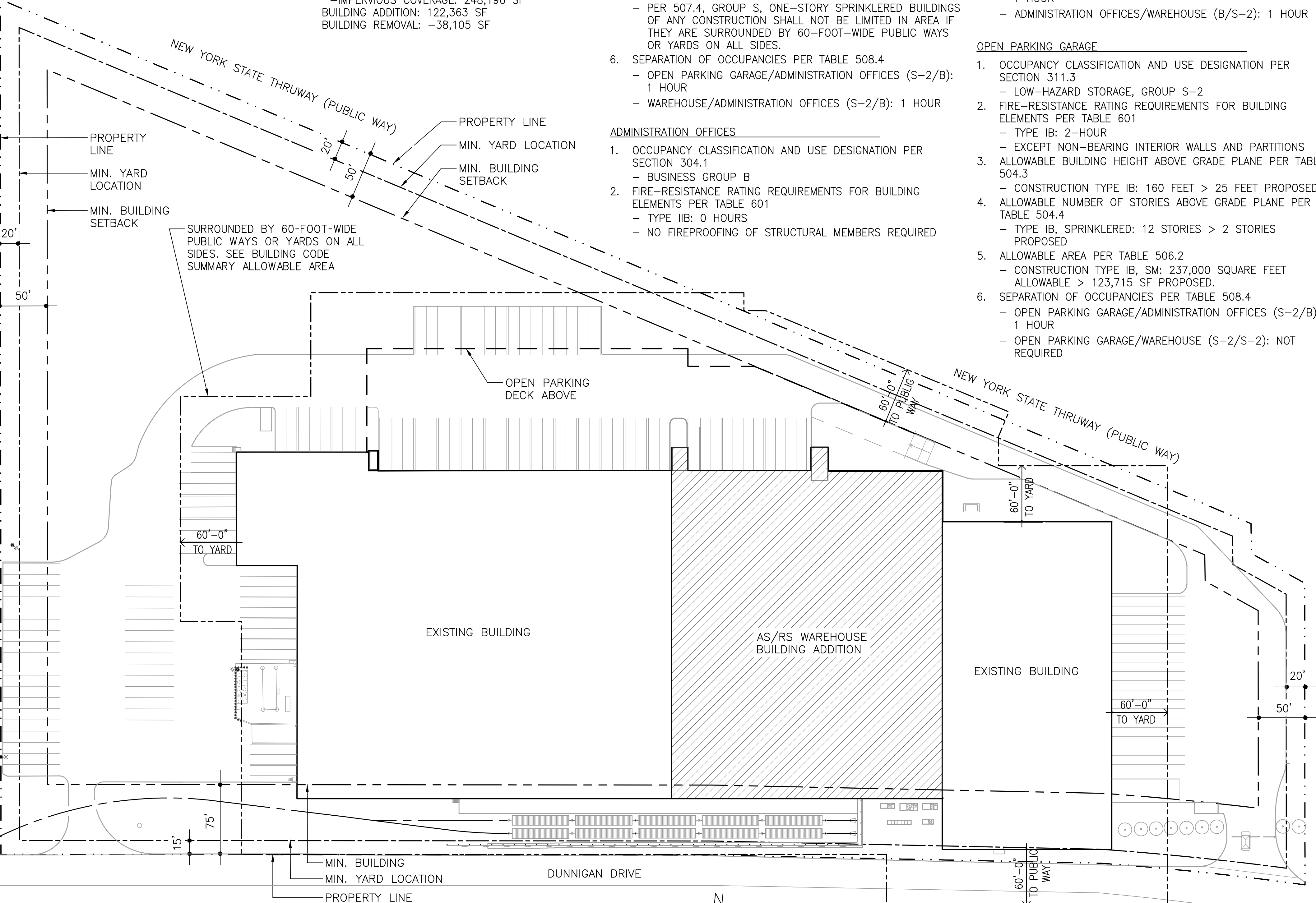
CORRIDORS (2020 NYSBC SECTION 1020):
BOTH (B) AND (S-2) OCCUPANCIES
- MAX. DEAD END CORRIDOR LENGTH: 50 FT (PER SECTION 1020.4)
- MIN. CORRIDOR WIDTH: 44" MIN. (PER TABLE 1020.2)

EXIT ACCESS REQUIREMENTS (2020 NYSBC TABLE 1017.2):

STORAGE (S-2)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 400 FT
BUSINESS (B)-MAX. TRAVEL DISTANCE (W/ SPRINKLER SYSTEM): 300 FT

ZONING REQUIREMENTS SUMMARY

FLOOR AREA RATIO (FAR)	OFF-STREET LOADING BERTHS 80 SPACES PROVIDED
0.400 MAXIMUM PERMITTED	OFF-STREET PARKING SPACES 154 SPACES PROVIDED
0.385 PROPOSED (COMPLIES)	MIN. REQUIRED:
TOTAL LOT AREA = 876,330 SF	1 PER 150 SF OF OFFICE
TOTAL BUILDING FLOOR AREA = 338,337 SF	1 PER 2 EMPLOYEES IN WAREHOUSE
=338,337 / 876,330	10,170 / 150 = 68 STALLS
=.386	EST. 20 EMPLOYEES = 10 STALLS
.386 < .400 (COMPLIES)	
DEVELOPMENT COVERAGE	OFF-STREET TRUCK PARKING SPACES 50 SPACES PROVIDED
65.0% MAXIMUM PERMITTED	
64.8% PROPOSED (COMPLIES):	DEVELOPMENT COVERAGE BREAK-DOWN
TOTAL LOT AREA = 876,330 SF	TOTAL LOT AREA: 876,330 SF
TOTAL DEVELOPMENT AREA = 567,872 SF	DEVELOPMENT COVERAGE: 565,072 SF
=567,872 / 876,330	-BUILDING COVERAGE: 316,876 SF
=.648	-IMPERVIOUS COVERAGE: 248,196 SF
.648 < .650 (COMPLIES)	BUILDING ADDITION: 122,363 SF
	BUILDING REMOVAL: -38,105 SF



1 SITE PLAN
A-015 A-015
SCALE: 1/64"=1'-0"

2 SITE ELEVATION
A-015 A-015
SCALE: 1/32"=1'-0"

2020 NEW YORK STATE BUILDING CODE SUMMARY

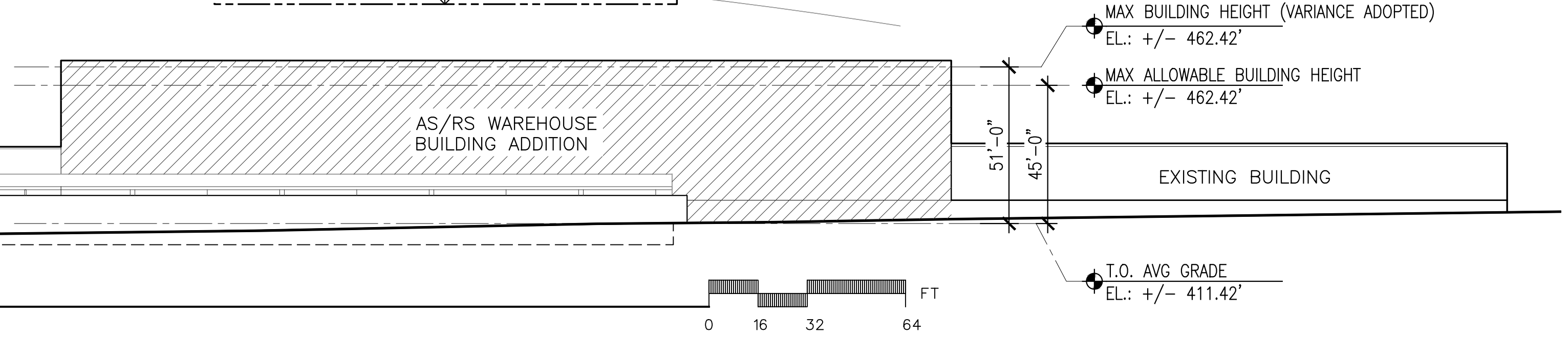
WAREHOUSE	3. ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE PER TABLE 504.3
1. OCCUPANCY CLASSIFICATION AND USE DESIGNATION PER SECTION 311.3	- CONSTRUCTION TYPE IIB: 75 FEET > 49 FEET PROPOSED
2. FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601	4. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4
- TYPE IIB: 0 HOURS	- TYPE IIB, SPRINKLERED: 4 STORIES = 4 STORIES PROPOSED
- NO FIREPROOFING OF STRUCTURAL MEMBERS REQUIRED	5. ALLOWABLE AREA PER TABLE 506.2
3. ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE PER TABLE 504.3	- CONSTRUCTION TYPE IIB, SM: 69,000 SQUARE FEET ALLOWABLE > 20,000 SF PROPOSED.
- CONSTRUCTION TYPE IIB: 75 FEET > 54 FEET PROPOSED	6. SEPARATION OF OCCUPANCIES PER 508.2.4
4. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4	- NO SEPARATION REQUIRED BETWEEN MAIN AND ACCESSORY OCCUPANCIES WITHIN ADMINISTRATION OFFICES.
- TYPE IIB, SPRINKLERED: 4 STORIES > 1 STORY PROPOSED	7. SEPARATION OF OCCUPANCIES PER TABLE 508.4
5. ALLOWABLE AREA	- ADMINISTRATION OFFICES/OPEN PARKING GARAGE (B/S-2): 1 HOUR
- UNLIMITED AREA > 316,000 SF PROPOSED	- ADMINISTRATION OFFICES/WAREHOUSE (B/S-2): 1 HOUR
- PER 507.4, GROUP S, ONE-STORY SPRINKLERED BUILDINGS OF ANY CONSTRUCTION SHALL NOT BE LIMITED IN AREA IF THEY ARE SURROUNDED BY 60-FOOT-WIDE PUBLIC WAYS OR YARDS ON ALL SIDES.	
6. SEPARATION OF OCCUPANCIES PER TABLE 508.4	
- OPEN PARKING GARAGE/ADMINISTRATION OFFICES (S-2/B): 1 HOUR	
- WAREHOUSE/ADMINISTRATION OFFICES (S-2/B): 1 HOUR	

ADMINISTRATION OFFICES	3. ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE PER TABLE 504.3
1. OCCUPANCY CLASSIFICATION AND USE DESIGNATION PER SECTION 304.1	- CONSTRUCTION TYPE IB: 160 FEET > 25 FEET PROPOSED
- BUSINESS GROUP B	4. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE PER TABLE 504.4
2. FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601	- TYPE IB, SPRINKLERED: 12 STORIES > 2 STORIES PROPOSED
- TYPE IIB: 0 HOURS	5. ALLOWABLE AREA PER TABLE 506.2
- NO FIREPROOFING OF STRUCTURAL MEMBERS REQUIRED	- CONSTRUCTION TYPE IB, SM: 237,000 SQUARE FEET ALLOWABLE > 123,715 SF PROPOSED.
	6. SEPARATION OF OCCUPANCIES PER TABLE 508.4
	- OPEN PARKING GARAGE/ADMINISTRATION OFFICES (S-2/B): 1 HOUR
	- OPEN PARKING GARAGE/WAREHOUSE (S-2/S-2): NOT REQUIRED

ZONING					
SECTION	ZONING REQUIREMENTS	PERMITTED PI DISTRICT	EXISTING/ COVERAGE	NEW/(TOTAL) COVERAGE	REMARKS
195 ATTACHMENT 2:1	TABLE OF BULK REQUIREMENTS				
	MINIMUM LOT DIMENSIONS				
	-AREA (ACRES)	20.117	20.117	20.117	NO CHANGE
	-AREA (FEET)	876,330	876,330	876,330	NO CHANGE
	MAXIMUM DEVELOPMENT COVERAGE	65%	48%	64.8%	
	-GROSS SITE AREA (SF)	569,614	421,106	567,872	COMPLIES
	MAXIMUM FLOOR AREA RATIO	.40	.29	.386	
	-GROSS FLOOR AREA (SF)	350,532	252,757	338,337	COMPLIES
	MINIMUM REQUIRED SETBACKS (FEET)				
	-FRONT BUILDING	75	11	44	*
	-FRONT YARD	15	11	11	NO CHANGE
	-REAR BUILDING	50	29	50	NO CHANGE
	-REAR YARD	20	26	50	COMPLIES
	-SIDE WEST BUILDING	50	252.5	252.5	NO CHANGE
	-SIDE YARD	20	3	3	NO CHANGE
	-SIDE EAST BUILDING	50	142	207	COMPLIES
	-SIDE EAST YARD	20	1.5	20	COMPLIES
	MAXIMUM BUILDING HEIGHT				
	-MAX ALLOWABLE HEIGHT	45	28.5	51	*
195 ATTACHMENT 1:14	TABLE OF GENERAL REQUIREMENTS				
	MIN. OFF-STREET PARKING SPACES				
	1 SPACE PER 150 SF - OFFICE	68	141	144	COMPLIES
	1 FOR EVERY 2 EMPLOYEE - WAREHOUSE	10	10	10	COMPLIES
195-35 A	MIN. OFF-STREET LOADING BERTHS				
	1 FOR FIRST 20,000 SF PLUS 1 FOR EVERY ADDITIONAL 40,000 SF	5	12	80	COMPLIES

NEW COVERAGE INCLUDES EXISTING
*VARIANCE APPROVED

GROSS FLOOR AREA SUMMARY			
	EXISTING	REMOVAL /ADDITION	BUILDINGS TO BE COMBINED
10 DUNNIGAN	92,836 SF	-28,804 SF	64,032 SF
20 DUNNIGAN	159,921 SF	-9,301 SF	150,620 SF
PROPOSED ADDITION		123,725 SF	123,725 SF
TOTAL	252,757 SF	85,620 SF	338,337 SF



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-	ISSUED FOR CONSTRUCTION	11.30.21

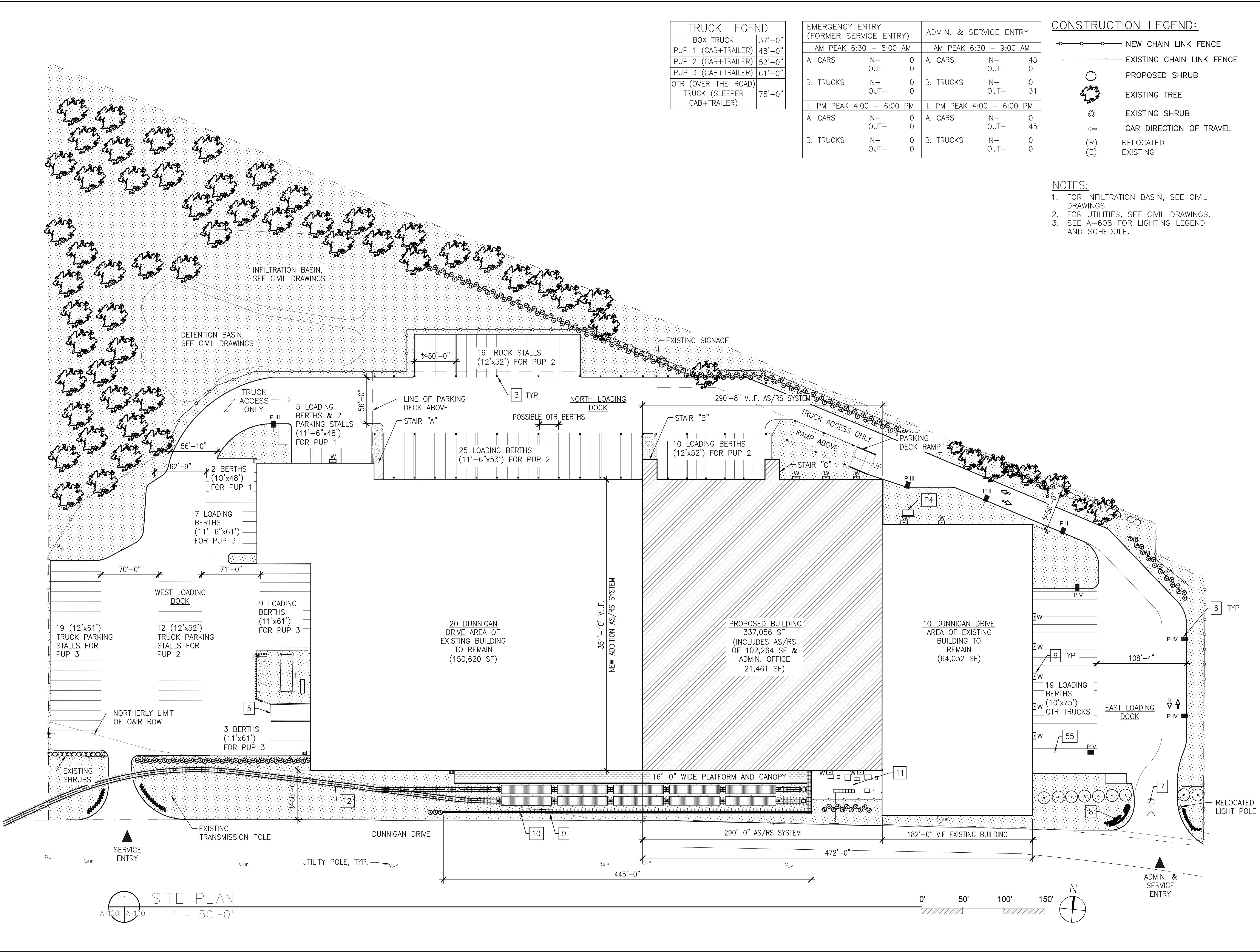
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DRAWING TITLE :

**ZONING AND BUILDING
CODE SUMMARY**

DWG NUMBER :

A-015



TRUCK LEGEND	
BOX TRUCK	37'-0"
PUP 1 (CAB+TRAILER)	48'-0"
PUP 2 (CAB+TRAILER)	52'-0"
PUP 3 (CAB+TRAILER)	61'-0"
OTR (OVER-THE-ROAD) TRUCK (SLEEPER CAB+TRAILER)	75'-0"

EMERGENCY ENTRY (FORMER SERVICE ENTRY)			ADMIN. & SERVICE ENTRY		
I. AM PEAK 6:30 - 8:00 AM			I. AM PEAK 6:30 - 9:00 AM		
A. CARS	IN-	0	A. CARS	IN-	45
	OUT-	0		OUT-	0
B. TRUCKS	IN-	0	B. TRUCKS	IN-	0
	OUT-	0		OUT-	31
II. PM PEAK 4:00 - 6:00 PM			II. PM PEAK 4:00 - 6:00 PM		
A. CARS	IN-	0	A. CARS	IN-	0
	OUT-	0		OUT-	45
B. TRUCKS	IN-	0	B. TRUCKS	IN-	0
	OUT-	0		OUT-	0

CONSTRUCTION LEGEND:	
	NEW CHAIN LINK FENCE
	EXISTING CHAIN LINK FENCE
	PROPOSED SHRUB
	EXISTING TREE
	EXISTING SHRUB
	CAR DIRECTION OF TRAVEL
	RELOCATED EXISTING

- NOTES:
- FOR INFILTRATION BASIN, SEE CIVIL DRAWINGS.
 - FOR UTILITIES, SEE CIVIL DRAWINGS.
 - SEE A-608 FOR LIGHTING LEGEND AND SCHEDULE.

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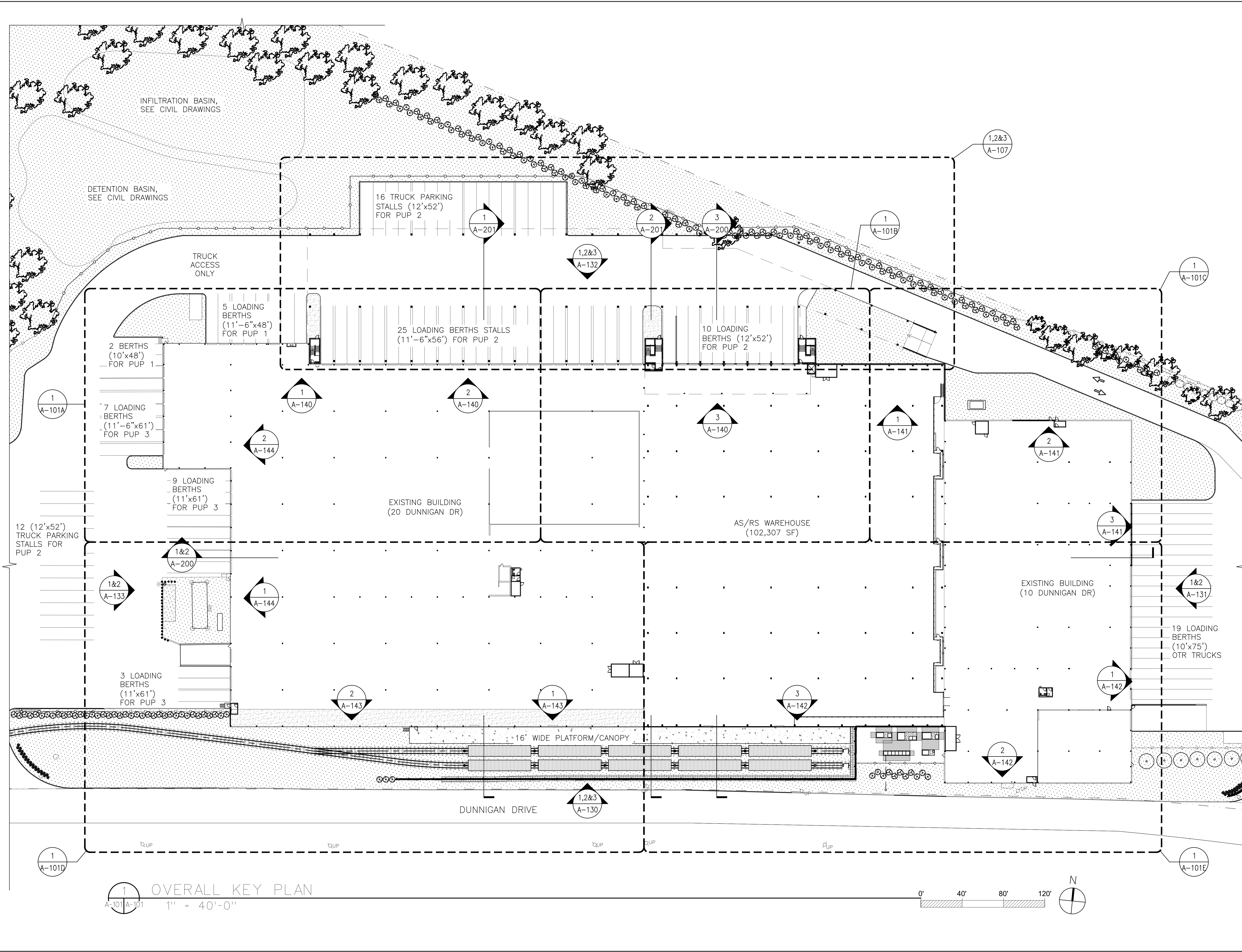
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PROPOSED SITE PLAN

DWG NUMBER:
A-100



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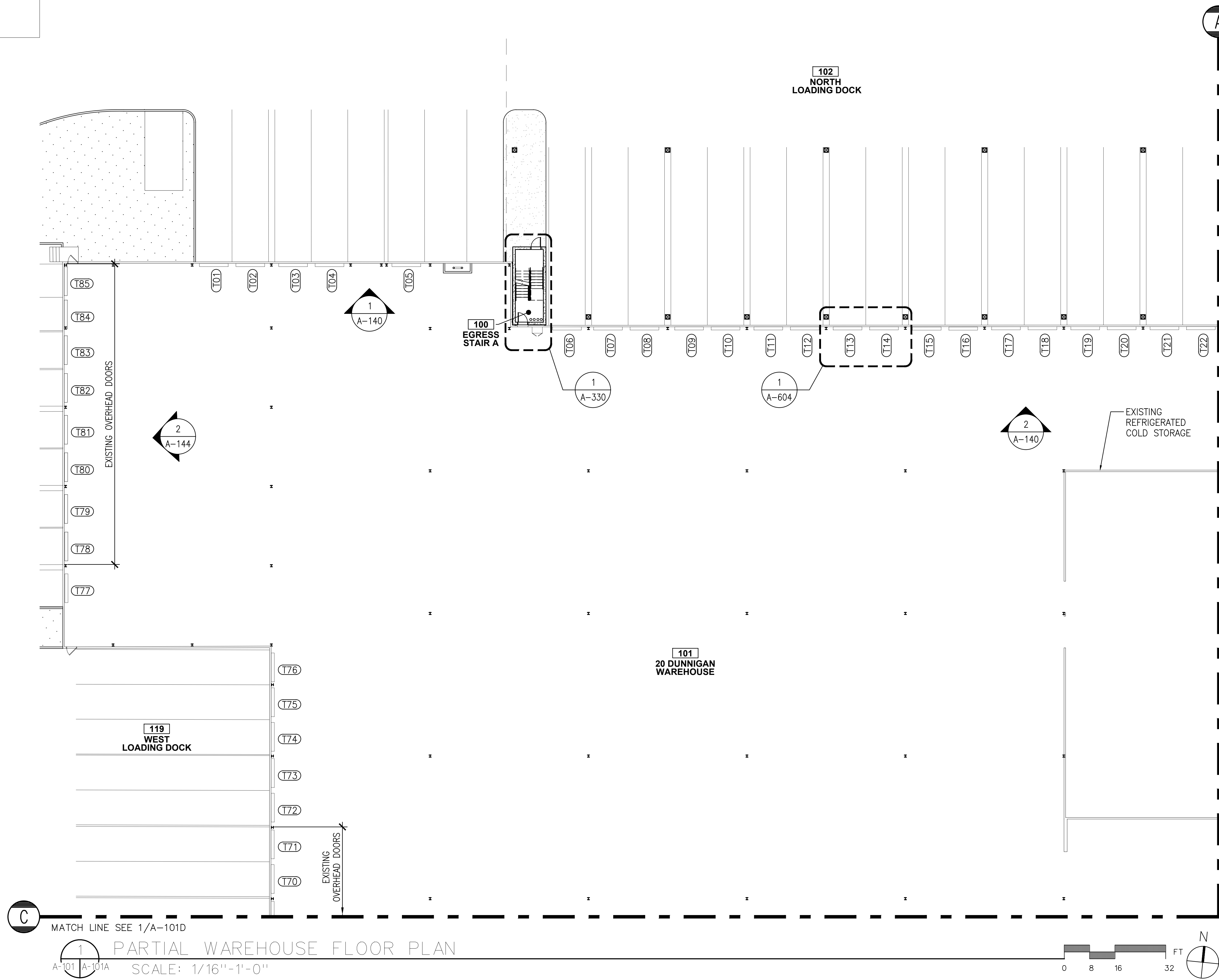
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DRAWING TITLE :

OVERALL KEY PLAN

DWG NUMBER :

A-101



CONSTRUCTION LEGEND:

- NEW CHAIN LINK FENCE
- EXISTING CHAIN LINK FENCE
- PROPOSED SHRUB
- EXISTING TREE
- EXISTING SHRUB
- CAR DIRECTION OF TRAVEL
- EXISTING COLUMN LINE
- NEW COLUMN LINE
- NOT IN CONTRACT

- GENERAL CONSTRUCTION NOTES:
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AND VERIFY IN FIELD ALL DIMENSIONS NOTED PRIOR TO START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND PLANS.
 - THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE PROPOSED WORK FOR THE REVIEW OF THE ARCHITECT/ENGINEER.
 - PROVIDE TEMPORARY STAIRS WITH LANDINGS AND HANDRAILS WHERE ELEVATION CHANGE OCCURS IN RELATION TO THE INTERIOR AND EXTERIOR GRADE. GUARD RAILINGS ARE REQUIRED WHERE THE ELEVATION CHANGE IS 30" OR GREATER.
 - THE CONTRACTOR SHALL COMPLY WITH OSHA STANDARDS/REQUIREMENTS AND SECURE PROTECTION FOR ALL OPENINGS IN FLOORS, WALLS AND ROOFS.
 - THE CONTRACTOR SHALL EXAMINE THE DRAWINGS OF ALL DISCIPLINES AND SHALL COORDINATE THE WORK OF ALL TRADES.

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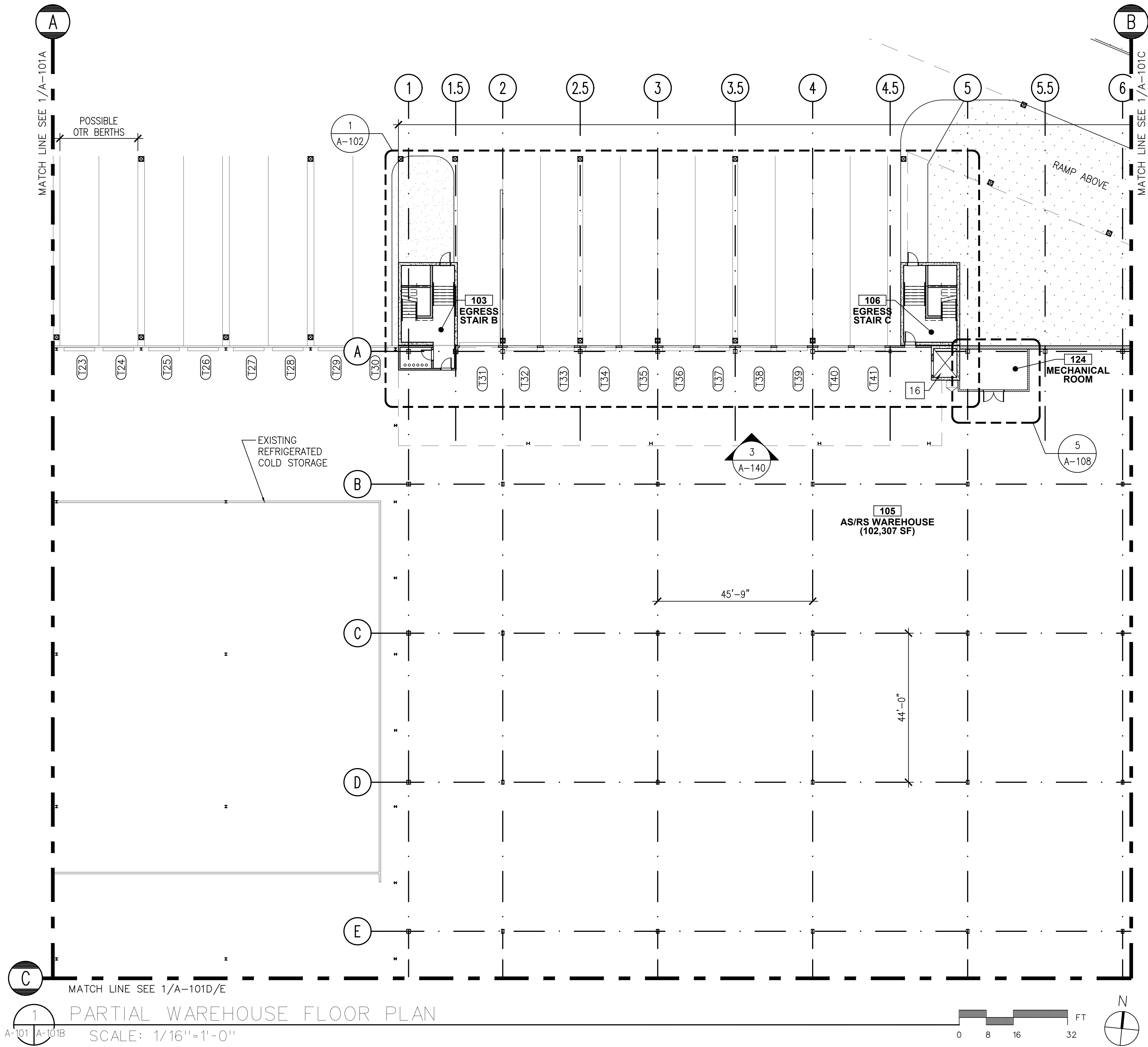
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DRAWING TITLE:
**ENLARGED PLAN -
PARTIAL WAREHOUSE
FLOOR PLAN (1 OF 5)**

DWG NUMBER:

A-101A



CONSTRUCTION LEGEND:

- NEW CHAIN LINK FENCE
- EXISTING CHAIN LINK FENCE
- PROPOSED SHRUB
- EXISTING TREE
- EXISTING SHRUB
- CAR DIRECTION OF TRAVEL
- EXISTING COLUMN LINE
- NEW COLUMN LINE
- NOT IN CONTRACT

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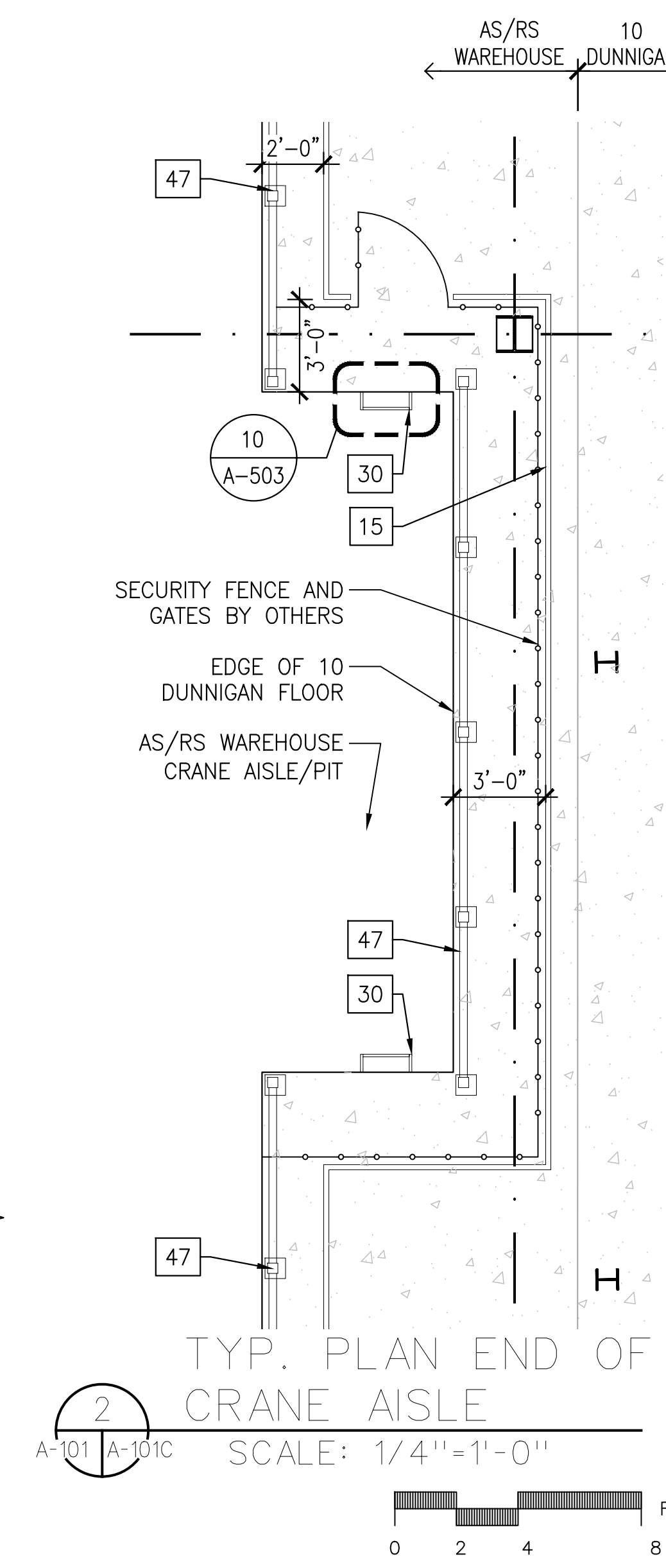
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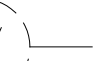

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ENLARGED PLAN -
PARTIAL WAREHOUSE
FLOOR PLAN (2 OF 5)

DWG NUMBER :	A-101B
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- CONSTRUCTION LEGEND

 -  NEW CHAIN LINK FENCE
 -  EXISTING CHAIN LINK FENCE
 -  PROPOSED SHRUB
 -  EXISTING TREE
 -  EXISTING SHRUB
 -  CAR DIRECTION OF TRAVEL
 -  EXISTING COLUMN LINE
 -  NEW COLUMN LINE
 -  NOT IN CONTRACT

GENERAL CONSTRUCTION NOTES:

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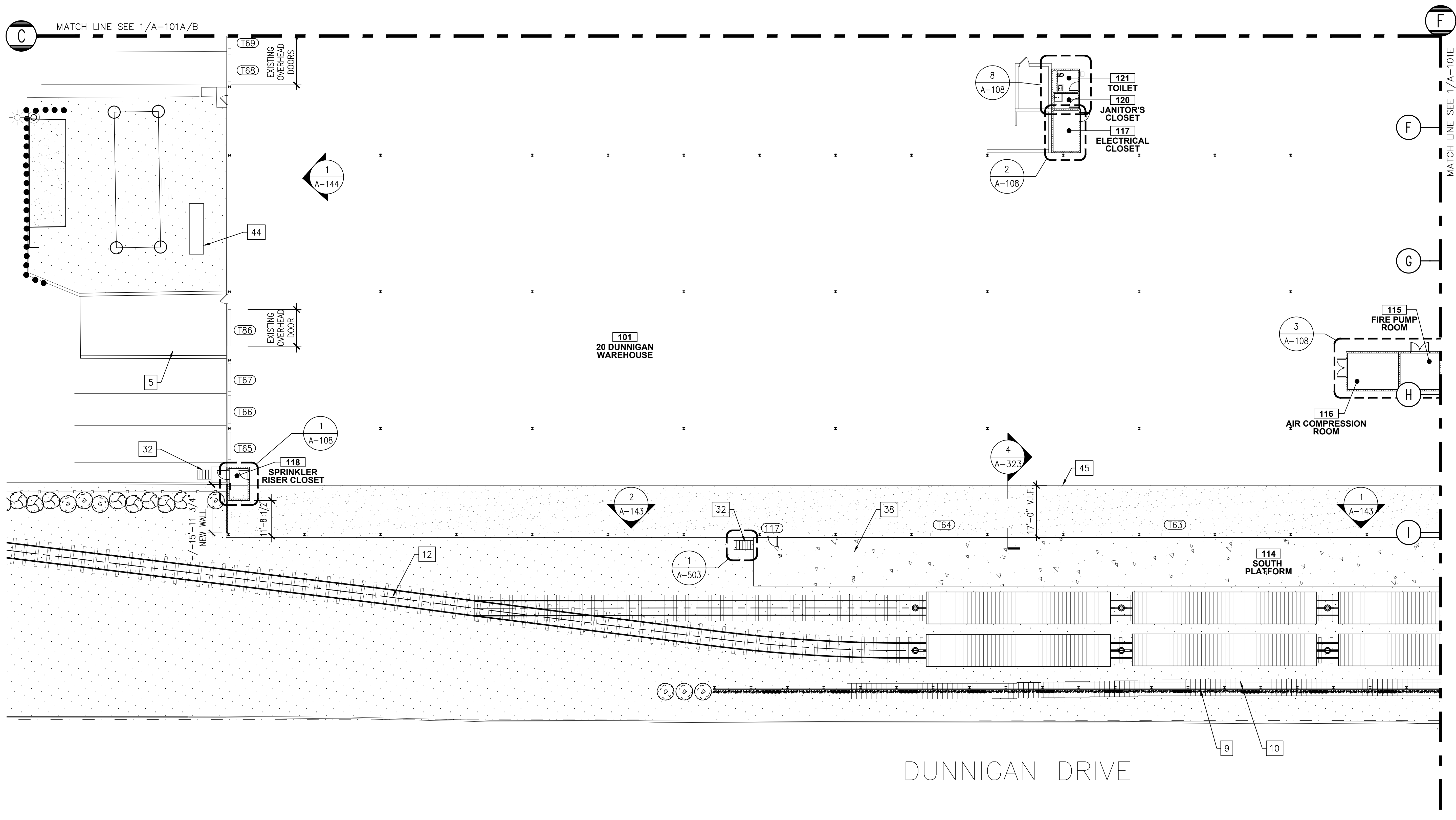
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ENLARGED PLAN - PARTIAL WAREHOUSE FLOOR PLAN (3 OF 5)		
		<div>DWG NUMBER :</div> <div>A-101C</div>



1 PARTIAL WAREHOUSE FLOOR PLAN
SCALE: 1/16" = 1'-0"

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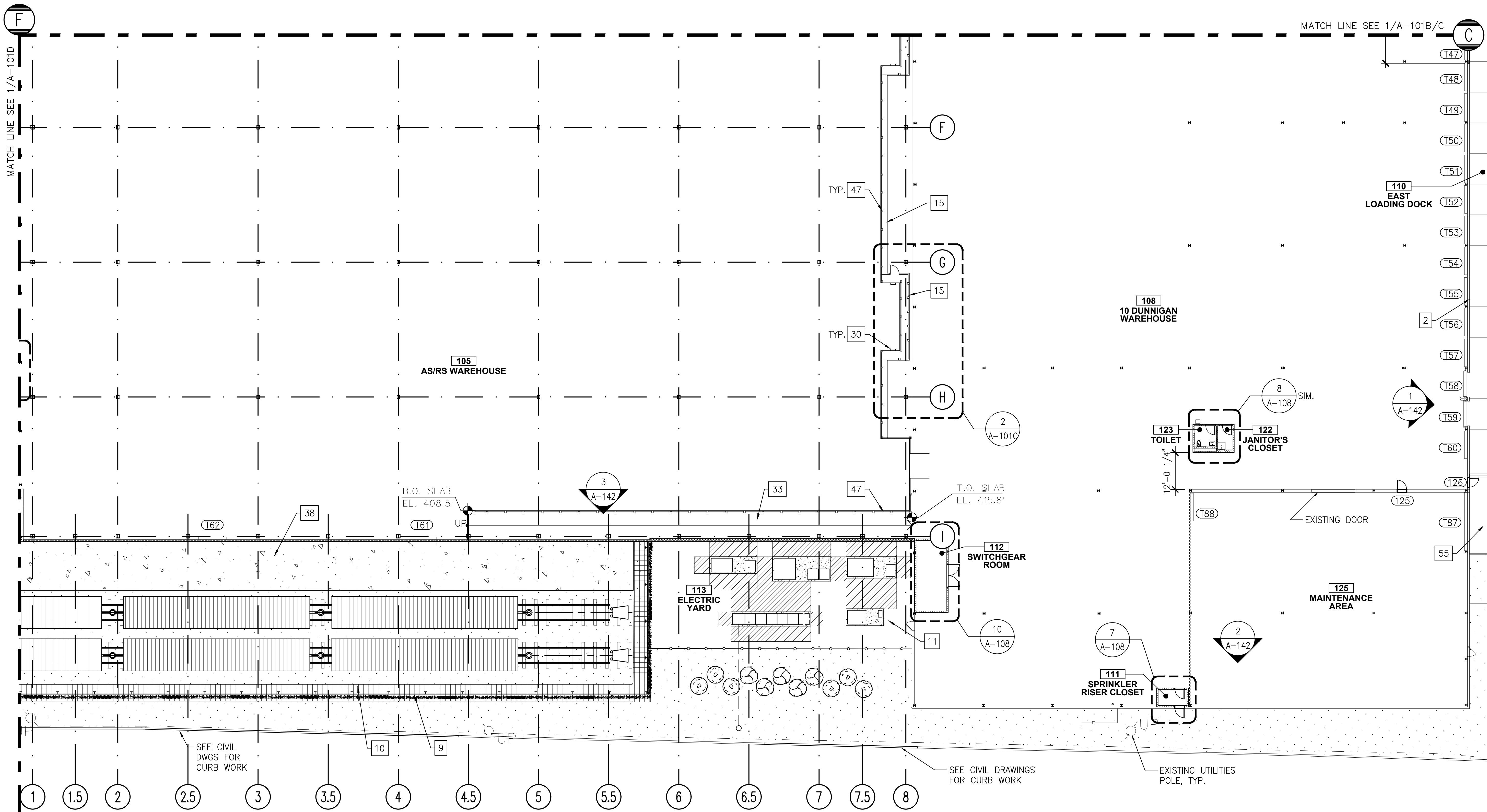
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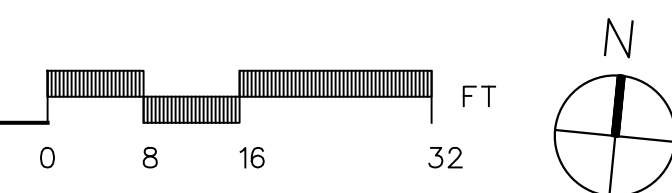
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DRAWING TITLE:
**ENLARGED PLAN -
PARTIAL WAREHOUSE
FLOOR PLAN (4 OF 5)**

DWG NUMBER:
A-101D



1 PARTIAL WAREHOUSE FLOOR PLAN
SCALE: 1/16" = 1'-0"



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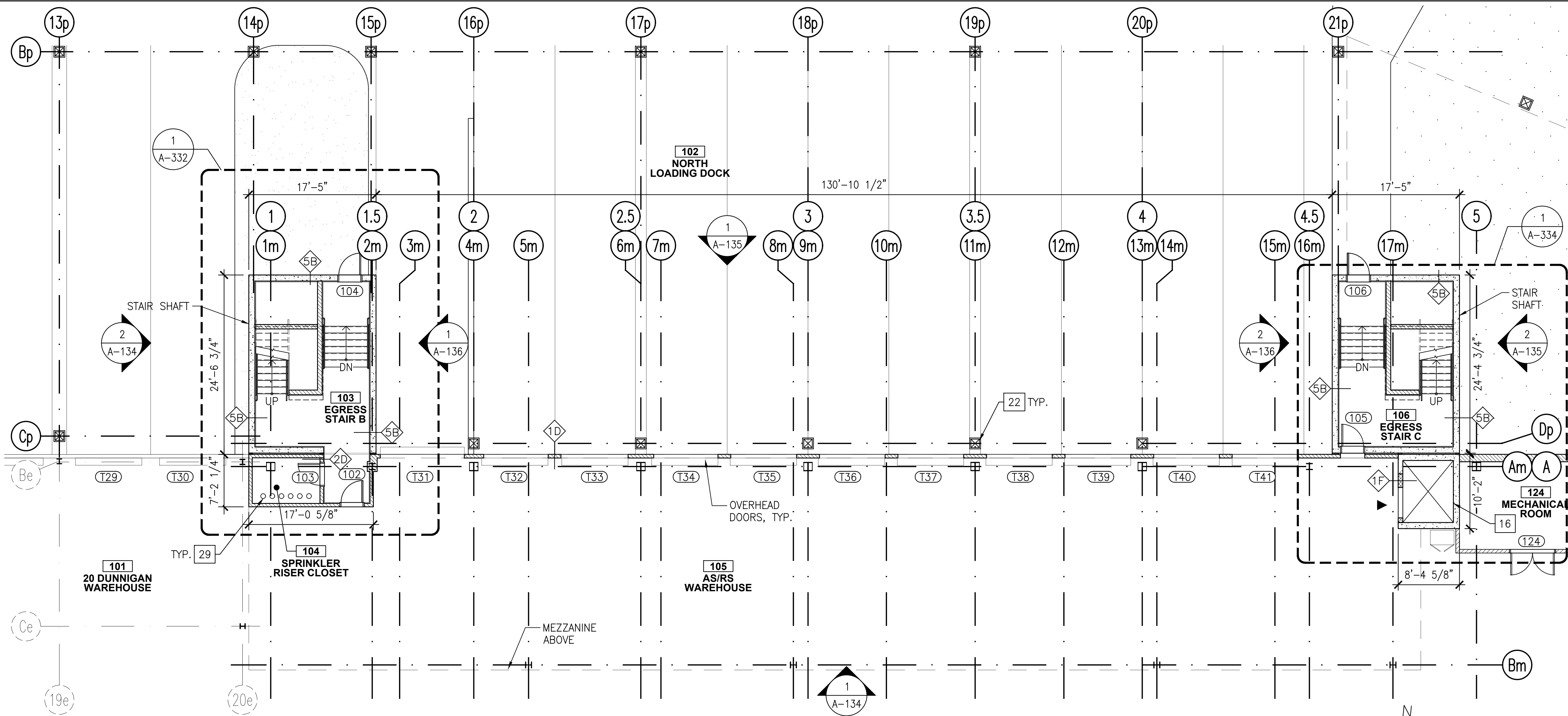
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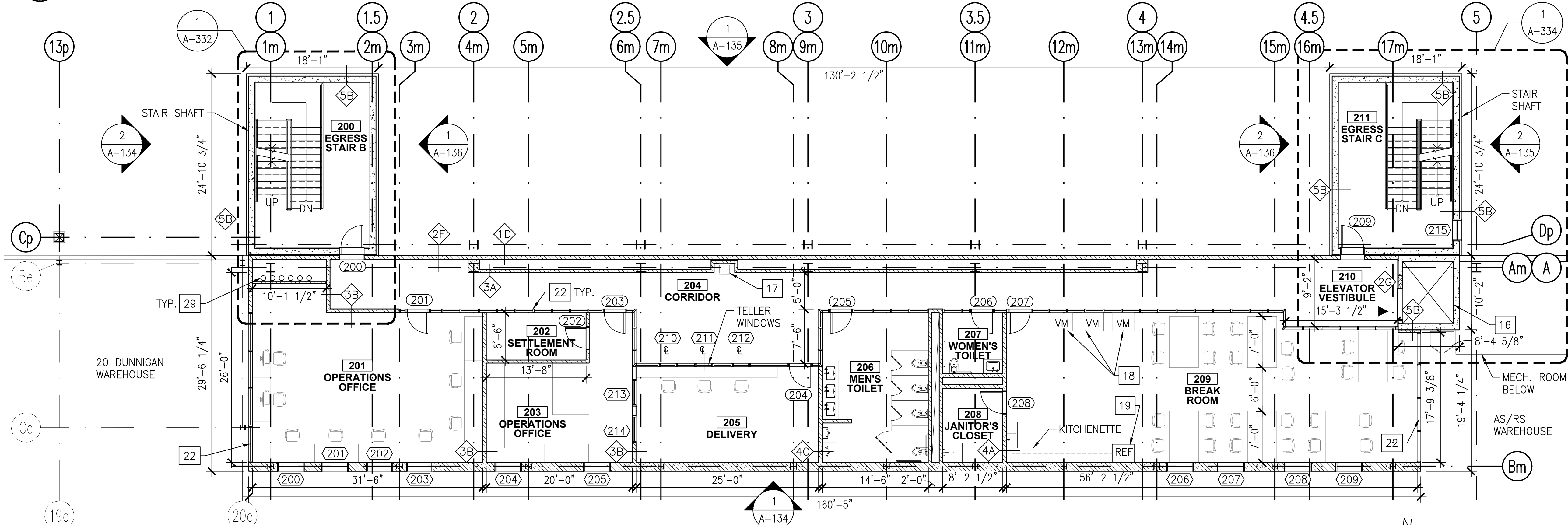
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**ENLARGED PLAN -
PARTIAL WAREHOUSE
FLOOR PLAN (5 OF 5)**

DWG NUMBER:

A-101E



1 ENLARGED PLAN - PARTIAL WAREHOUSE
SCALE: 1/8"=1'-0"



2 ENLARGED PLAN - 1ST MEZZANINE
SCALE: 1/8"=1'-0"

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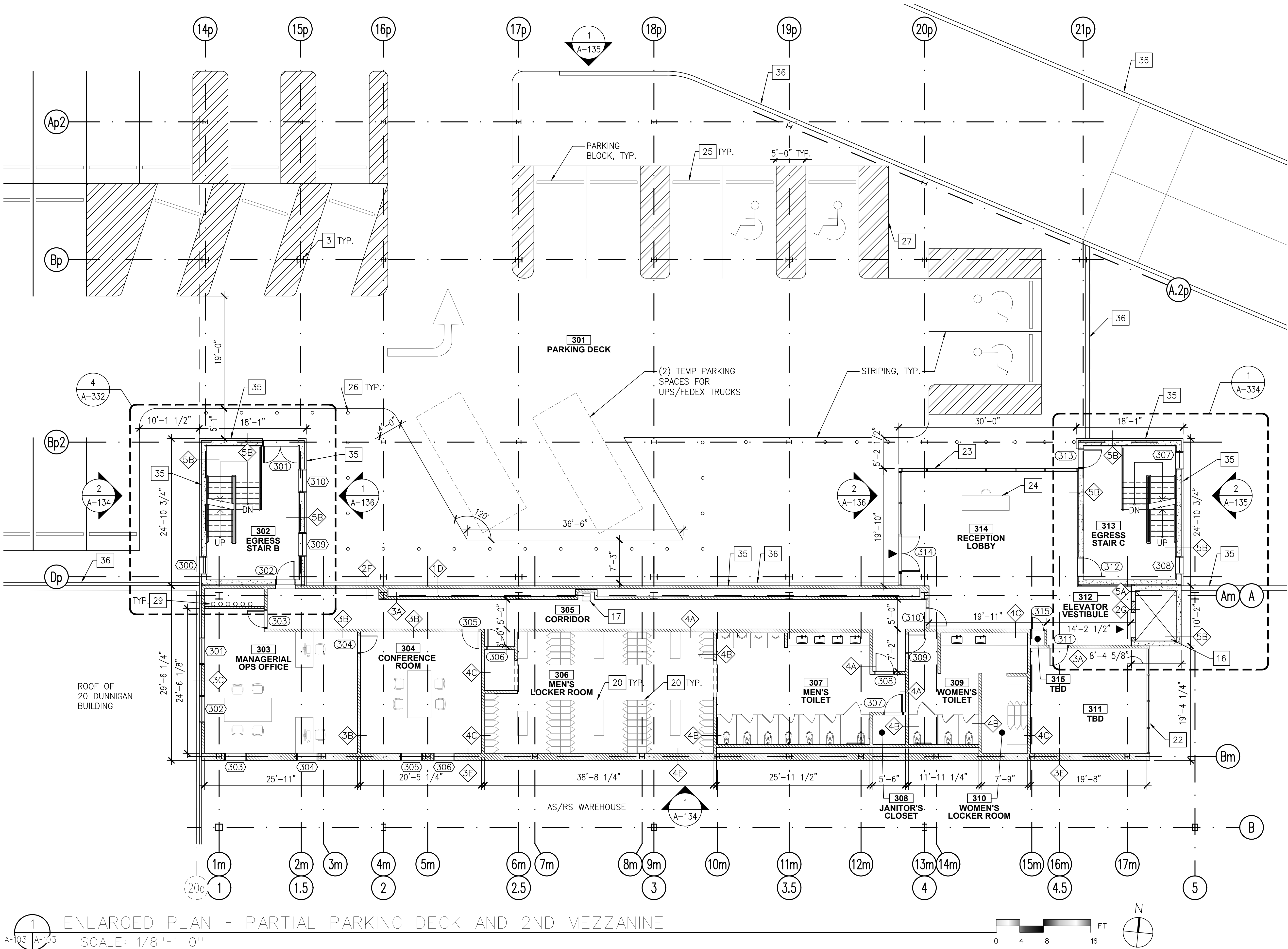
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DATE:	07.30.2021
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**ENLARGED PLANS -
PARTIAL WAREHOUSE
AND 1ST MEZZANINE**

DWG NUMBER:

A-102



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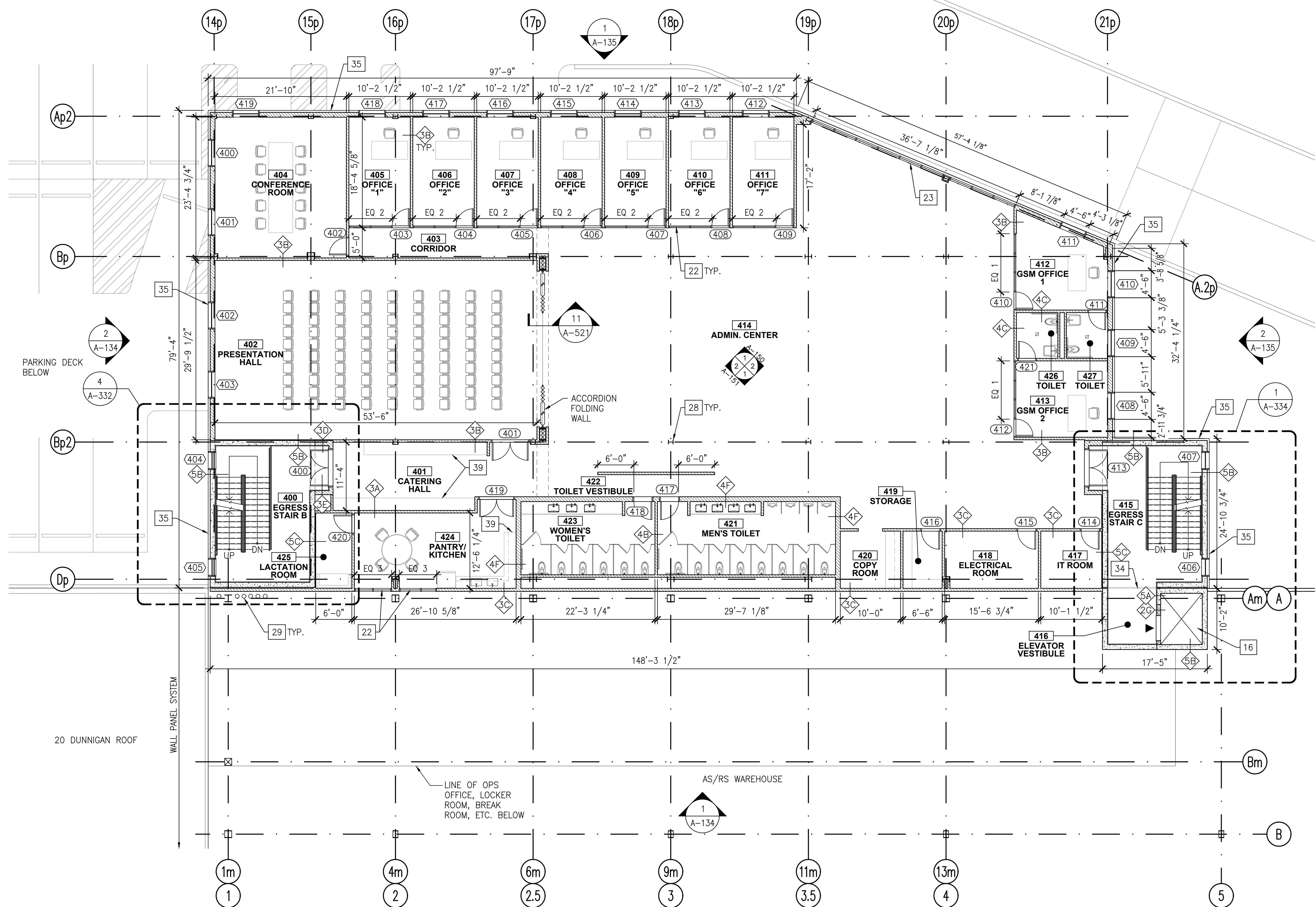
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DRAWING TITLE:
**ENLARGED PLAN -
PARTIAL PARKING DECK
AND 2ND MEZZANINE**

DWG NUMBER:
A-103



1 ENLARGED PLAN - ADMIN. OFFICE
A-104 A-104 SCALE: 1/8" = 1'-0"

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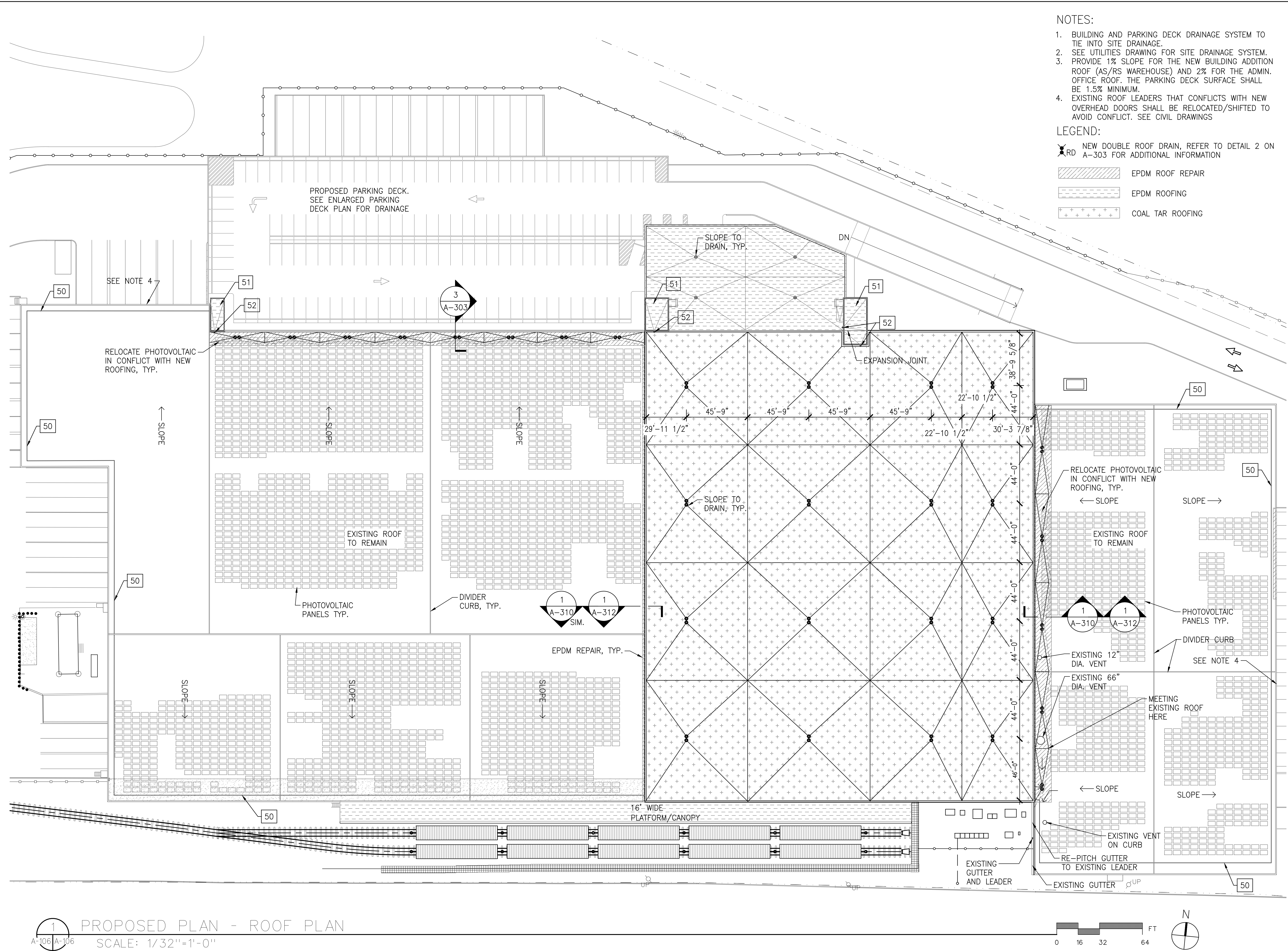
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APPROVED BY:	A. BERGER, R.A.
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SCALE:	AS NOTED

DRAWING TITLE:
**ENLARGED PLAN -
ADMIN. OFFICE**

DWG NUMBER:
A-104



A-105



- NOTES:
1. BUILDING AND PARKING DECK DRAINAGE SYSTEM TO TIE INTO SITE DRAINAGE.
 2. SEE UTILITIES DRAWING FOR SITE DRAINAGE SYSTEM.
 3. PROVIDE 1% SLOPE FOR THE NEW BUILDING ADDITION ROOF (AS/RS WAREHOUSE) AND 2% FOR THE ADMIN. OFFICE ROOF. THE PARKING DECK SURFACE SHALL BE 1.5% MINIMUM.
 4. EXISTING ROOF LEADERS THAT CONFLICTS WITH NEW OVERHEAD DOORS SHALL BE RELOCATED/SHIFTED TO AVOID CONFLICT. SEE CIVIL DRAWINGS

- LEGEND:
- NEW DOUBLE ROOF DRAIN, REFER TO DETAIL 2 ON A-303 FOR ADDITIONAL INFORMATION
 - EPDM ROOF REPAIR
 - EPDM ROOFING
 - COAL TAR ROOFING

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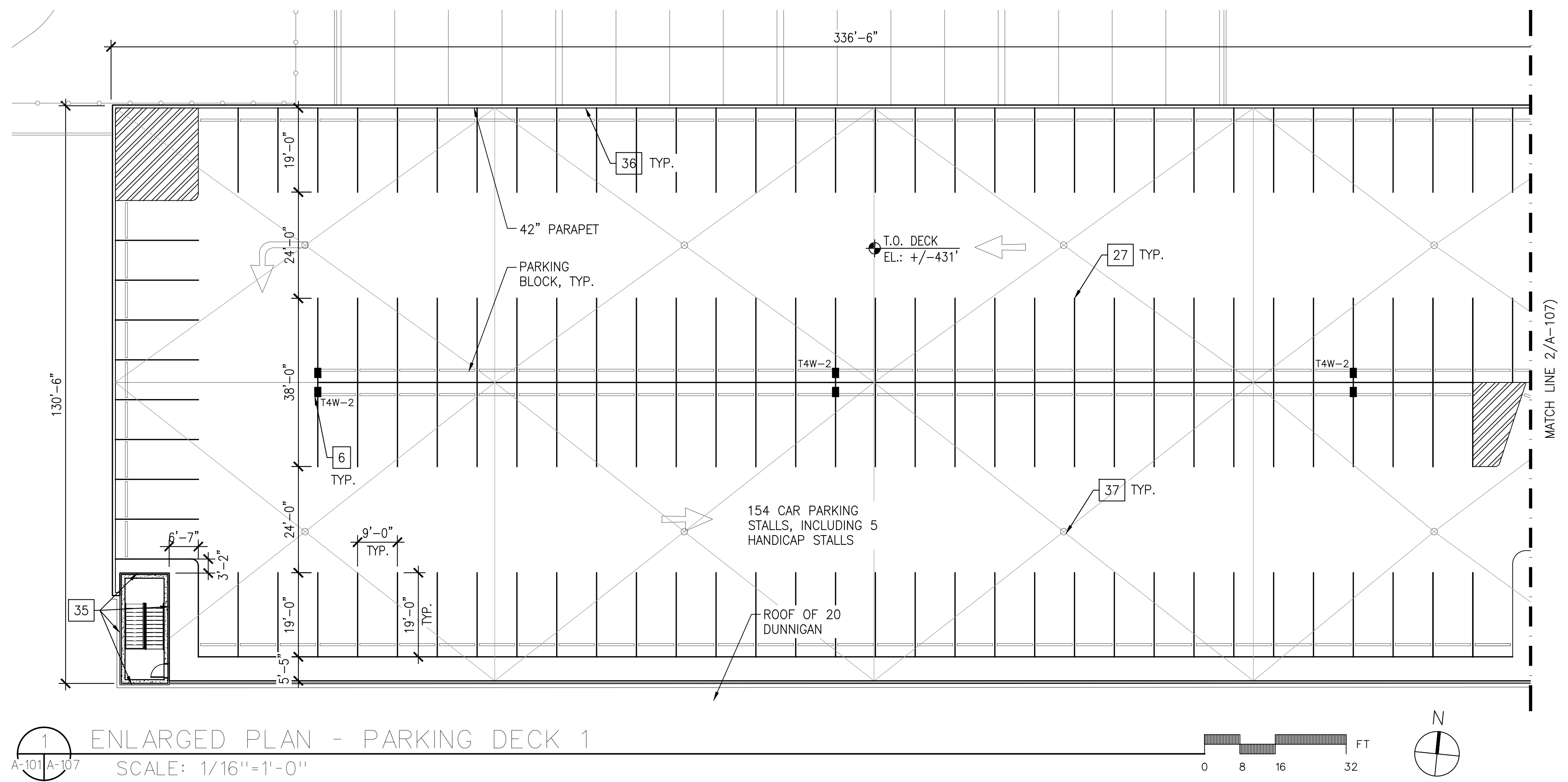
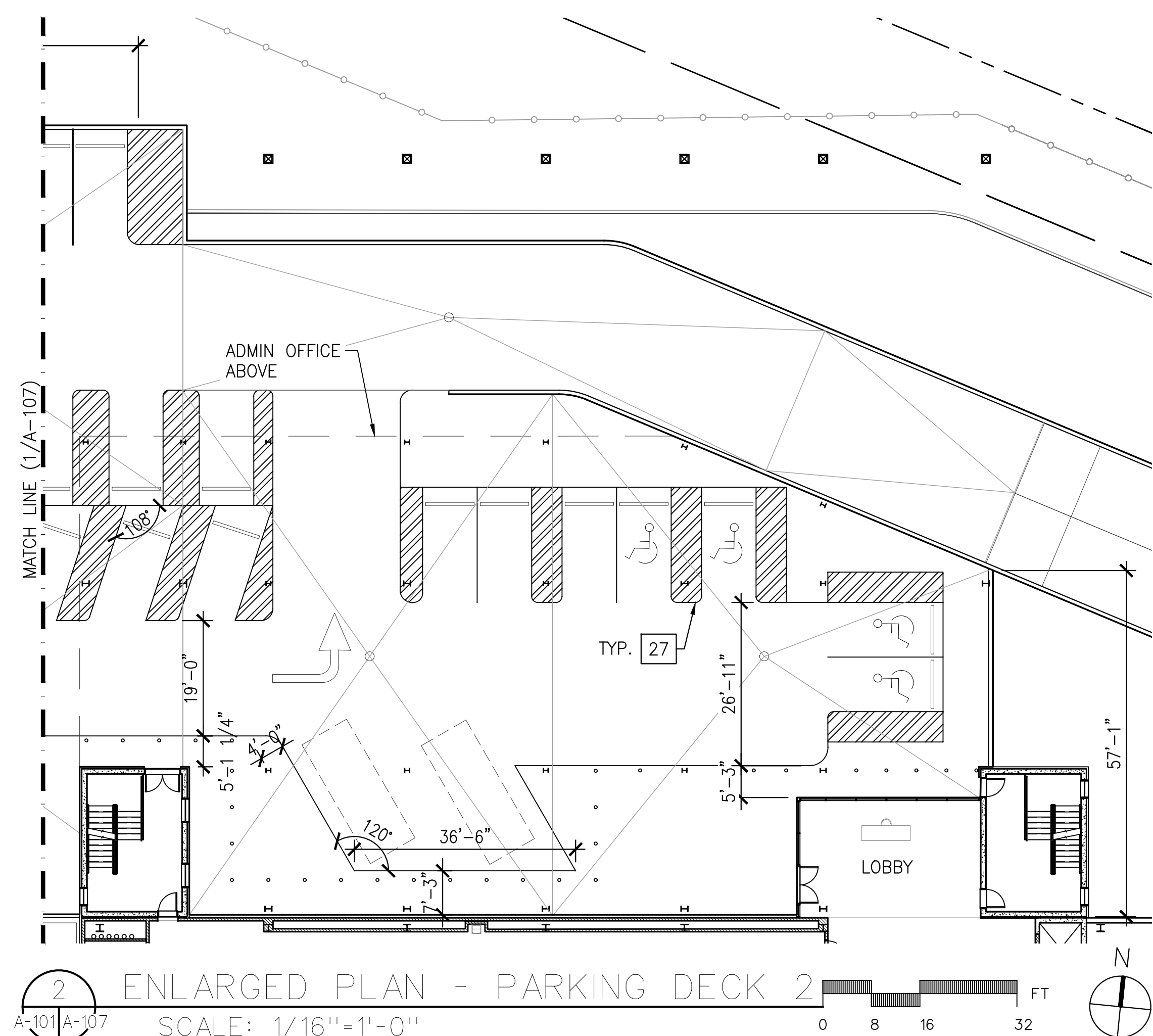
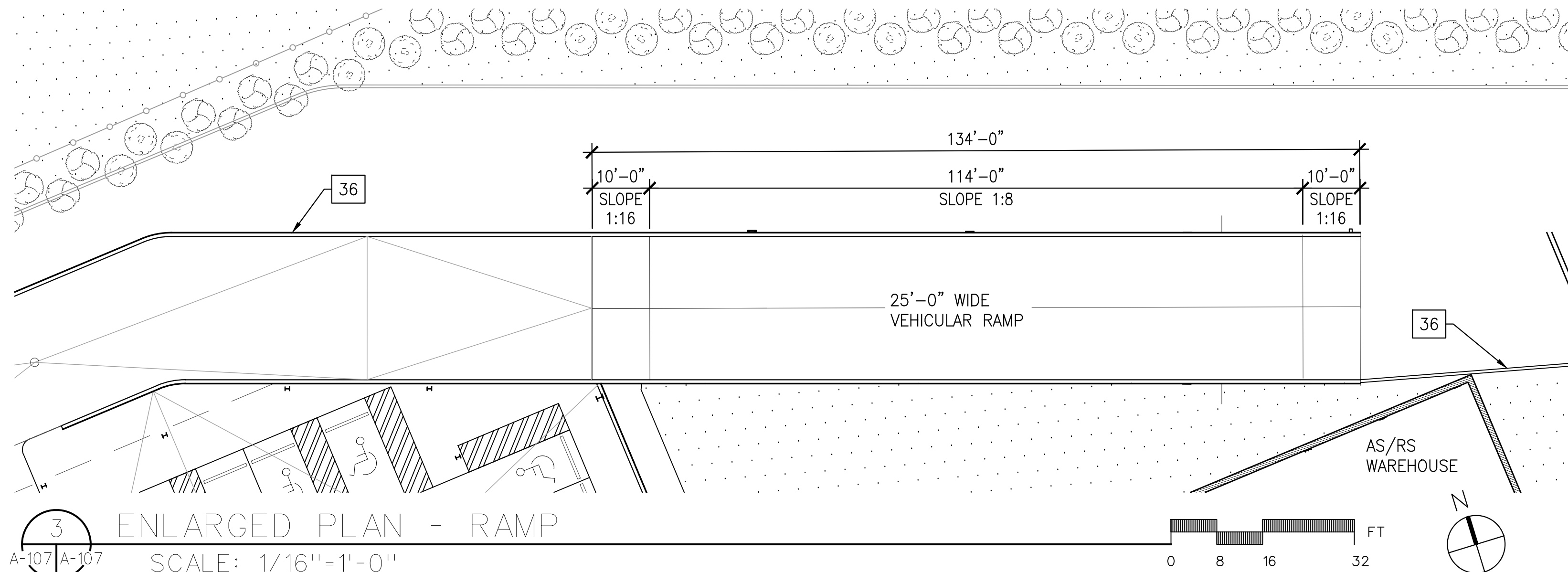
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DRAWING TITLE :

PROPOSED PLAN -
ROOF PLAN

DWG NUMBER :

A-106



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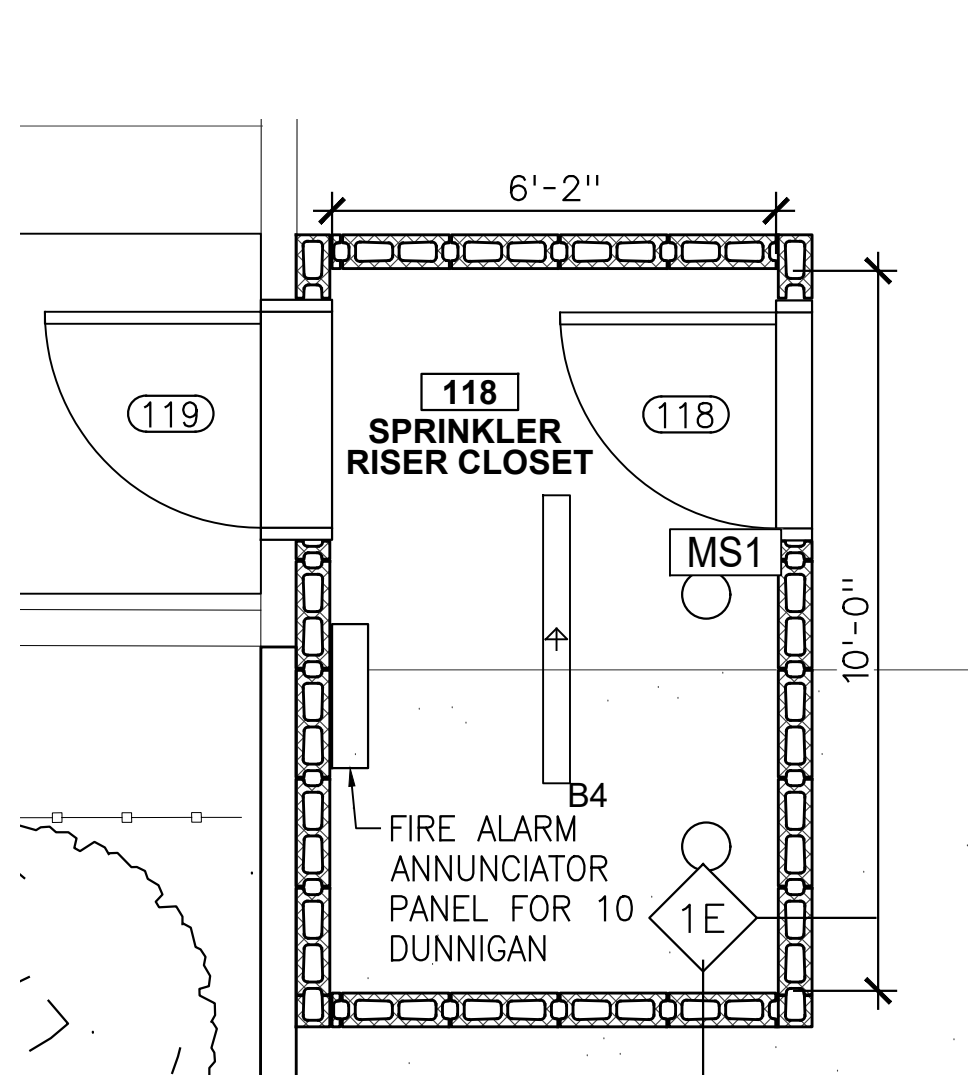
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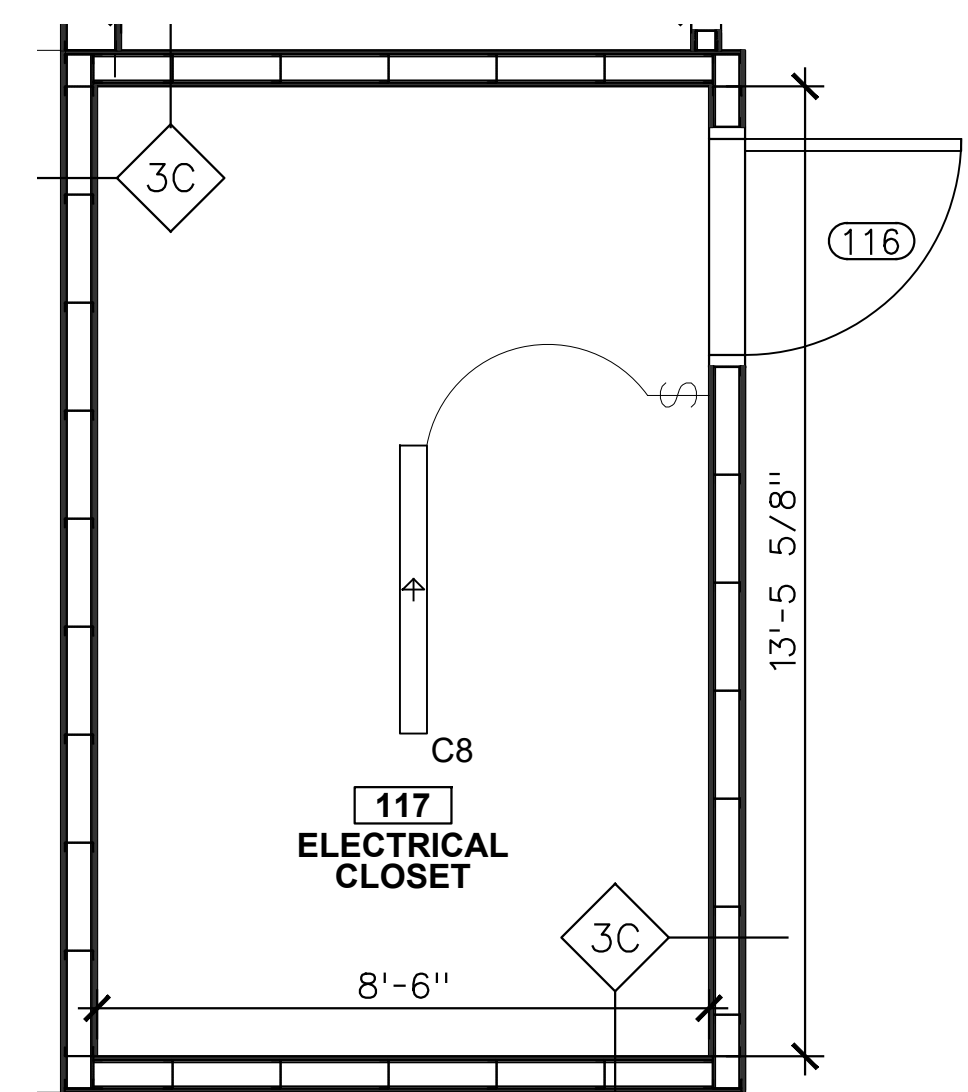
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**ENLARGED PLANS -
PARKING DECK AND
RAMP**

DWG NUMBER :

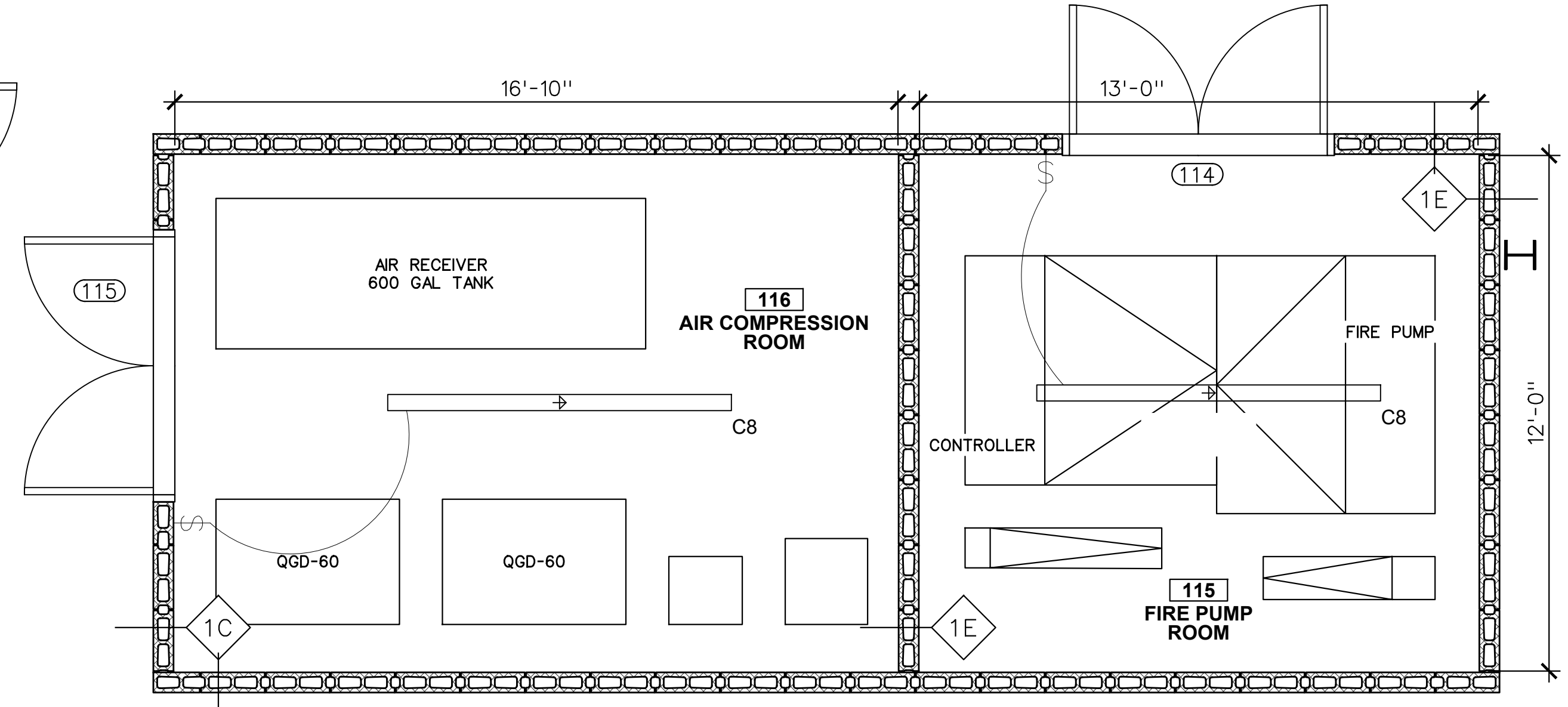
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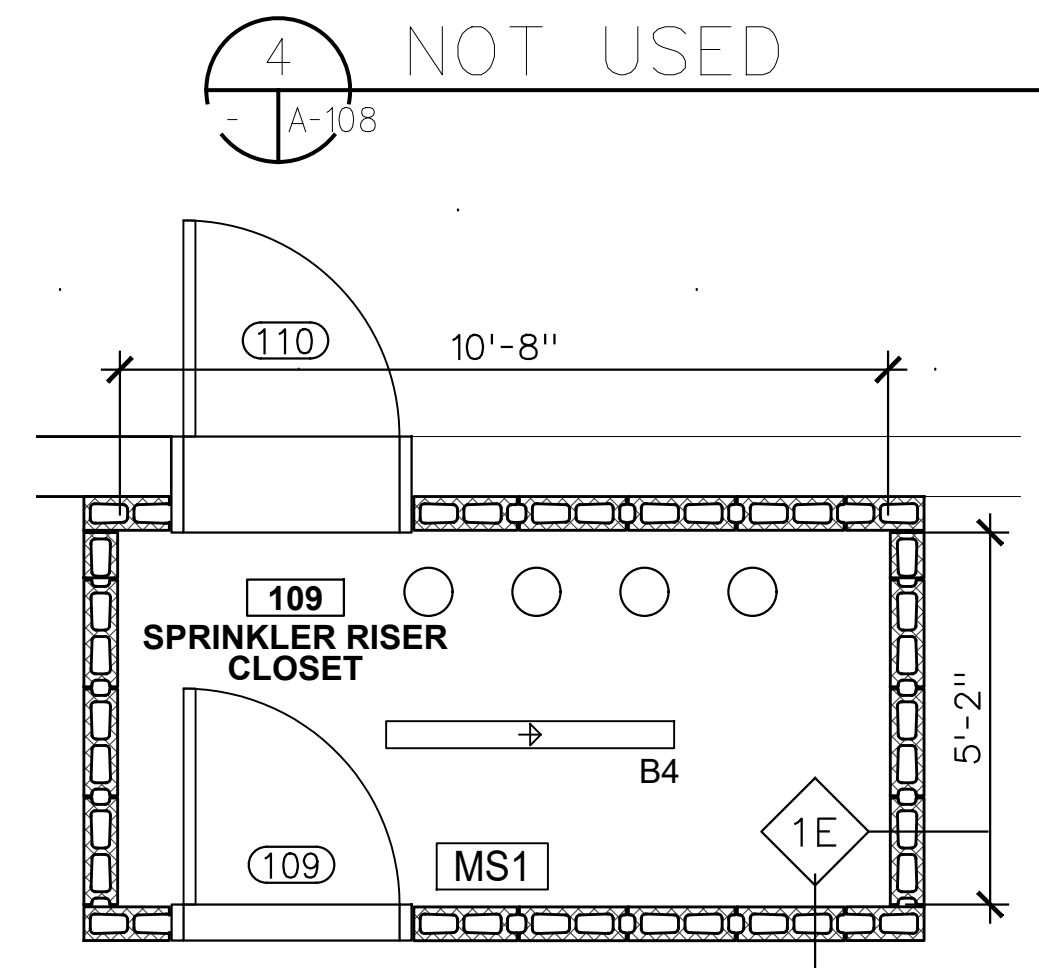
20 DUNNIGAN -
SPRINKLER RISER CLOSET
2HR RATED



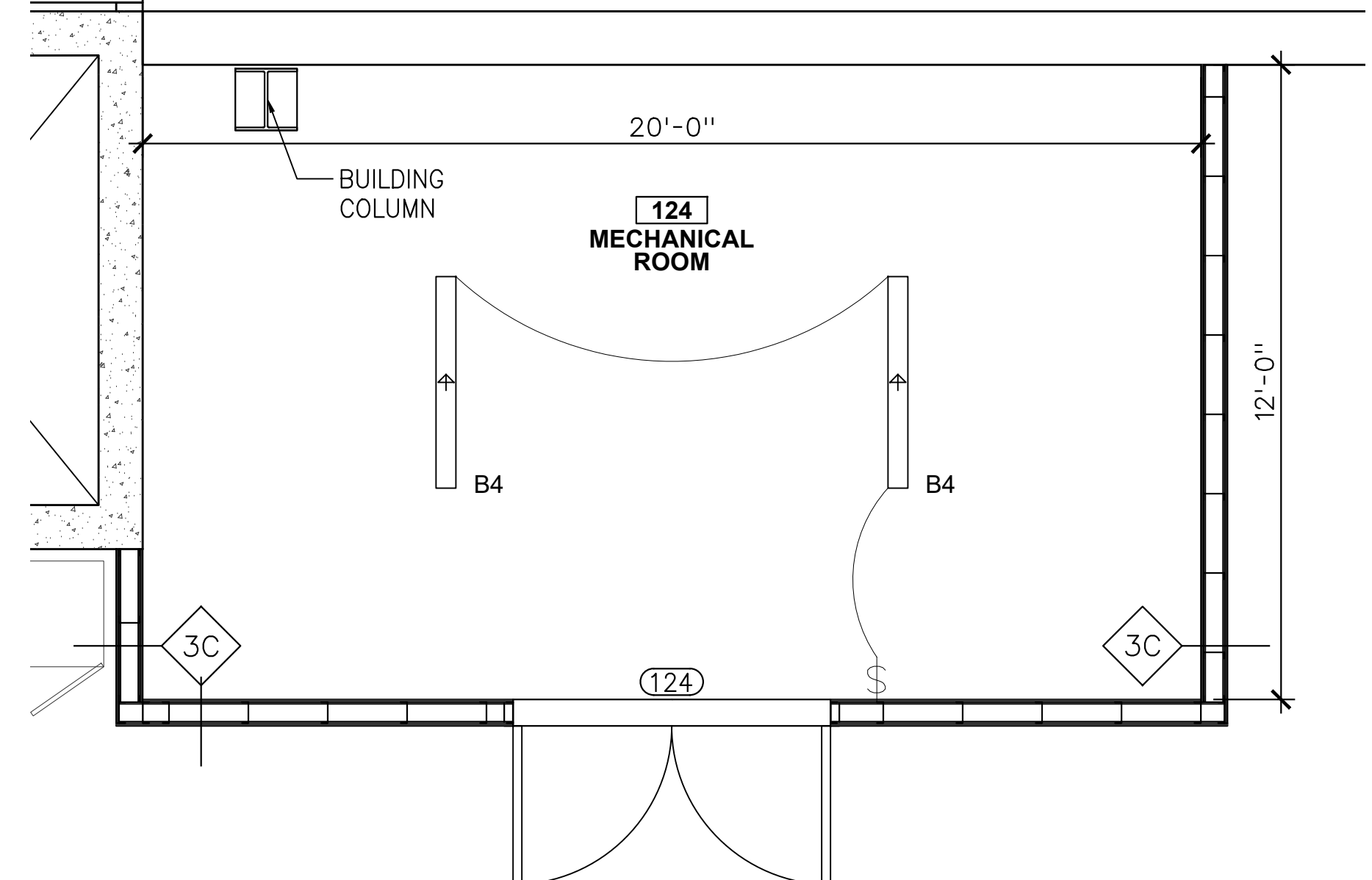
20 DUNNIGAN -
ELECTRICAL CLOSET
1HR RATED



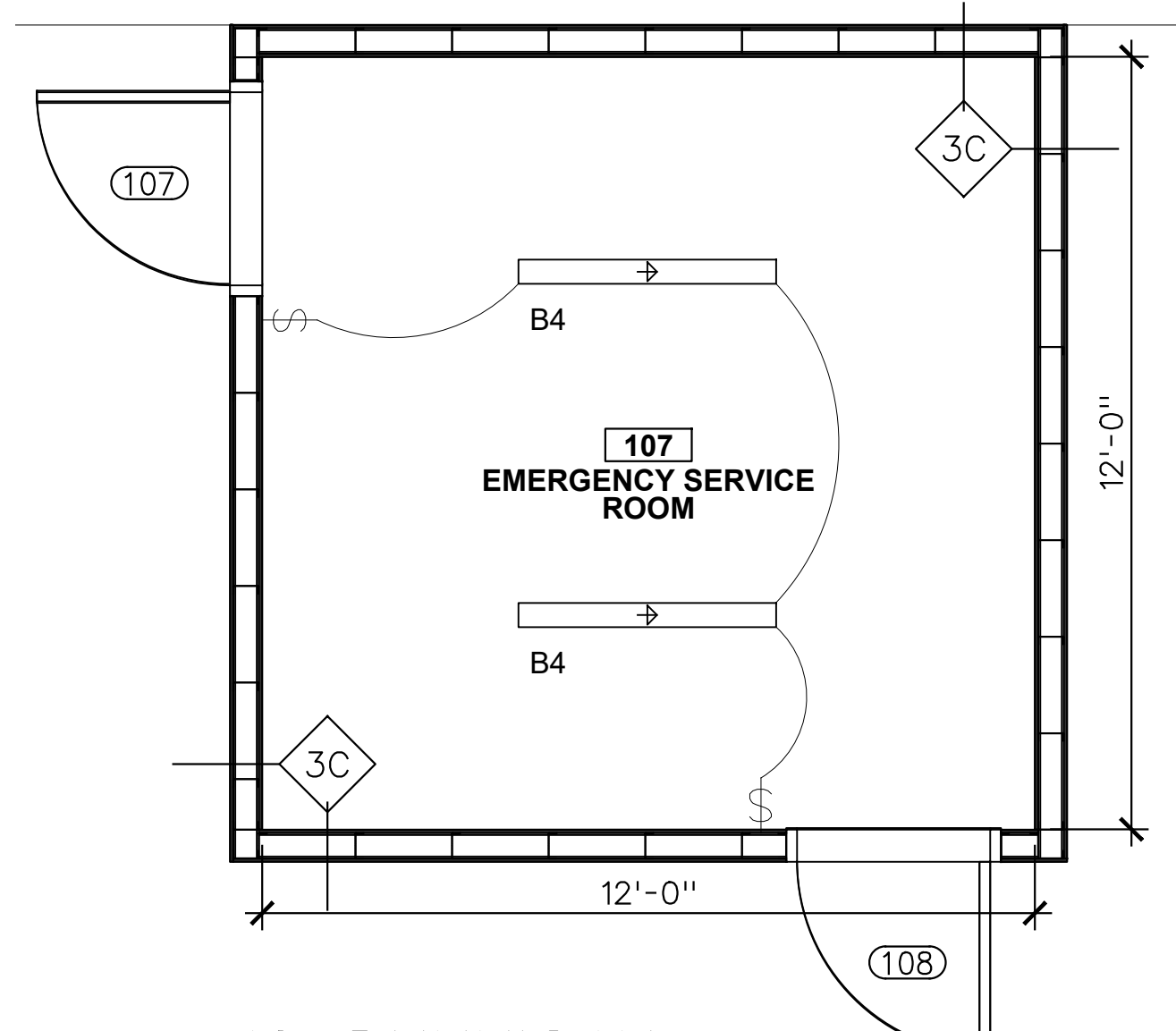
20 DUNNIGAN - FIRE PUMP ROOM, 2HR RATED
& AIR COMPRESSION ROOM, 1HR RATED



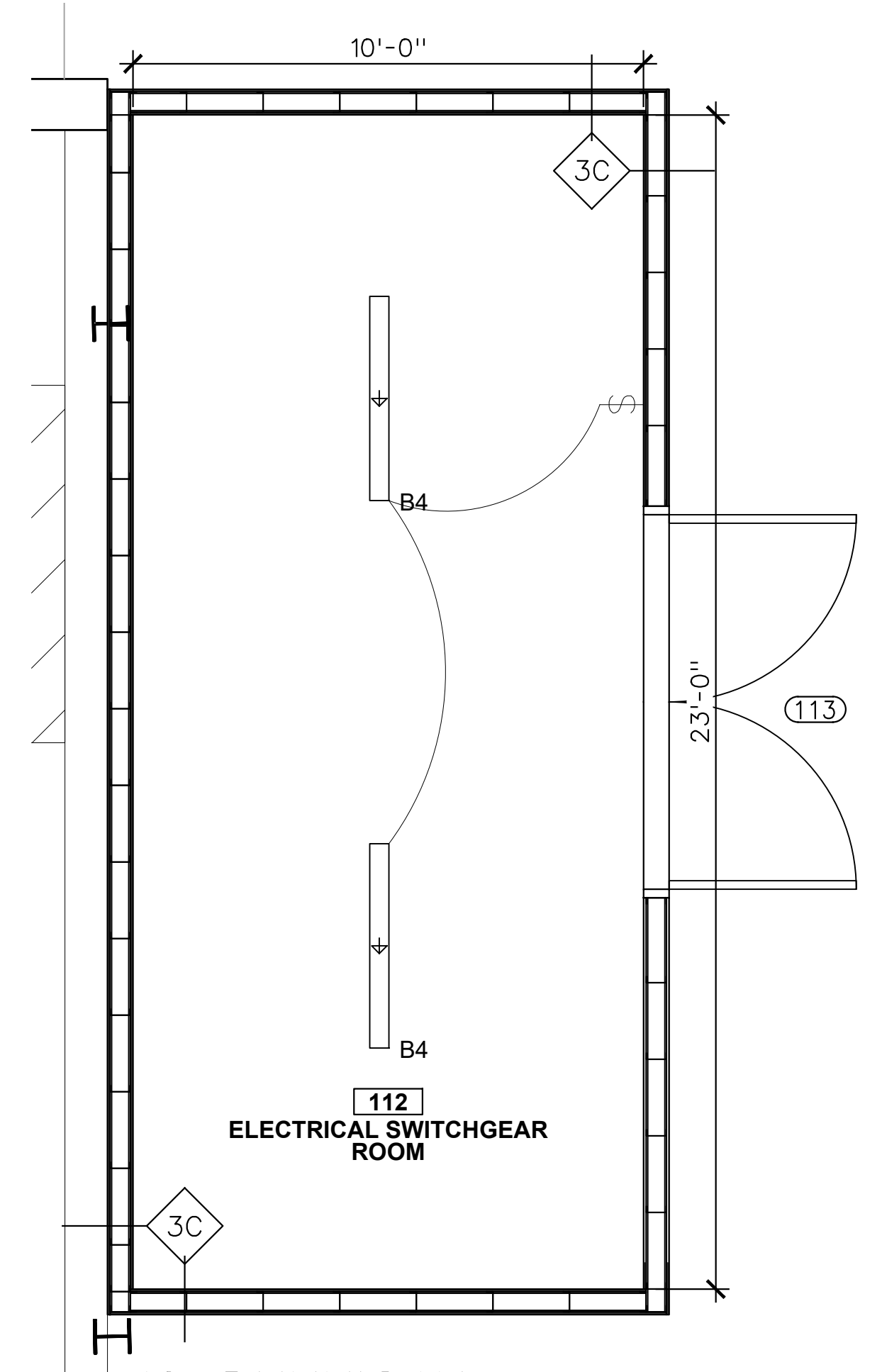
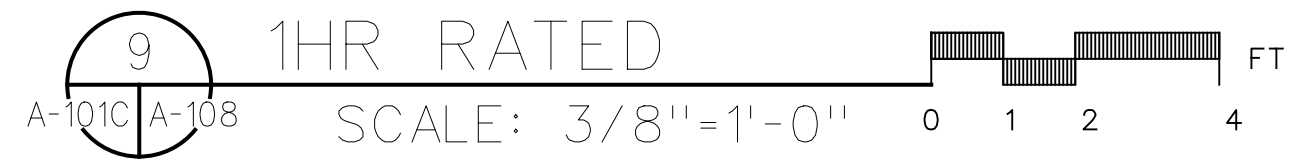
10 DUNNIGAN -
SPRINKLER RISER CLOSET
2HR RATED



AS/RS WAREHOUSE - MECHANICAL
ROOM, 1HR RATED



10 DUNNIGAN -
EMERGENCY SERVICE ROOM
1HR RATED



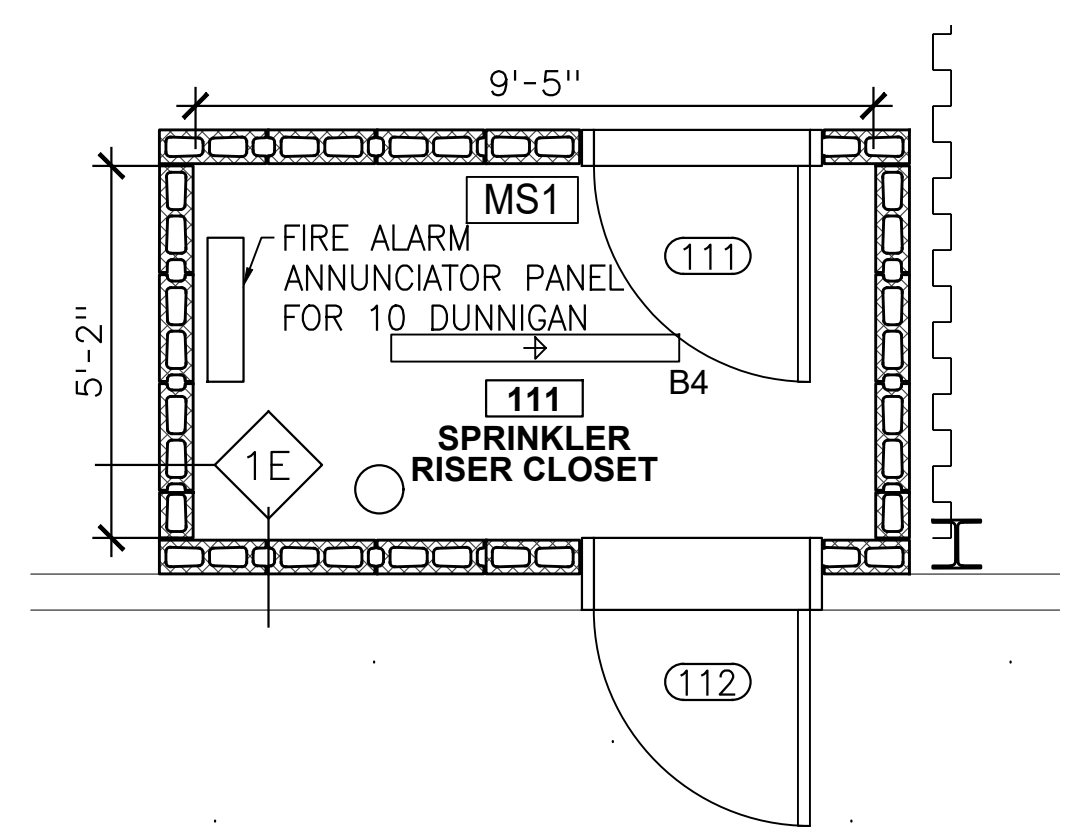
10 DUNNIGAN -
SWITCHGEAR ROOM
1HR RATED



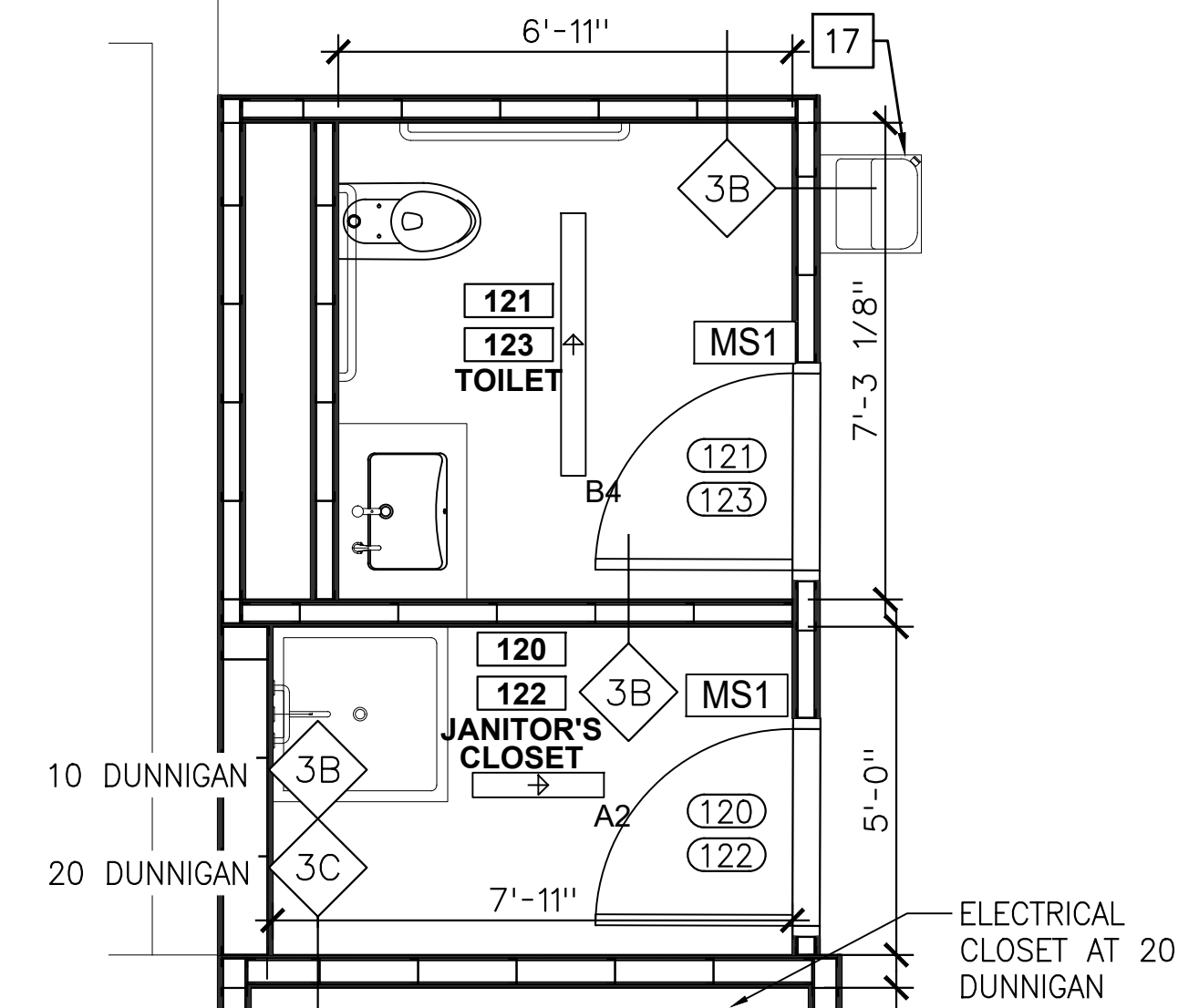
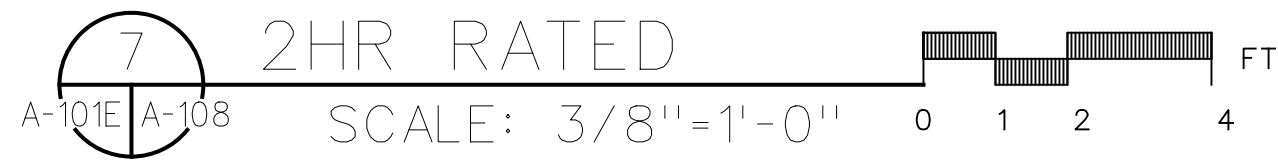
- NOTES:
1. LIGHT FIXTURES SHALL BE FURNISHED AND INSTALLED TO THE CEILING SURFACE AND CENTERED, U.O.N.
 2. THE ORIENTATION SHALL FOLLOW WHAT IS SHOWN ON THE PLANS.
 3. FIRE RATED WALLS SHALL BE RATED CONTINUOUSLY. ALL PENETRATIONS SHALL BE SEALED WITH FIRE RATED SEALANTS OF EQUAL TO OR GREATER THAN THE RATING. THE RATING SHALL CONTINUE TO THE CEILING PROVIDING A FIRE RATED ENCLOSURE THROUGHOUT.

LEGEND

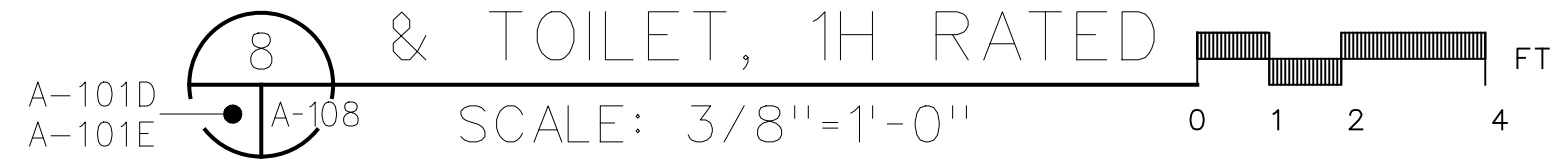
\$	ELECTRICAL LIGHT SWITCH
MS1	OCCUPANCY SENSOR
A2	2' LONG CEILING MOUNTED MPS LINEAR LIGHT FIXTURE, SEE SCHEDULE ON A-608
B4	4' LONG CEILING MOUNTED MPS LINEAR LIGHT FIXTURE, SEE SCHEDULE ON A-608
C8	8' LONG CEILING MOUNTED MPS LINEAR LIGHT FIXTURE, SEE SCHEDULE ON A-608



10 DUNNIGAN -
EMERGENCY SERVICE ROOM
2HR RATED



TYP. JANITOR'S CLOSET
& TOILET, 1H RATED



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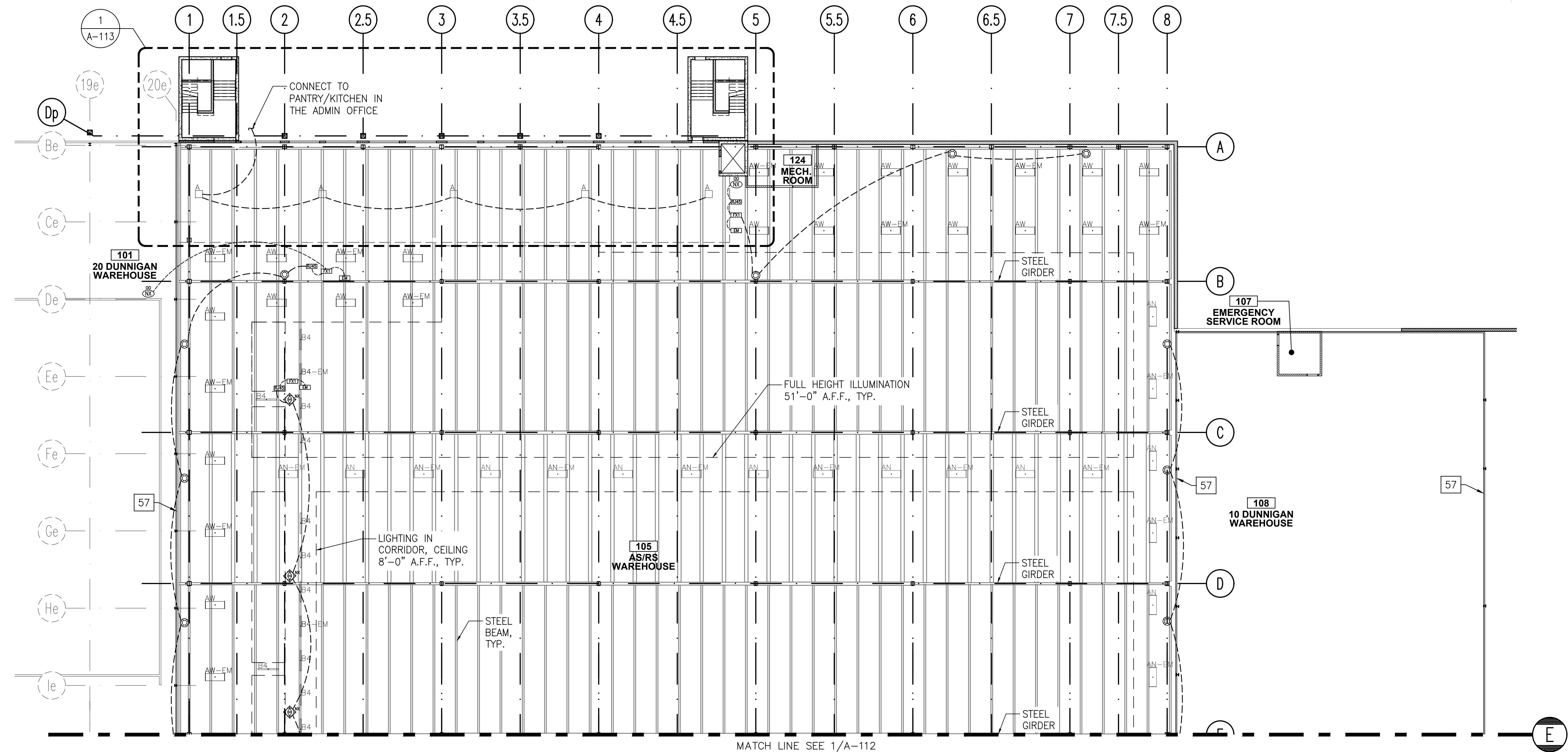
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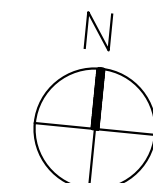
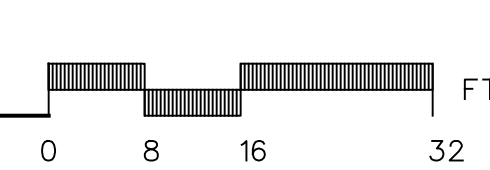
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DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**ENLARGED PLANS -
AUXILIARY ROOMS**

DWG NUMBER:
A-108



1 PROPOSED RCP - AS/RS WAREHOUSE (NORTH)
A-111 A-111 SCALE: 1/16"=1'-0"



RCP KEY NOTES:

1. SEE A-608 FOR LIGHTING AND CONTROL SCHEDULES.
2. SEE A-108 FOR LIGHTING LAYOUT IN AUXILIARY ROOMS.

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DRAWING TITLE:
**PROPOSED RCP -
AS/RS WAREHOUSE
(NORTH)**

DWG NUMBER:

A-111

- RCP KEY NOTES:
- 1. SEE A-608 FOR LIGHTING AND CONTROL SCHEDULES.
 - 2. SEE A-108 FOR LIGHTING LAYOUT IN AUXILIARY ROOMS.

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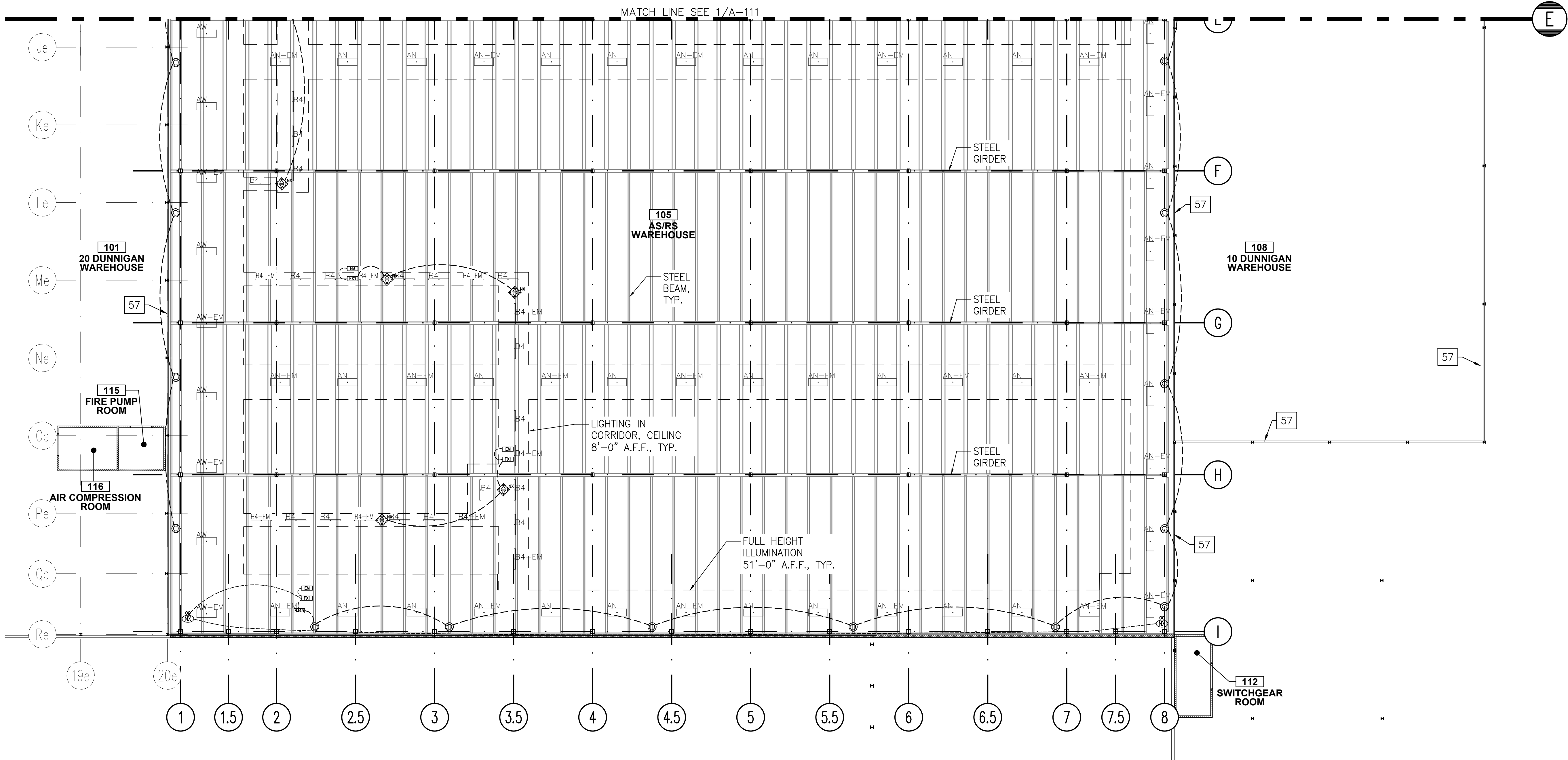
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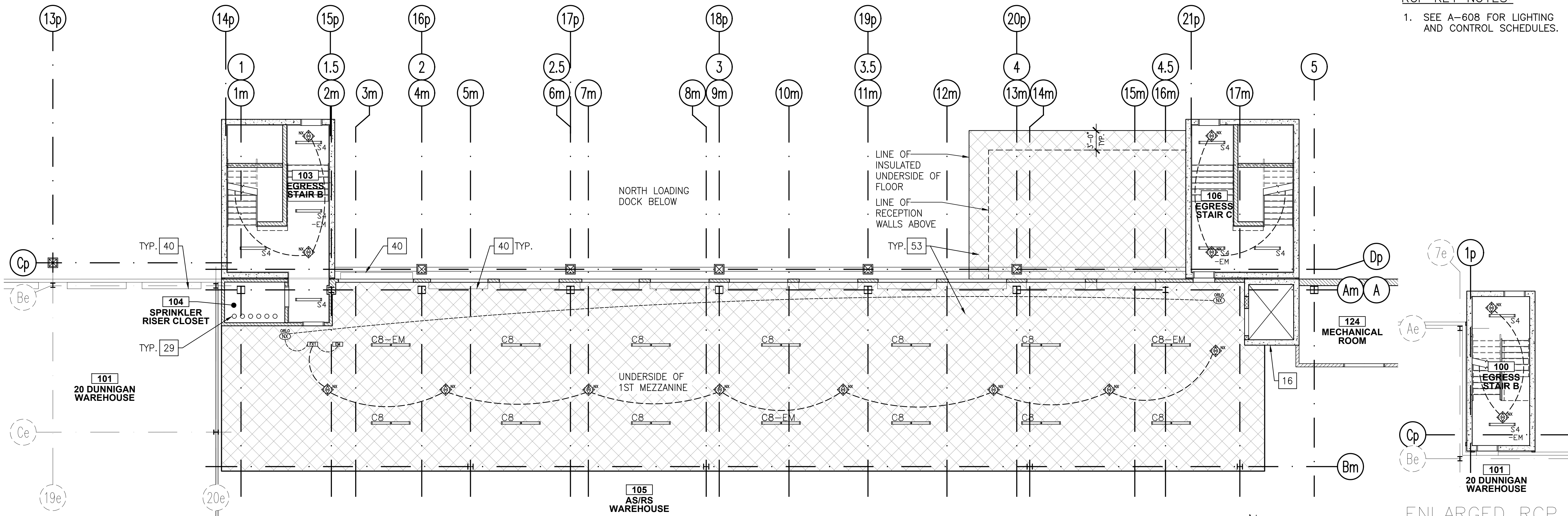
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PROPOSED RCP -
AS/RS WAREHOUSE
(SOUTH)

DWG NUMBER :

A-112



1 PROPOSED RCP - AS/RS WAREHOUSE (SOUTH)
A-112 A-112 SCALE: 1/16"=1'-0"

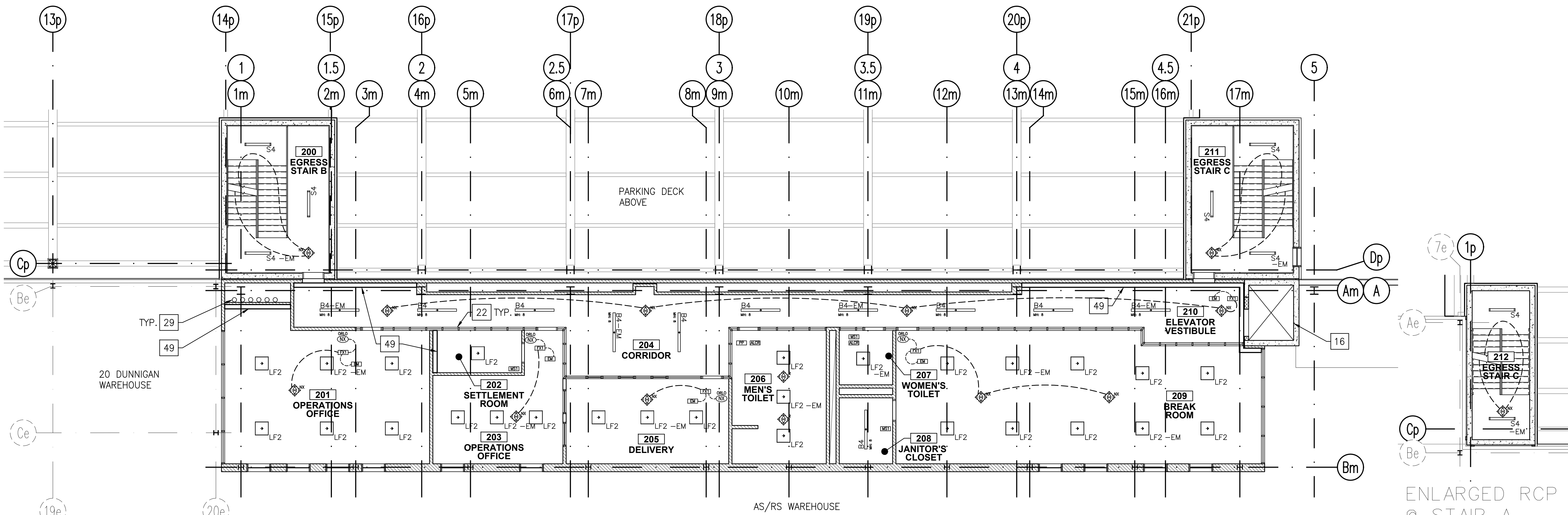


1 ENLARGED RCP - PARTIAL WAREHOUSE (@ MEZZANINE)

A-111 A-113 SCALE: 1/8"=1'-0"

ENLARGED RCP @ STAIR A

A-113 A-115 SCALE: 1/8"=1'-0"



2 ENLARGED RCP - 1ST MEZZANINE

A-113 A-115 SCALE: 1/8"=1'-0"

ENLARGED RCP @ STAIR A - INT. LANDING

A-113 A-115 SCALE: 1/8"=1'-0"

RCP KEY NOTES:

1. SEE A-608 FOR LIGHTING AND CONTROL SCHEDULES.

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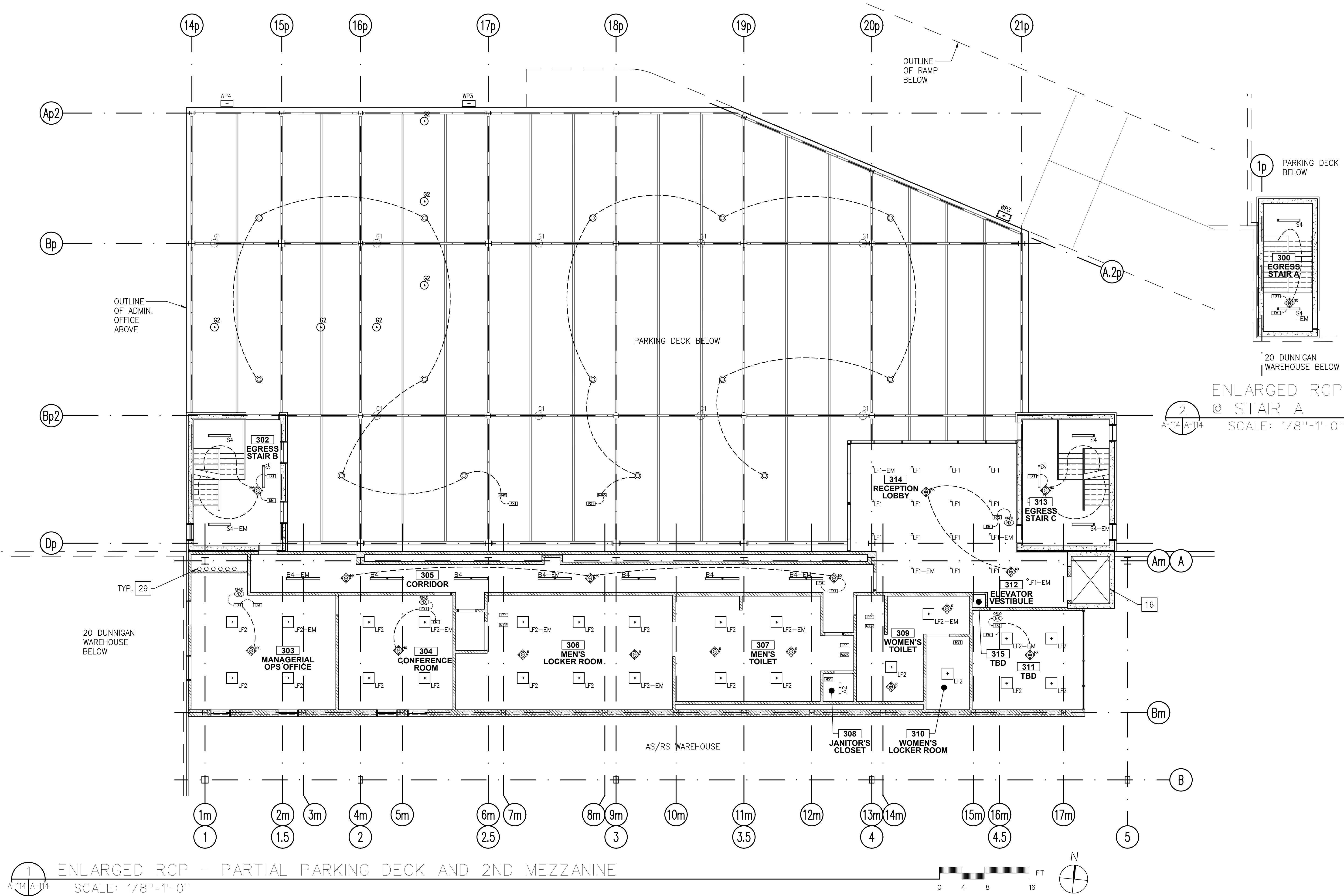
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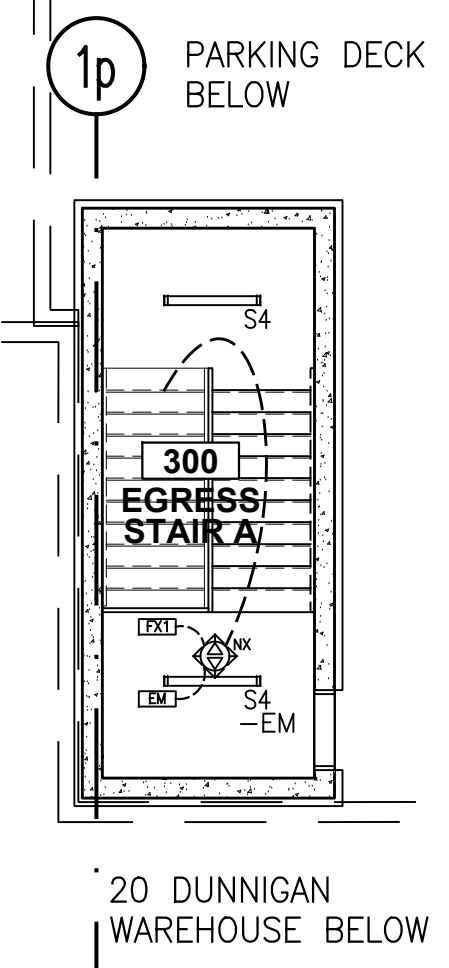
DRAWING TITLE:
**ENLARGED RCPS -
PARTIAL WAREHOUSE
AND 1ST MEZZANINE**

DWG NUMBER:

A-113



RCP KEY NOTES:
1. SEE A-608 FOR LIGHTING AND CONTROL SCHEDULES.



ENLARGED RCP
@ STAIR A
SCALE: 1/8" = 1'-0"

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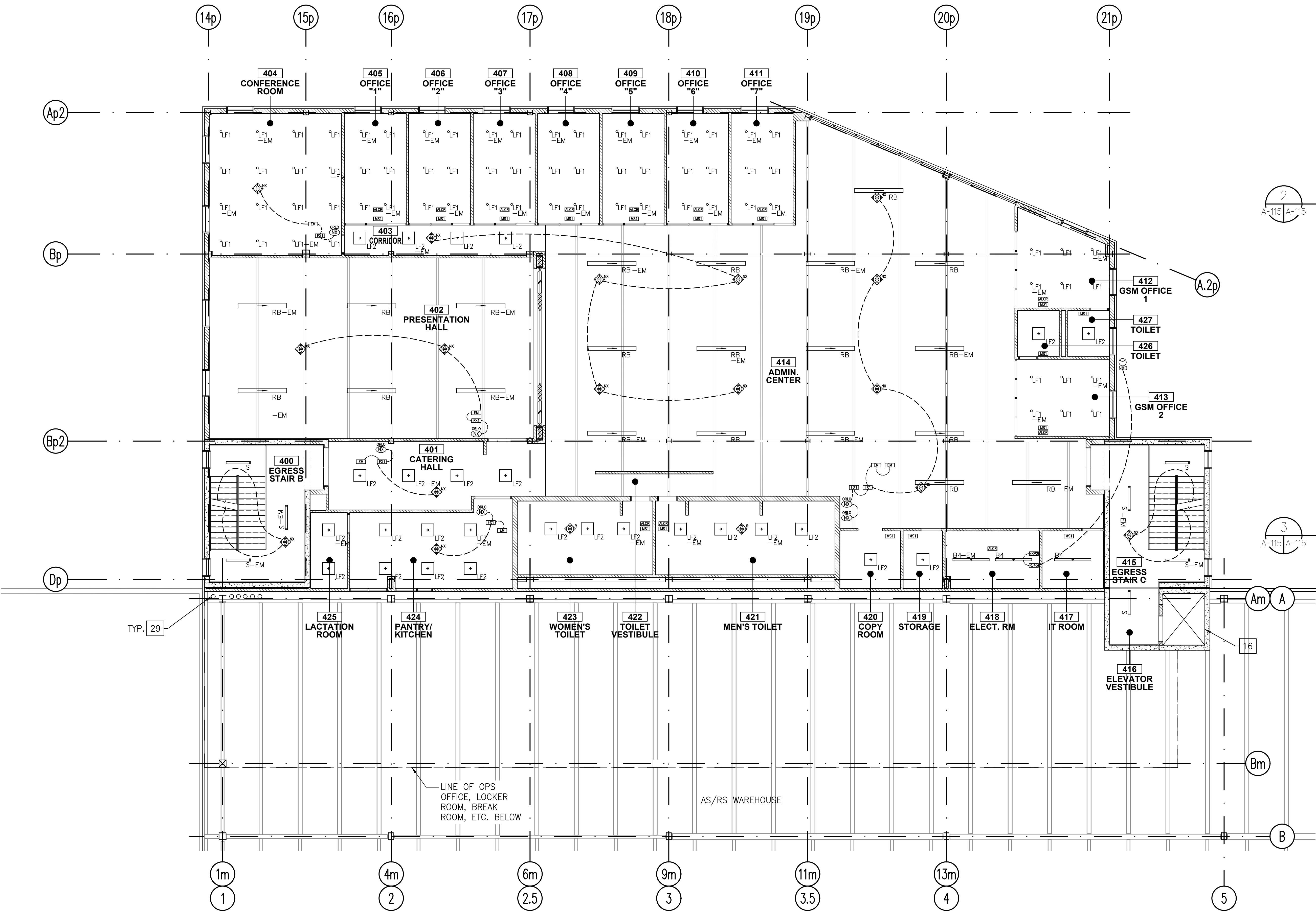
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**ENLARGED RCP -
PARTIAL PARKING DECK
AND 2ND MEZZANINE**

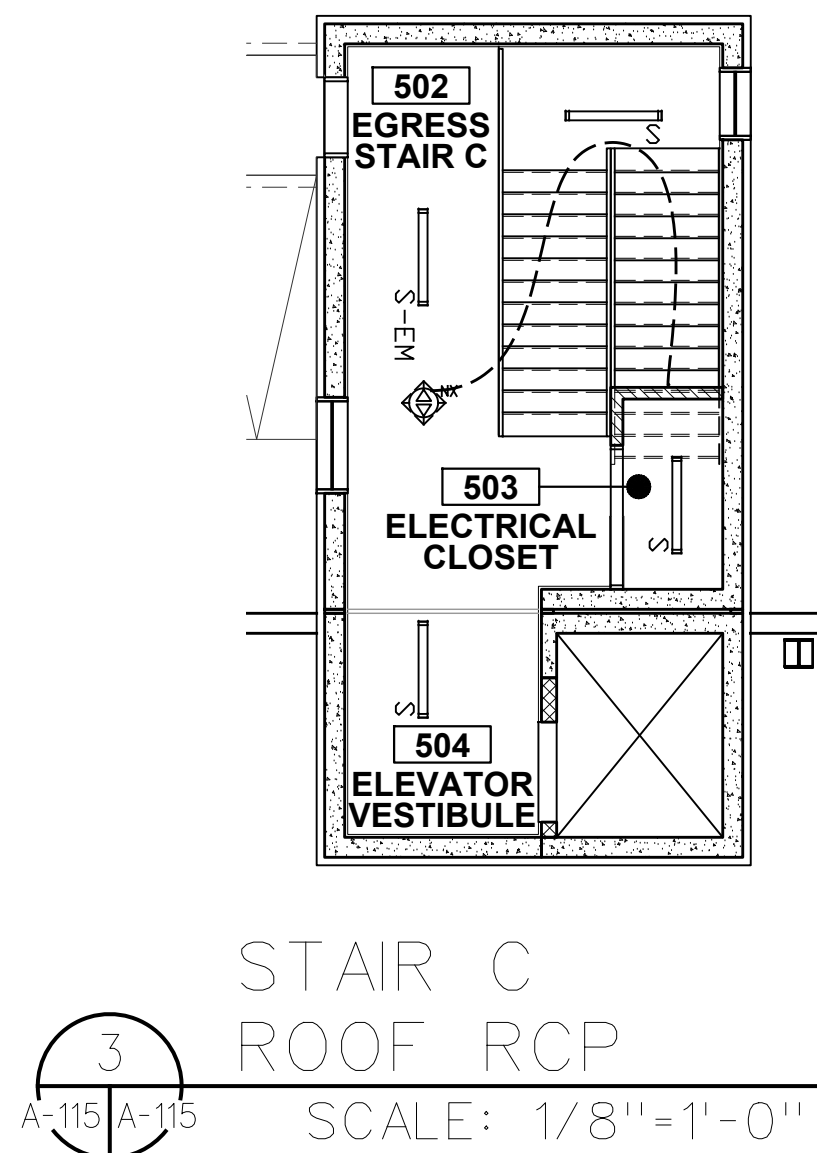
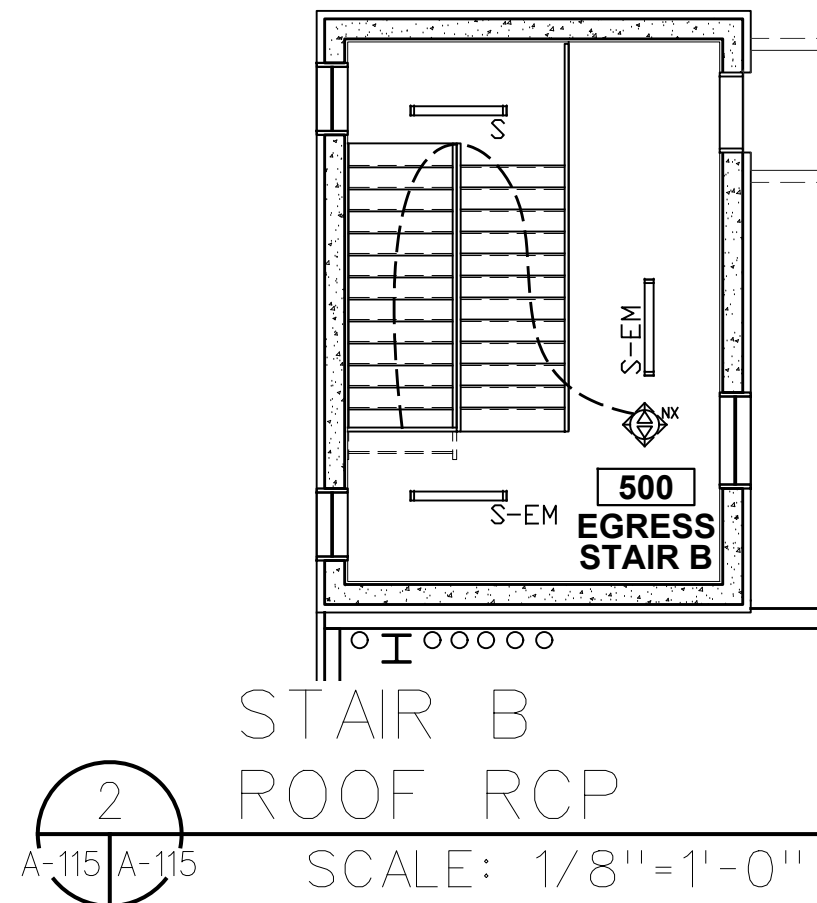
DWG NUMBER:

A-114



1 ENLARGED RCP - ADMIN. OFFICE
A-115 A-115 SCALE: 1/8"=1'-0"

RCP KEY NOTES:
1. SEE A-608 FOR LIGHTING
AND CONTROL SCHEDULES.



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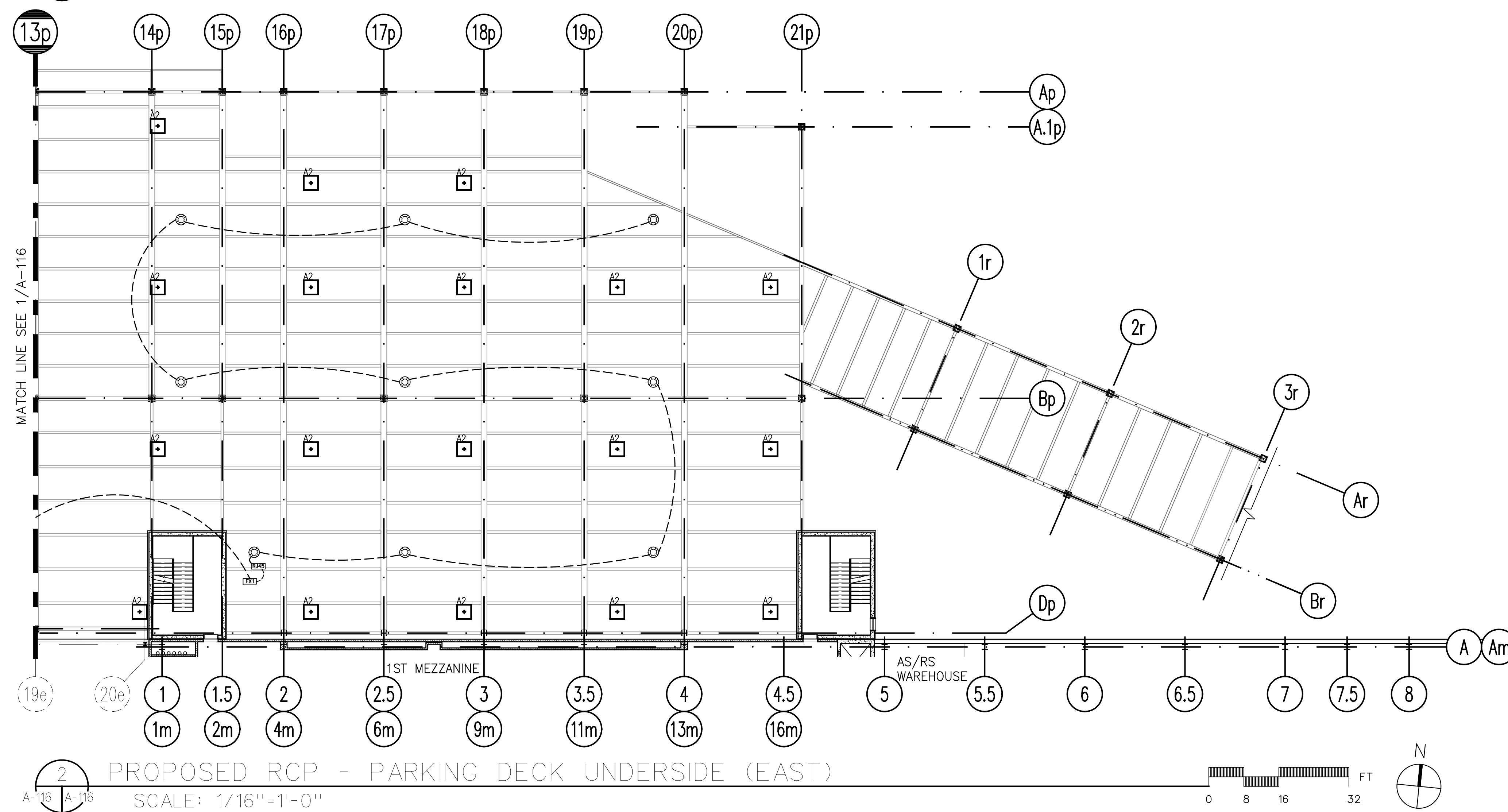
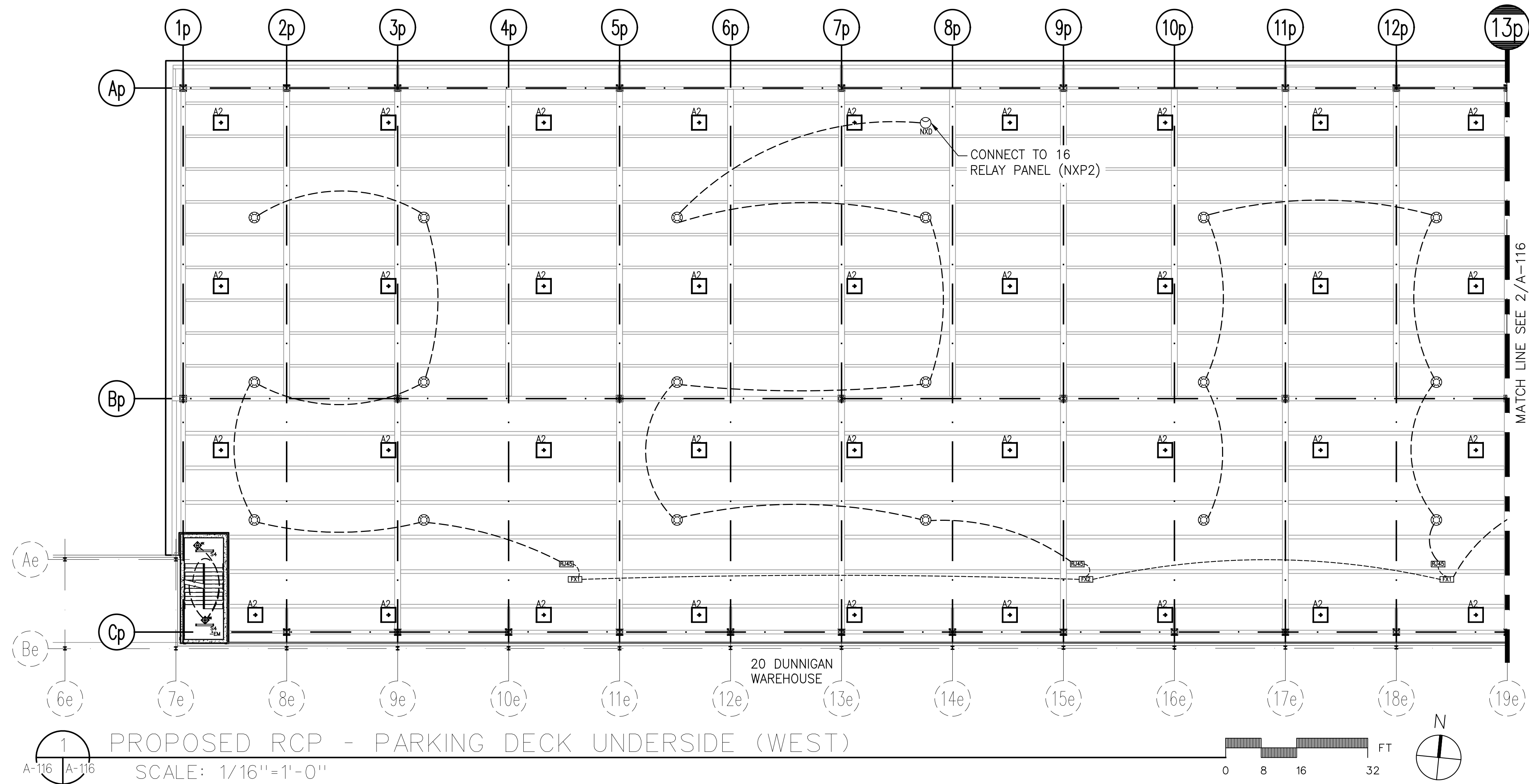
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DATE: 07.30.2021
SCALE: AS NOTED

DRAWING TITLE:
**ENLARGED RCP -
ADMIN. OFFICE**

DWG NUMBER:
A-115



RCP KEY NOTES:

- SEE A-608 FOR LIGHTING AND CONTROL SCHEDULES.

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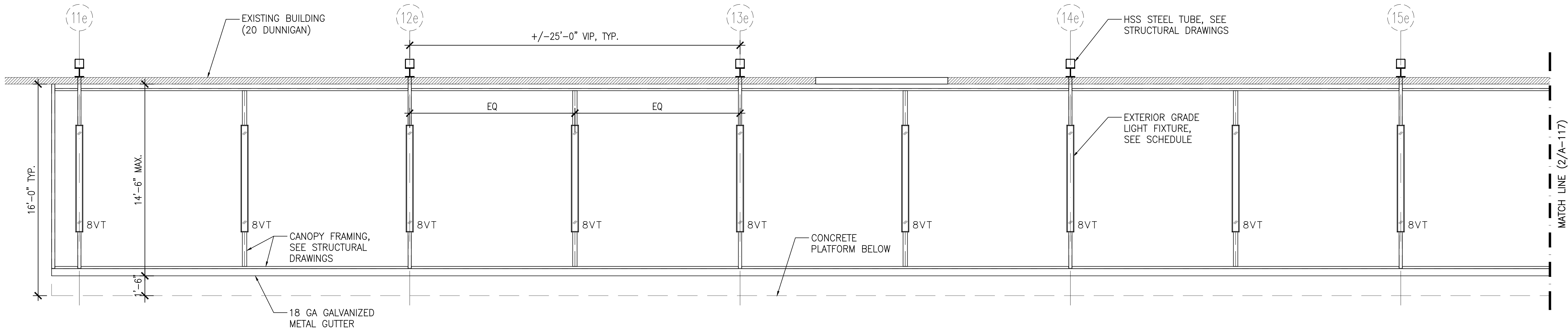
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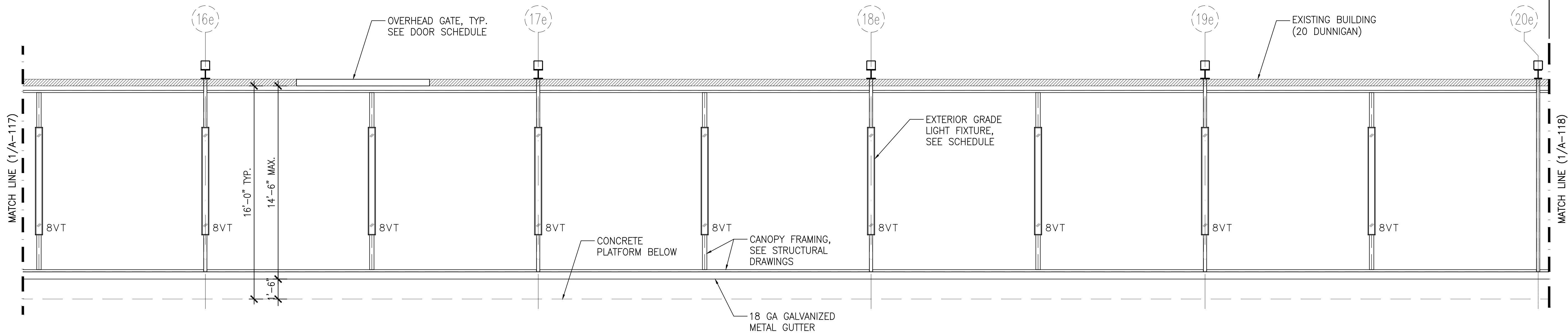
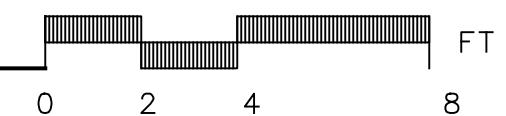
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 DATE: 07.30.2021
 SCALE: AS NOTED

DRAWING TITLE:
**PROPOSED RCP -
 PARKING DECK
 UNDERSIDE**

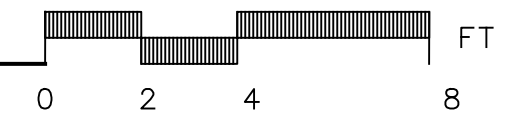
DWG NUMBER:
A-116



1 PARTIAL CANOPY REFLECTED CEILING PLAN
A-117 A-117 SCALE: 1/4"=1'-0"



2 PARTIAL CANOPY REFLECTED CEILING PLAN
A-117 A-117 SCALE: 1/4"=1'-0"



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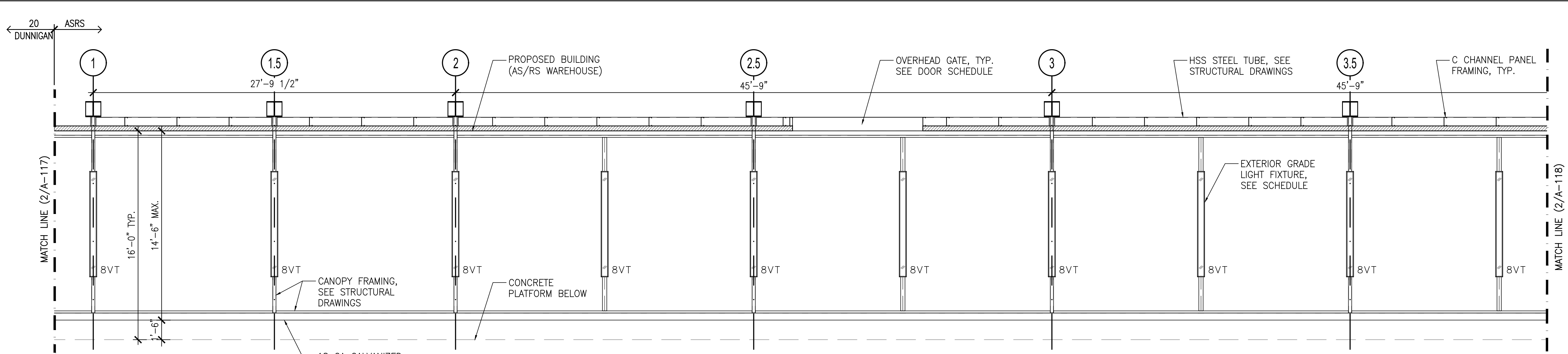
REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
-	ISSUED FOR CONSTRUCTION	11.30.21

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CHECKED BY :	D. TOBAR, R.A.
APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

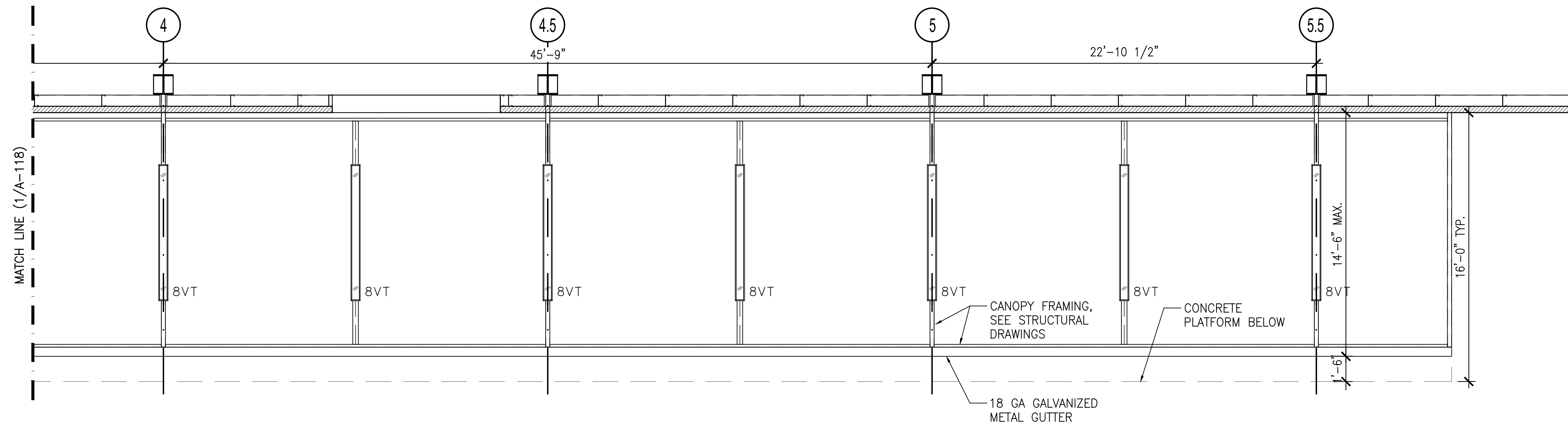
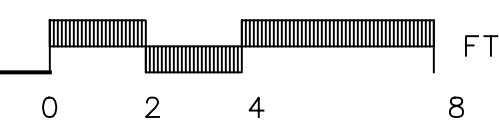
DRAWING TITLE :
**PROPOSED RCP -
CANOPY AT 20
DUNNIGAN**

DWG NUMBER :

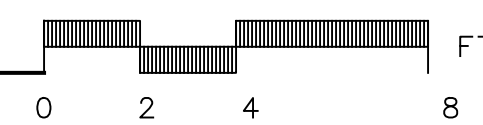
A-117



1 PARTIAL CANOPY REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"



2 PARTIAL CANOPY REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"



LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	ARRANGEMENT	LLF	DESCRIPTION	LUM. WATTS	TOTAL WATTS	LUM. LUMENS
	8VT	35	SINGLE	0.864	8VT2-LD5-16-DR-W-UNV-L835-CD2-WL-U	65.7	2036.7	9355.8

CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
EXTERIOR CANOPY_FLOOR	ILLUMINANCE	Fc	22.61	23.2	8.0	1.58	1.66

Obstructions are NOT included in this Lighting Layout and will impact the light levels once installed

Wall Height: 14'
Reflectance: 50 30 20
Grid Height: 0' AFF

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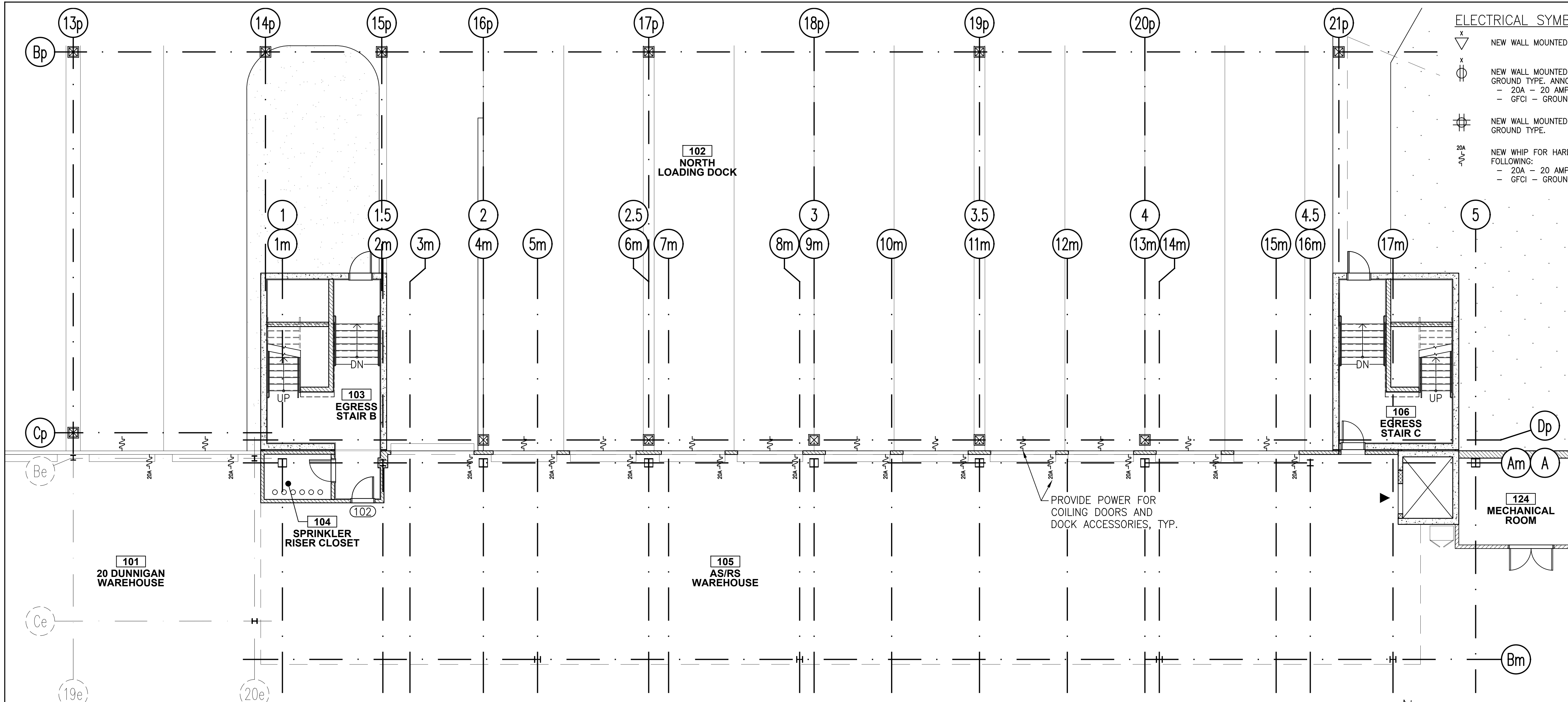
REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
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DATE :	07.30.2021
SCALE :	AS NOTED

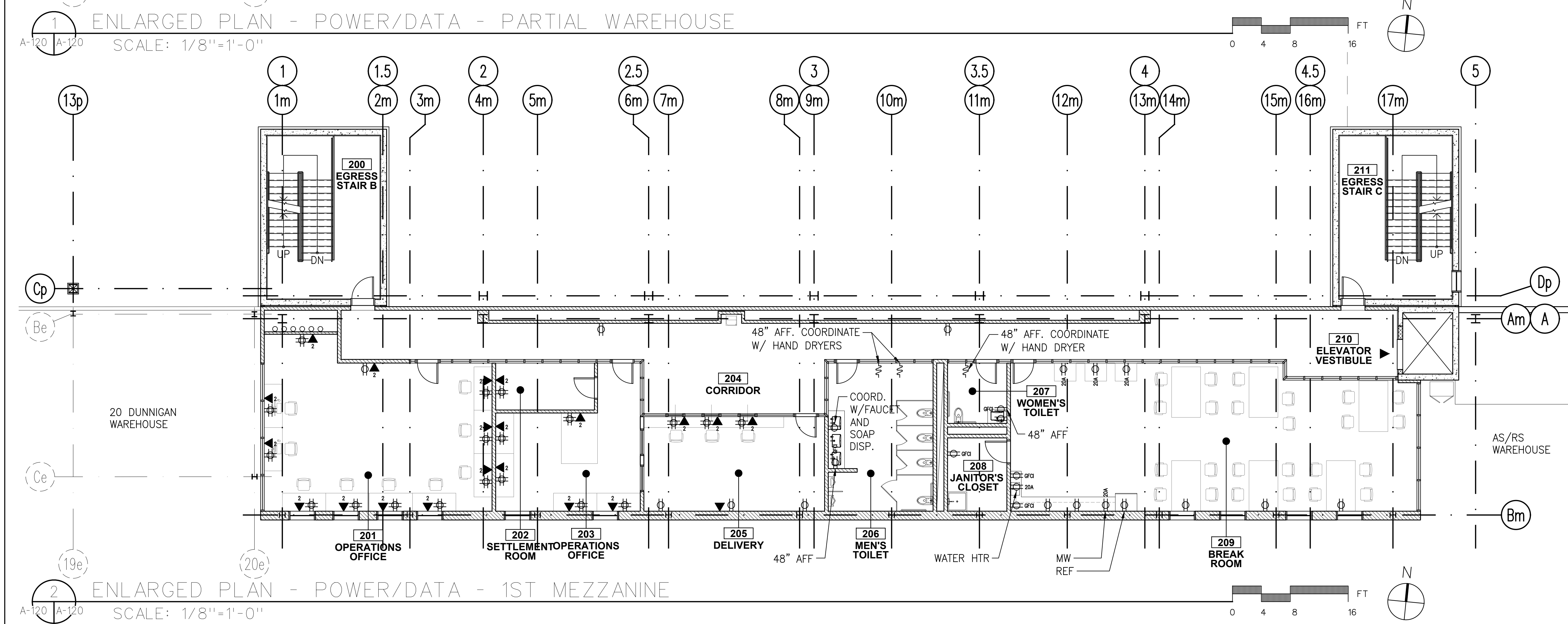
DRAWING TITLE :
**PROPOSED RCP -
CANOPY AT AS/RS
WAREHOUSE**

DWG NUMBER :

A-118



- ELECTRICAL SYMBOL LEGEND:**
- NEW WALL MOUNTED CAT6. NUMBER INDICATES QUANTITY
 - NEW WALL MOUNTED ELECTRICAL DUPLEX OUTLET. 20-AMP, 120 VOLT, GROUND TYPE. ANNOTATION INDICATES THE FOLLOWING:
 - 20A - 20 AMP DEDICATED OUTLET
 - GFCI - GROUND FAULT CIRCUIT INTERRUPTER
 - NEW WALL MOUNTED ELECTRICAL QUAD OUTLET. 20-AMP, 120 VOLT, GROUND TYPE.
 - NEW WHIP FOR HARDWIRED DEVICE. ANNOTATION INDICATES THE FOLLOWING:
 - 20A - 20 AMP DEDICATED OUTLET
 - GFCI - GROUND FAULT CIRCUIT INTERRUPTER



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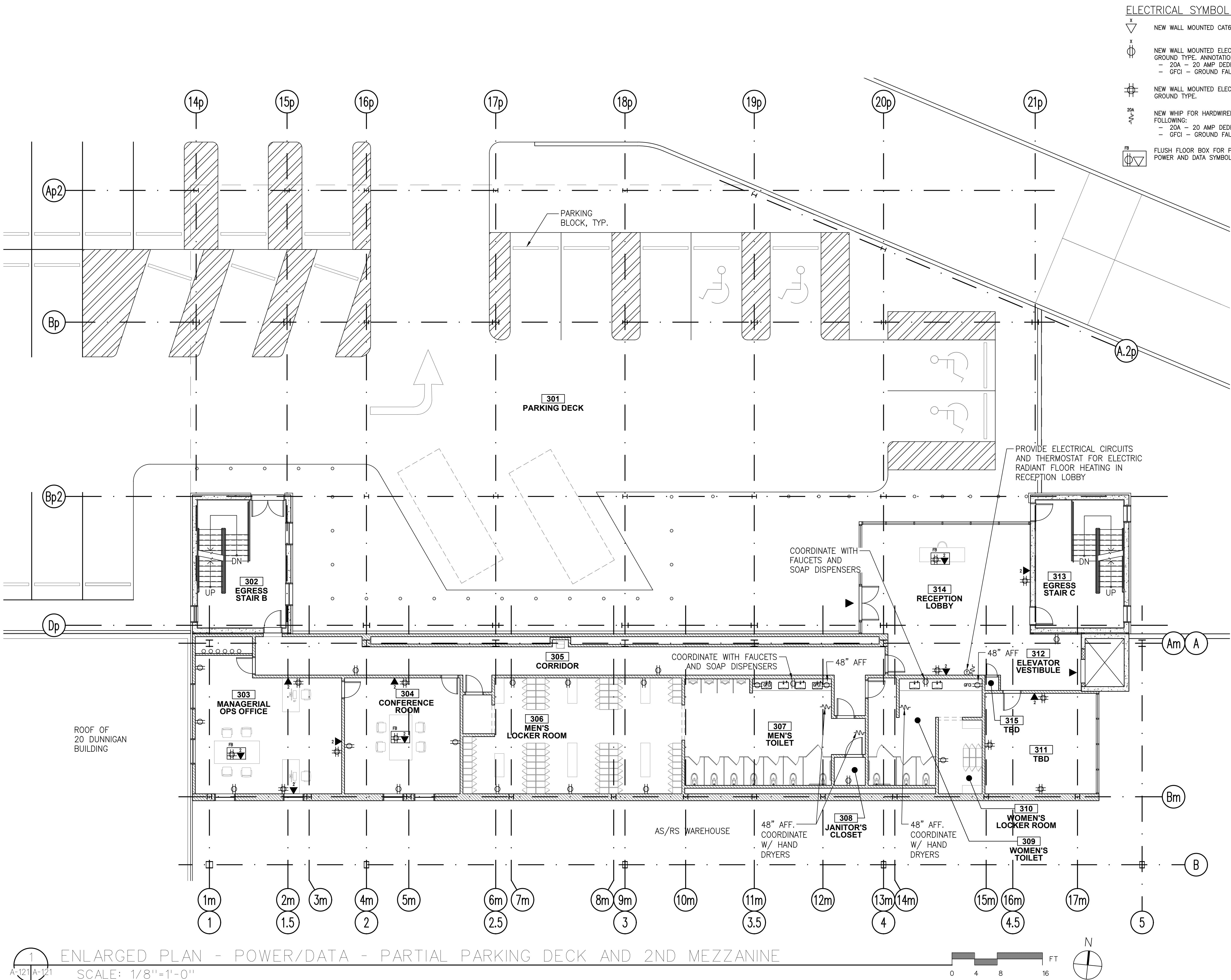
REV	DESCRIPTION	DATE
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CHECKED BY:	D. TOBAR, R.A.
APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**ENLARGED PLANS - POWER/DATA
- PARTIAL WAREHOUSE
AND 1ST MEZZANINE**

DWG NUMBER:

A-120



ELECTRICAL SYMBOL LEGEND:

- NEW WALL MOUNTED CAT6. NUMBER INDICATES QUANTITY
- NEW WALL MOUNTED ELECTRICAL DUPLEX OUTLET. 20-AMP, 120 VOLT, GROUND TYPE. ANNOTATION INDICATES THE FOLLOWING:
 - 20A - 20 AMP DEDICATED OUTLET
 - GFCI - GROUND FAULT CIRCUIT INTERRUPTER
- NEW WALL MOUNTED ELECTRICAL QUAD OUTLET. 20-AMP, 120 VOLT, GROUND TYPE.
- NEW WHIP FOR HARDWIRED DEVICE. ANNOTATION INDICATES THE FOLLOWING:
 - 20A - 20 AMP DEDICATED OUTLET
 - GFCI - GROUND FAULT CIRCUIT INTERRUPTER
- FLUSH FLOOR BOX FOR POWER AND DATA WITH BRASS TRIM. SEE POWER AND DATA SYMBOLS FOR ADDITIONAL INFORMATION.

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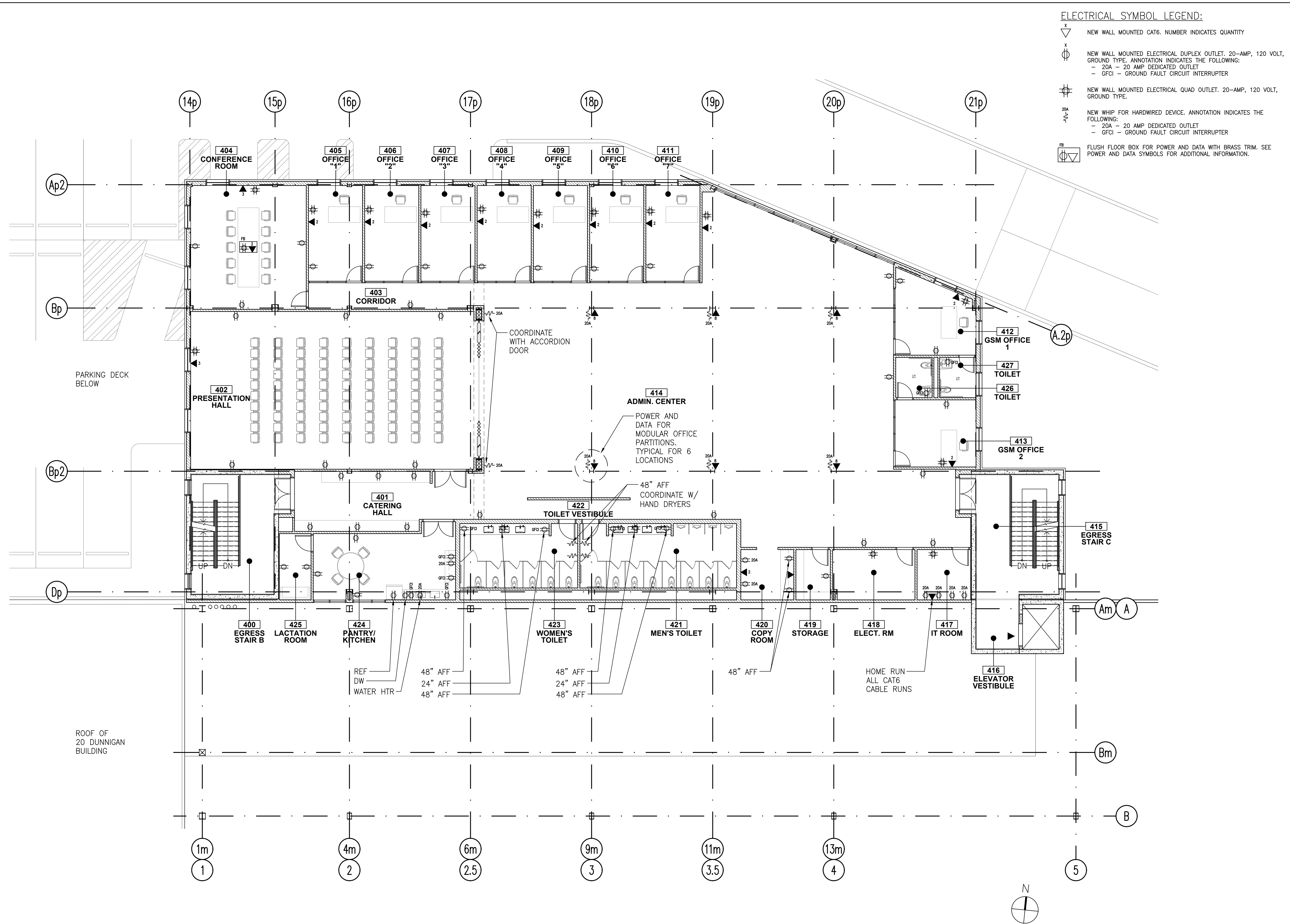
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APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
ENLARGED PLAN - POWER/DATA - PARTIAL PARKING DECK AND 2ND MEZZANINE

DWG NUMBER:
A-121



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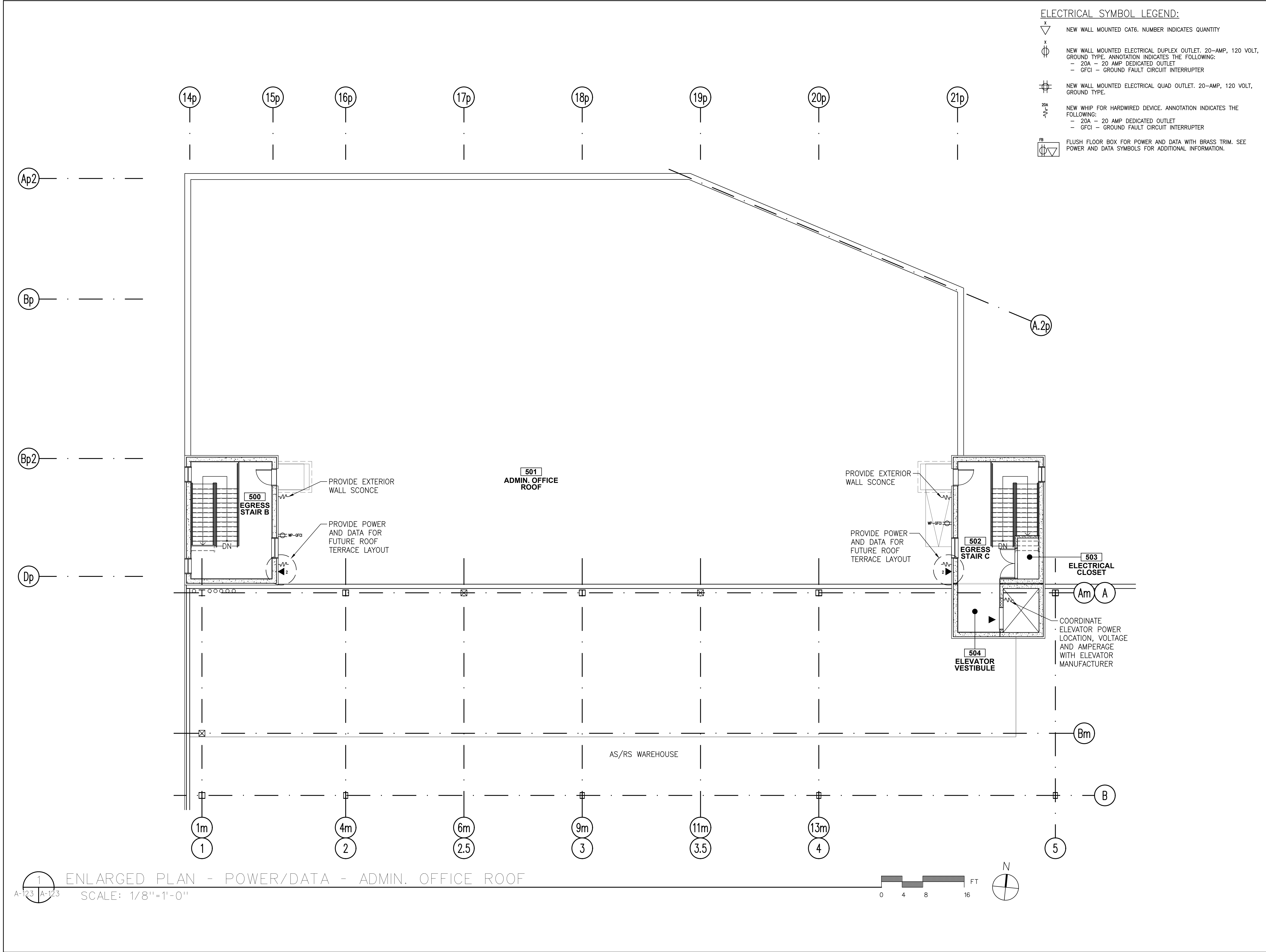
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-	ISSUED FOR CONSTRUCTION	11.30.21

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APPROVED BY: A. BERGER, R.A.
DATE: 07.30.2021
SCALE: AS NOTED

DRAWING TITLE:
**ENLARGED PLAN -
POWER/DATA -
ADMIN. OFFICE**

DWG NUMBER:
A-122



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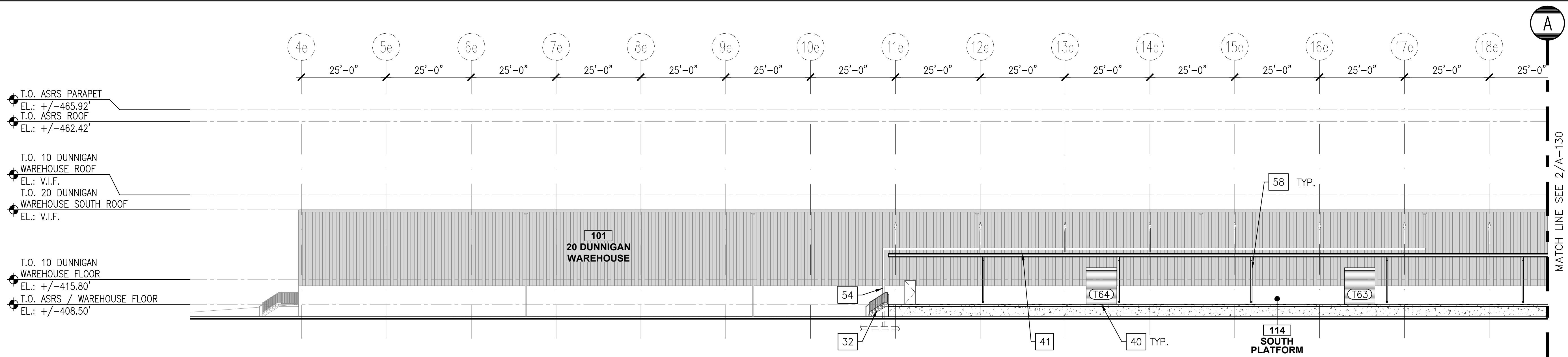
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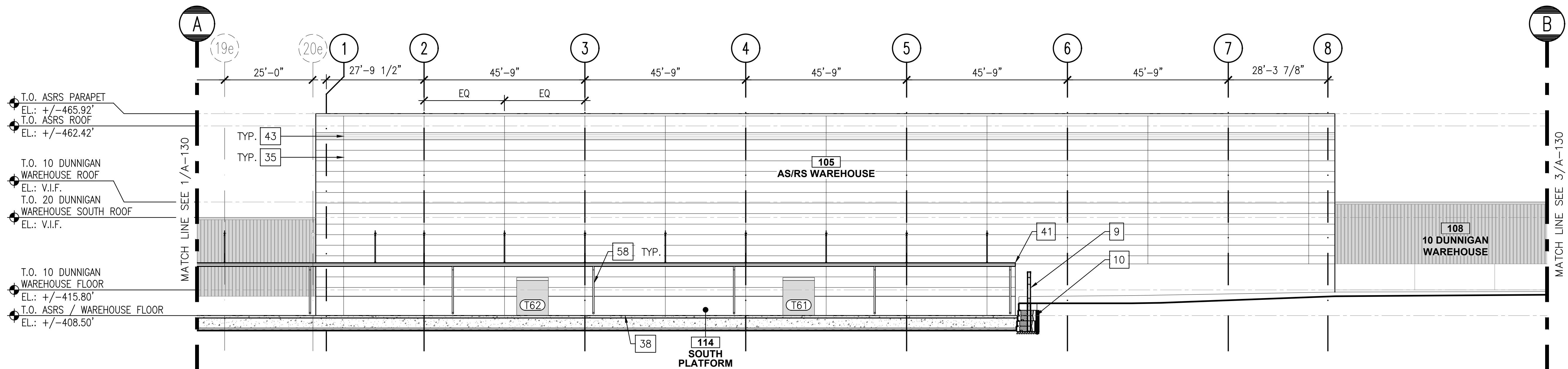
**ENLARGED PLAN -
POWER/DATA -
ADMIN. OFFICE ROOF**

DWG NUMBER:

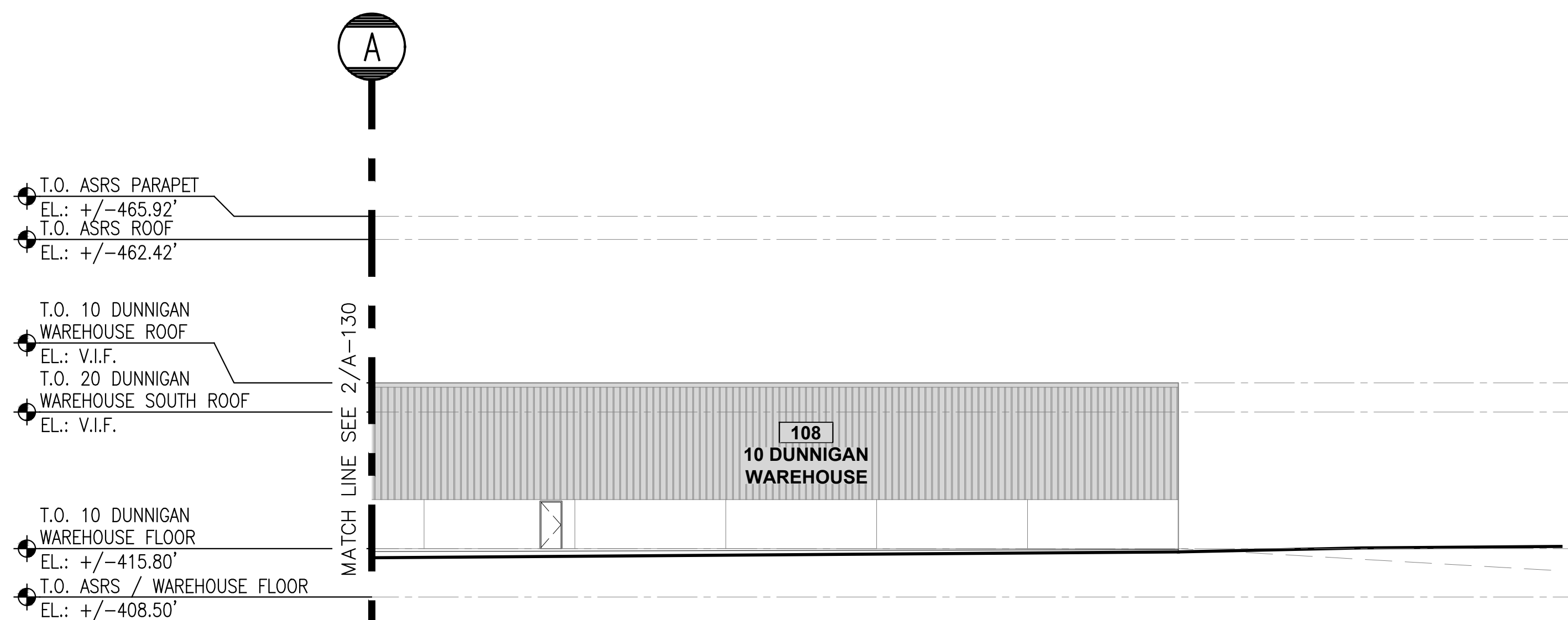
A-123



1 PARTIAL SOUTH ELEVATION
A-101/A-130 SCALE: 1/16"=1'-0"



2 PARTIAL SOUTH ELEVATION
A-101/A-130 SCALE: 1/16"=1'-0"



3 PARTIAL SOUTH ELEVATION
A-101/A-130 SCALE: 1/16"=1'-0"

LEGEND:

- NEW PLATFORM FLOOR
- CONCRETE REPAIR AT NEW LOADING DOCKS
- NEW PLATFORM ROOF
- NEW CORRUGATED METAL WALL
- EXISTING CORRUGATED METAL WALL
- NEW CONCRETE WALL

- EX — EXISTING COLUMN LINE
- NX — NEW COLUMN LINE

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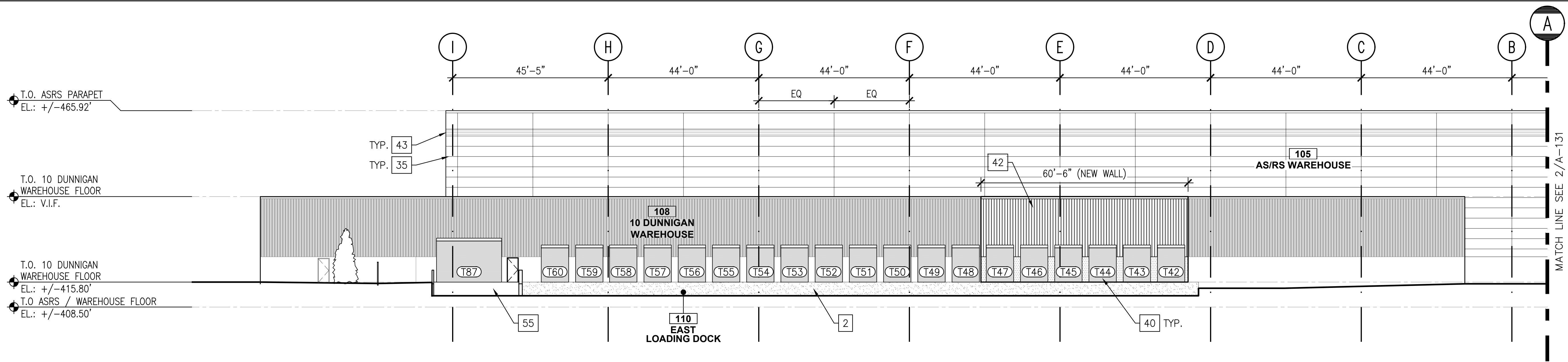
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-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
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APPROVED BY: A. BERGER, R.A.
DATE: 07.30.2021
SCALE: AS NOTED

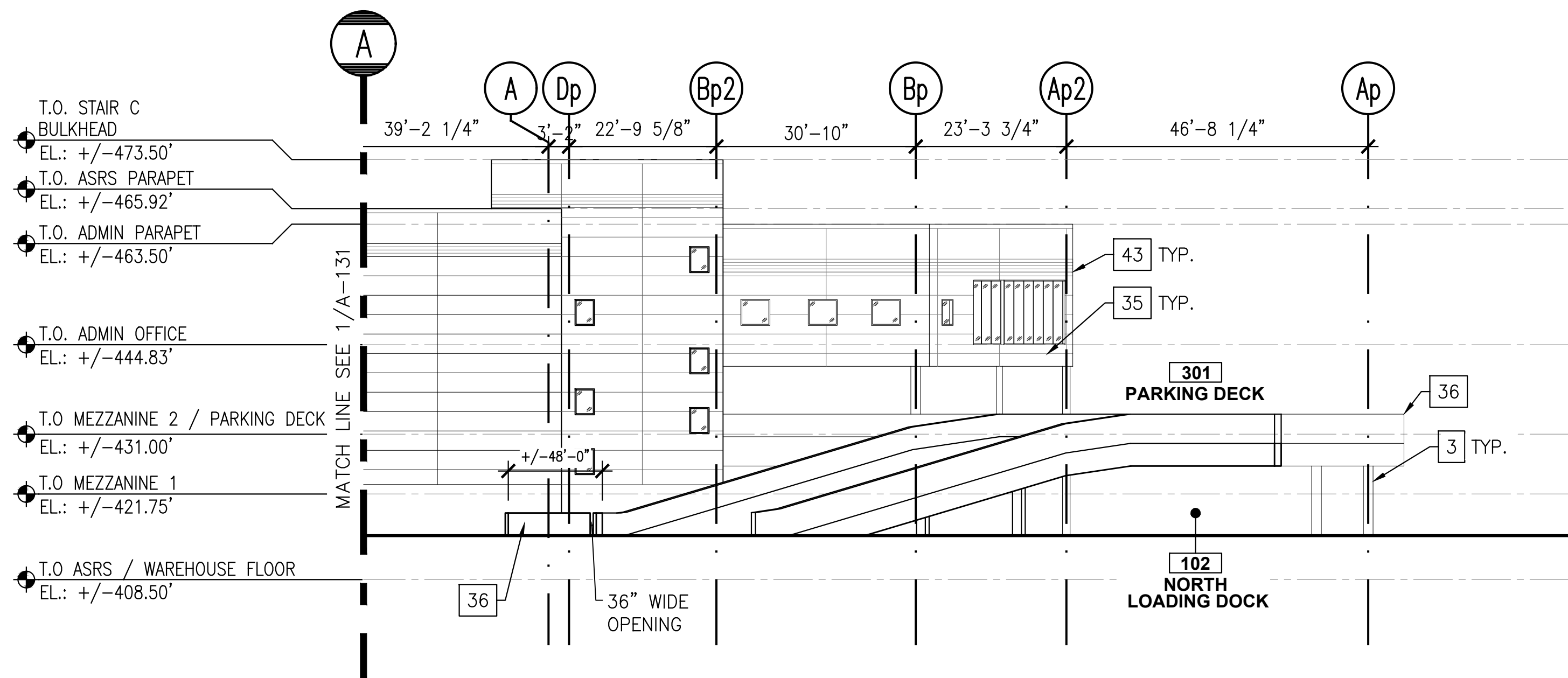
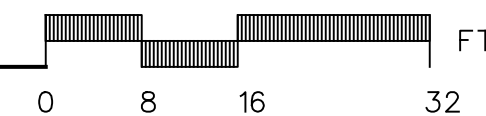
DRAWING TITLE:
**EXTERIOR ELEVATIONS
- SOUTH**

DWG NUMBER:

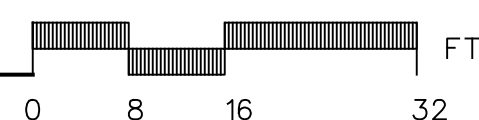
A-130



1 PARTIAL EAST ELEVATION
A-101 A-131 SCALE: 1/16"=1'-0"



2 PARTIAL EAST ELEVATION
A-101 A-131 SCALE: 1/16"=1'-0"



LEGEND:

- NEW PLATFORM FLOOR
- CONCRETE REPAIR AT NEW LOADING DOCKS
- NEW PLATFORM ROOF
- NEW CORRUGATED METAL WALL
- EXISTING CORRUGATED METAL WALL
- NEW CONCRETE WALL
- EXISTING COLUMN LINE
- NEW COLUMN LINE

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SCALE :	AS NOTED



DRAWING TITLE :

**EXTERIOR ELEVATIONS
- EAST**

DWG NUMBER :

A-131



 — EXISTING COLUMN LINE
 — NEW COLUMN LINE

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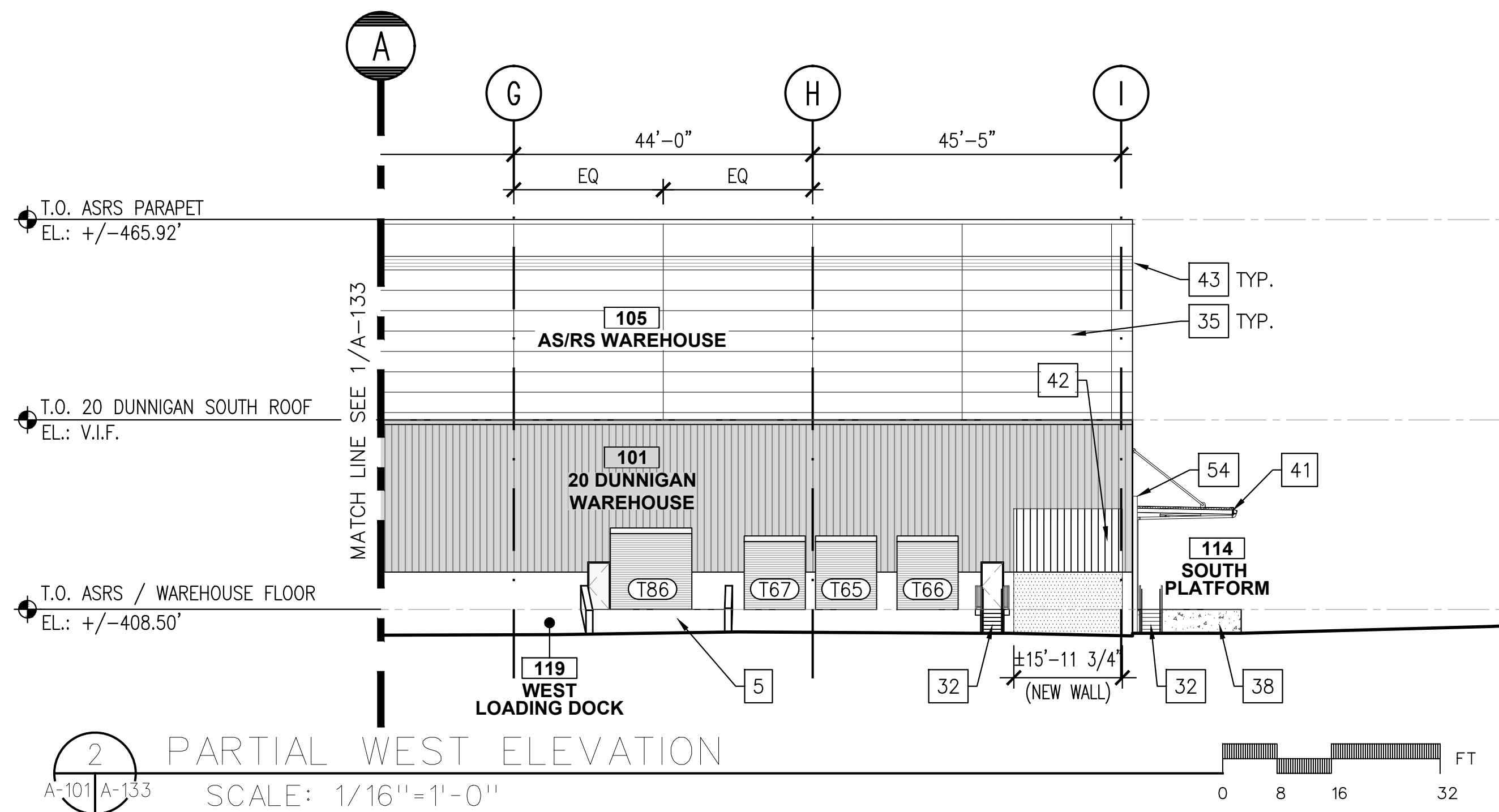
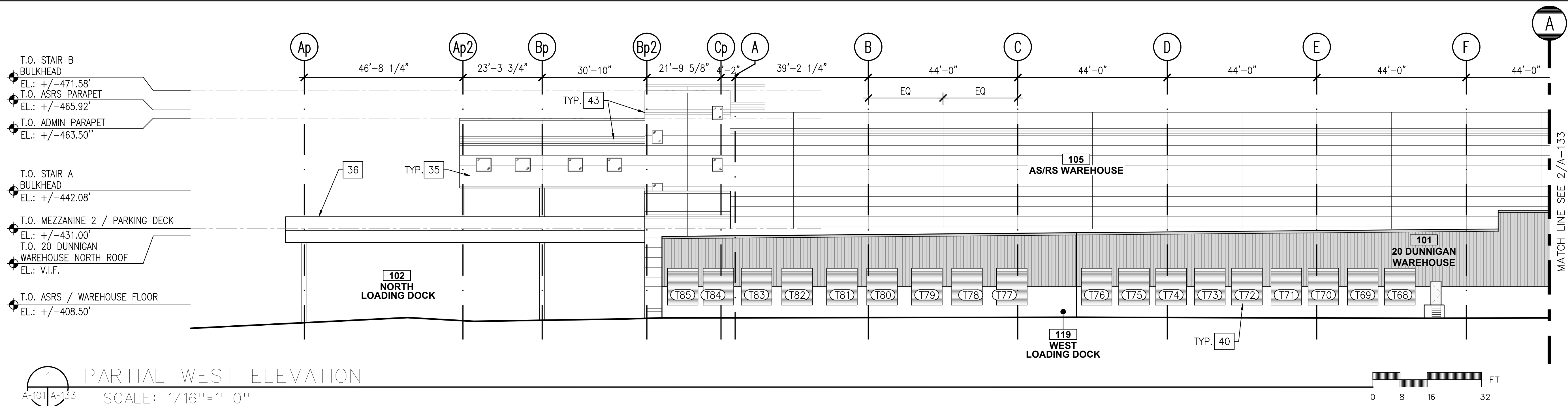
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DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE :

EXTERIOR ELEVATIONS
- NORTH

DWG NUMBER :

A-132



LEGEND:

- NEW PLATFORM FLOOR
- CONCRETE REPAIR AT NEW LOADING DOCKS
- NEW PLATFORM ROOF
- NEW CORRUGATED METAL WALL
- EXISTING CORRUGATED METAL WALL
- NEW CONCRETE WALL
- EXISTING COLUMN LINE
- NEW COLUMN LINE

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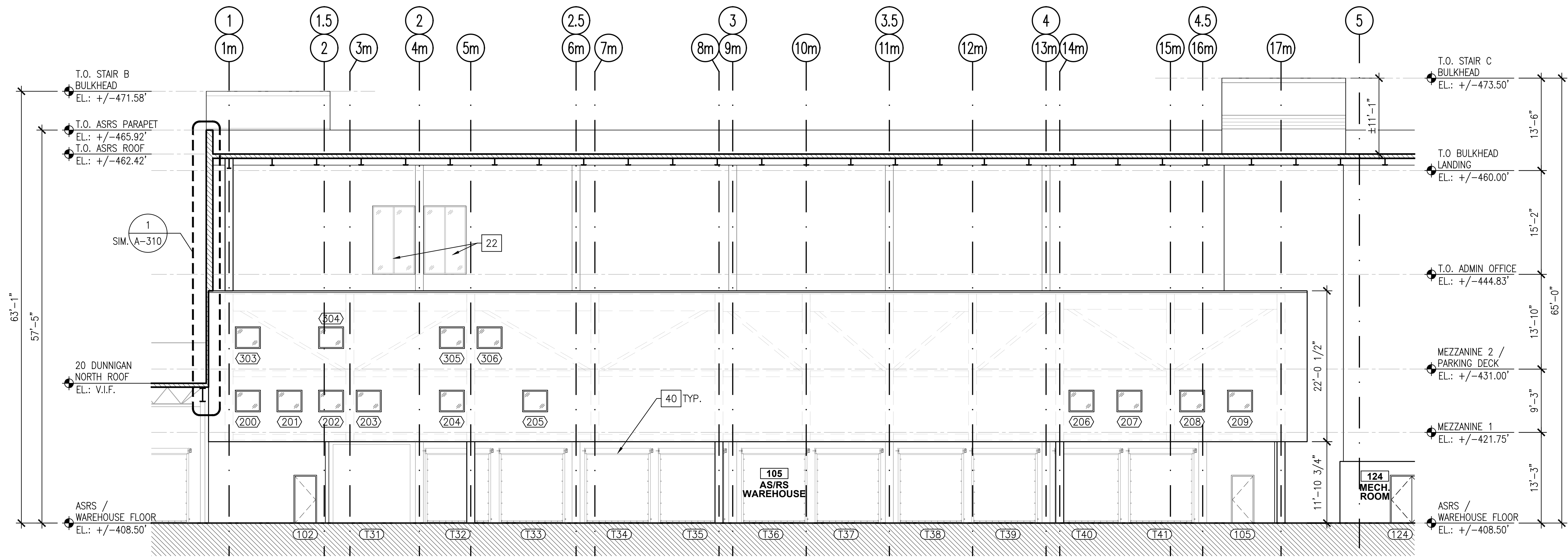
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DATE :	07.30.2021
SCALE :	AS NOTED

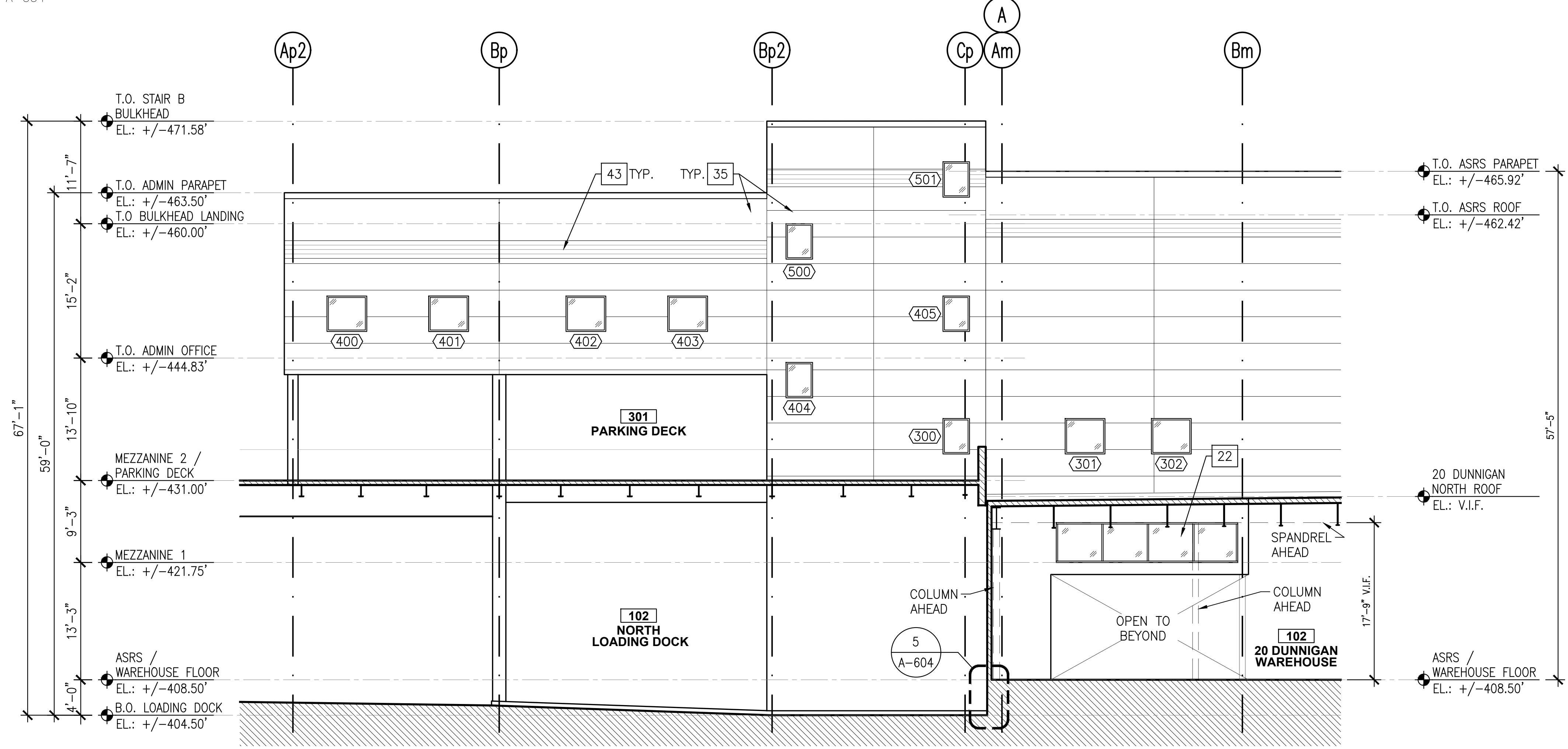
DRAWING TITLE :
**EXTERIOR ELEVATIONS
- WEST**

DWG NUMBER :

A-133



1 ENLARGED EXTERIOR ELEVATION @ MEZZANINE AND ADMIN. OFFICE SOUTH WALL
SCALE: 1/8"=1'-0"



2 ENLARGED EXTERIOR ELEVATION @ MEZZANINE AND ADMIN. OFFICE WEST WALL
SCALE: 1/8"=1'-0"

- LEGEND:**
- NEW CONCRETE WALL AT LOADING DOCK
 - CONCRETE REPAIR AT NEW LOADING DOCKS
 - NEW CORRUGATED METAL WALL
 - EXISTING CORRUGATED METAL WALL
 - 4" THICK INSULATED METAL WALL PANELS BY CENTRIA
 - 4" THICK INSULATED CORRUGATED METAL WALL PANELS BY CENTRIA
 - EXISTING COLUMN LINE
 - NEW COLUMN LINE

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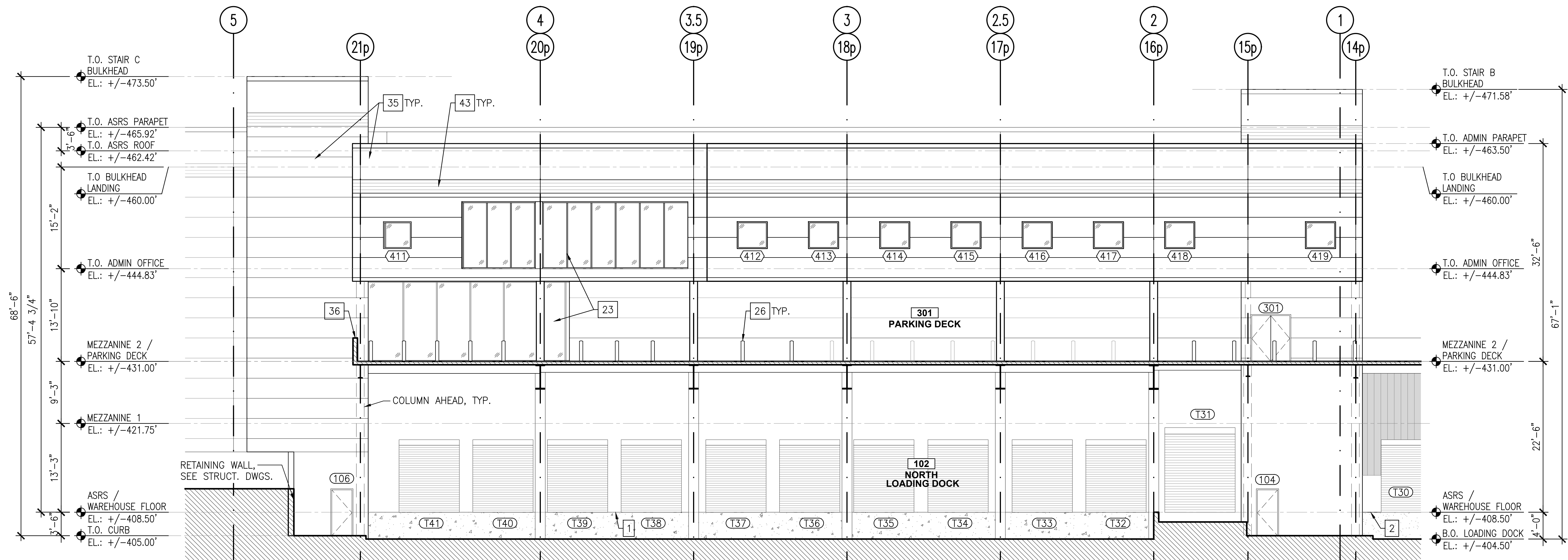
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DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**ENLARGED EXTERIOR
ELEVATIONS - OFFICES
AND STAIRS (1 OF 3)**

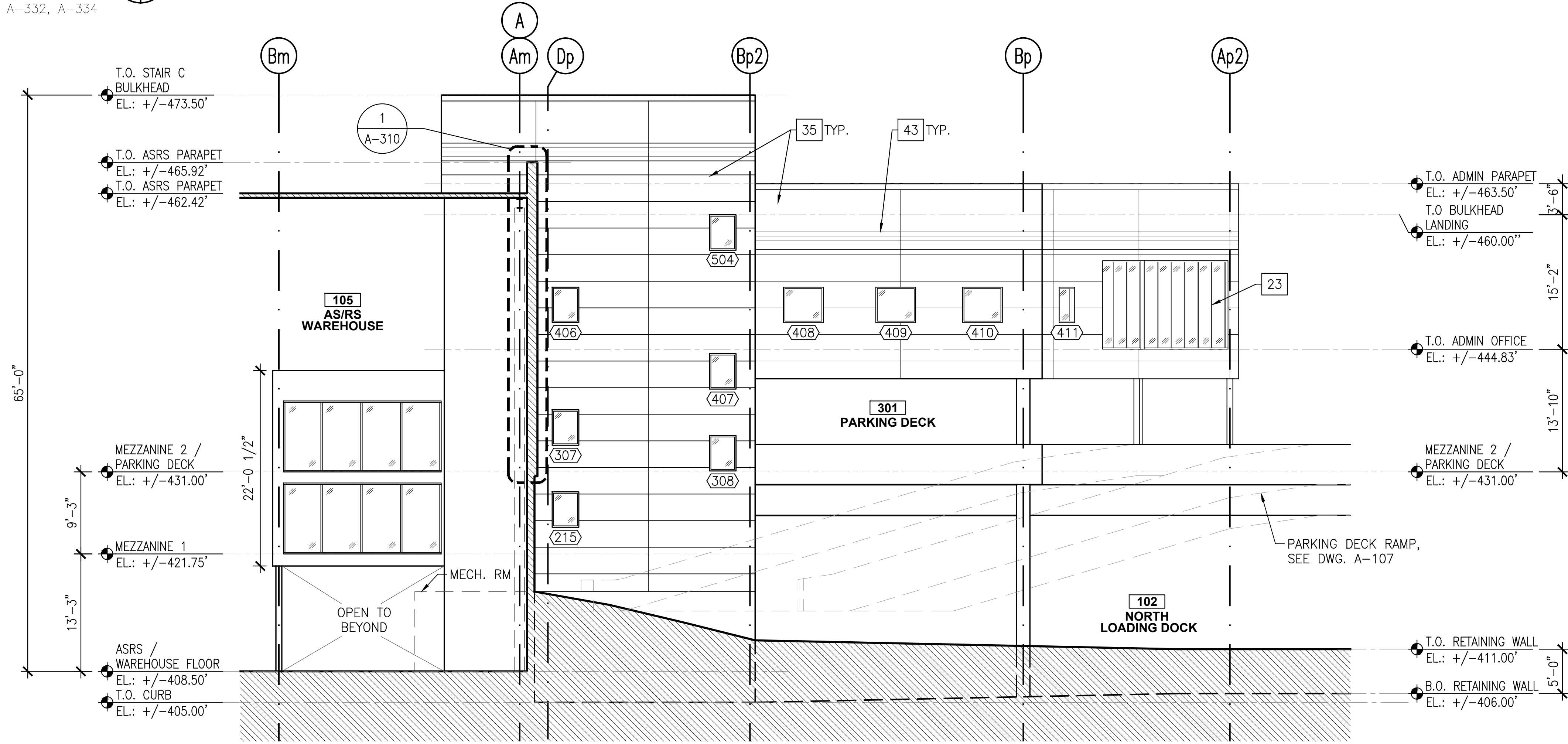
DWG NUMBER:

A-134



A-101, A-102, A-103, A-104, A-105, A-200, A-332, A-334

1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



A-101, A-102, A-103, A-104, A-105, A-334

2 EAST ELEVATION
SCALE: 1/8"=1'-0"

LEGEND:

	NEW CONCRETE WALL AT LOADING DOCK
	CONCRETE REPAIR AT NEW LOADING DOCKS
	NEW CORRUGATED METAL WALL
	EXISTING CORRUGATED METAL WALL
	4" THICK INSULATED METAL WALL PANELS BY CENTRIA
	4" THICK INSULATED CORRUGATED METAL WALL PANELS BY CENTRIA

	EXISTING COLUMN LINE
	NEW COLUMN LINE

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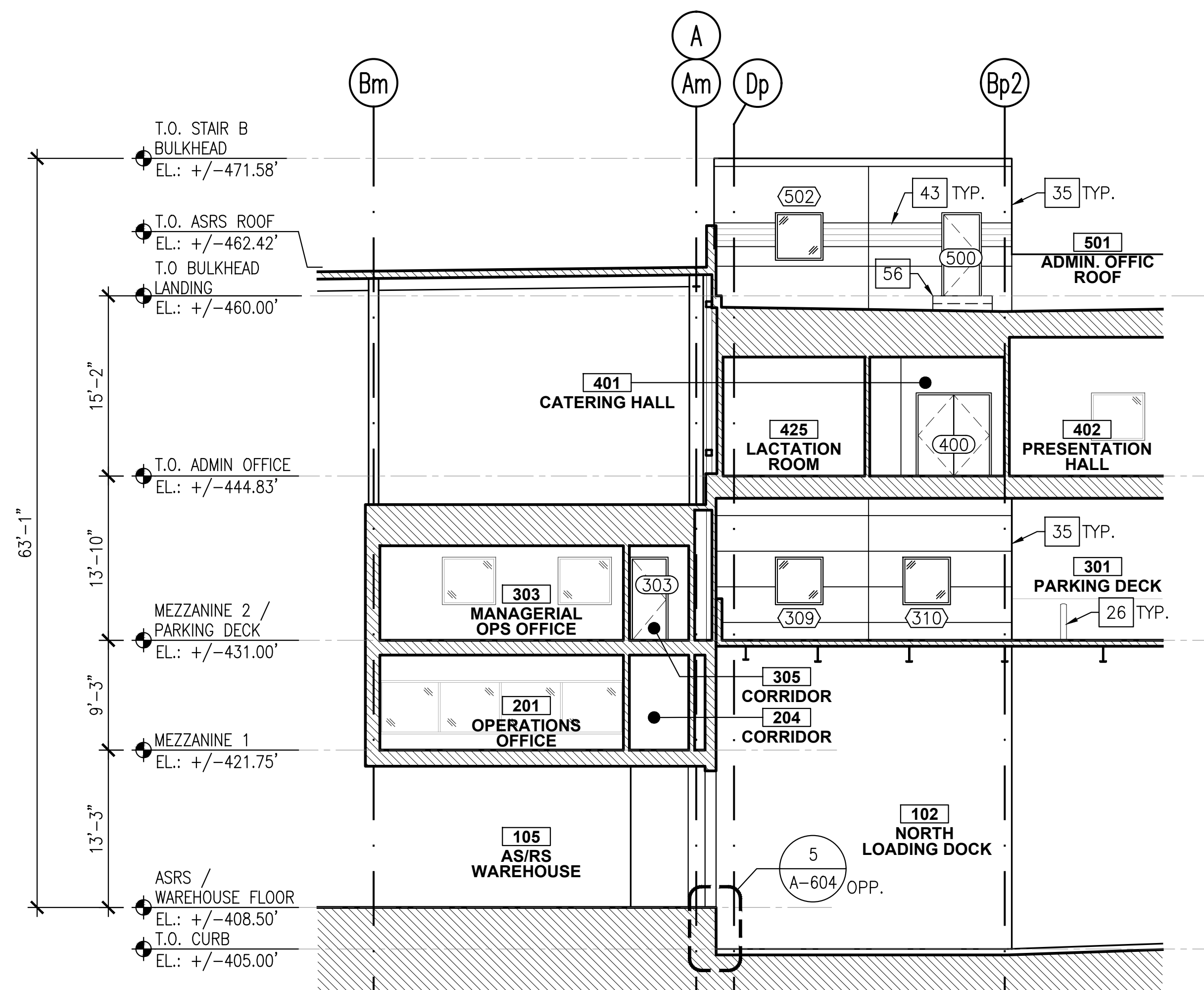
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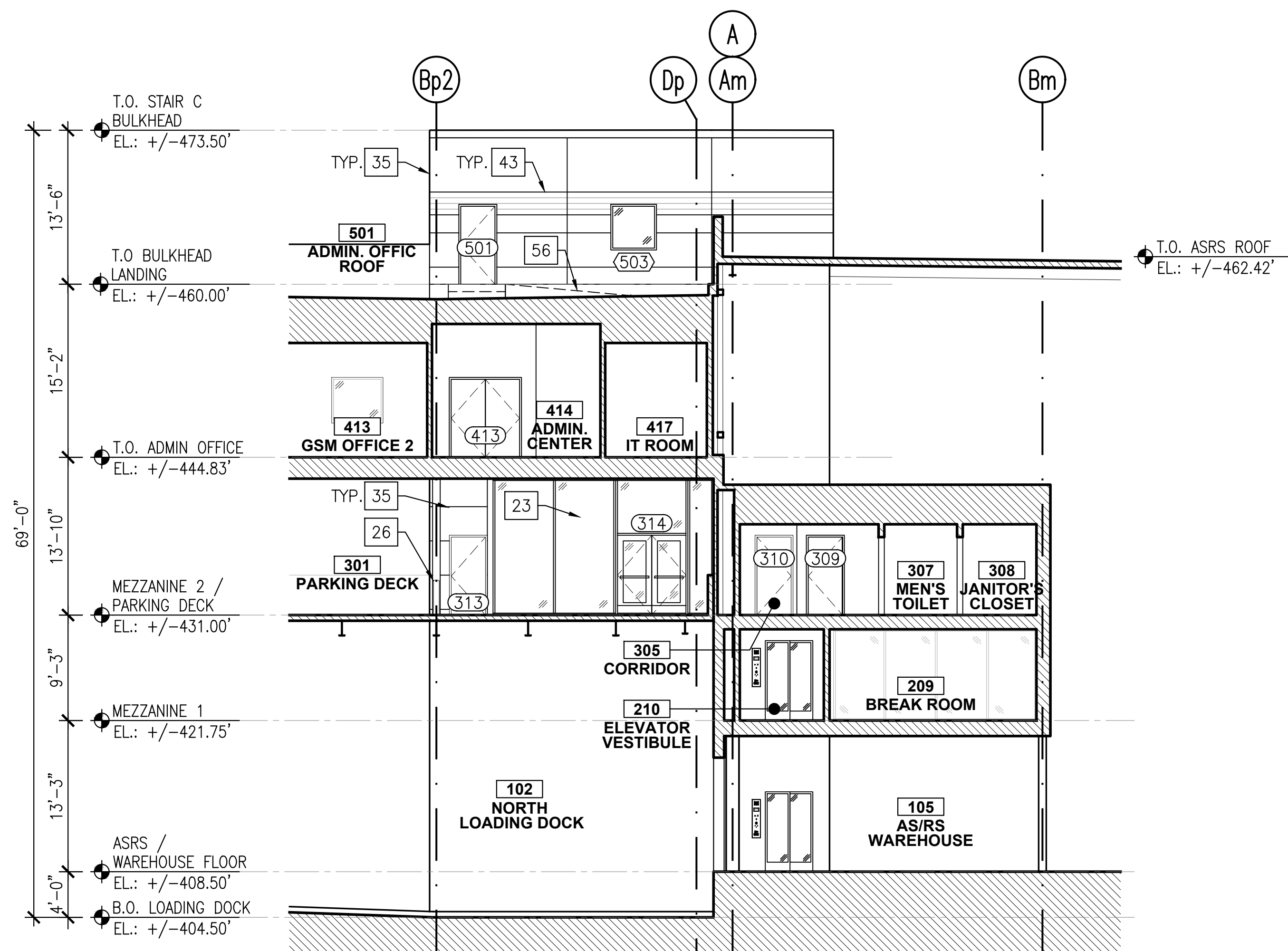
DRAWING TITLE:
**ENLARGED EXTERIOR
ELEVATIONS - OFFICES
AND STAIRS (2 OF 3)**

DWG NUMBER:

A-135



1 STAIR B EAST ELEVATION
SCALE: 1/8"=1'-0"
A-102, A-103, A-105, A-332



1 STAIR C WEST ELEVATION
SCALE: 1/8"=1'-0"
A-102, A-103, A-105, A-334

LEGEND:

- NEW CONCRETE WALL AT LOADING DOCK
- CONCRETE REPAIR AT NEW LOADING DOCKS
- NEW CORRUGATED METAL WALL
- EXISTING CORRUGATED METAL WALL
- 4" THICK INSULATED METAL WALL PANELS BY CENTRIA
- 4" THICK INSULATED CORRUGATED METAL WALL PANELS BY CENTRIA

- EX — EXISTING COLUMN LINE
- NX — NEW COLUMN LINE

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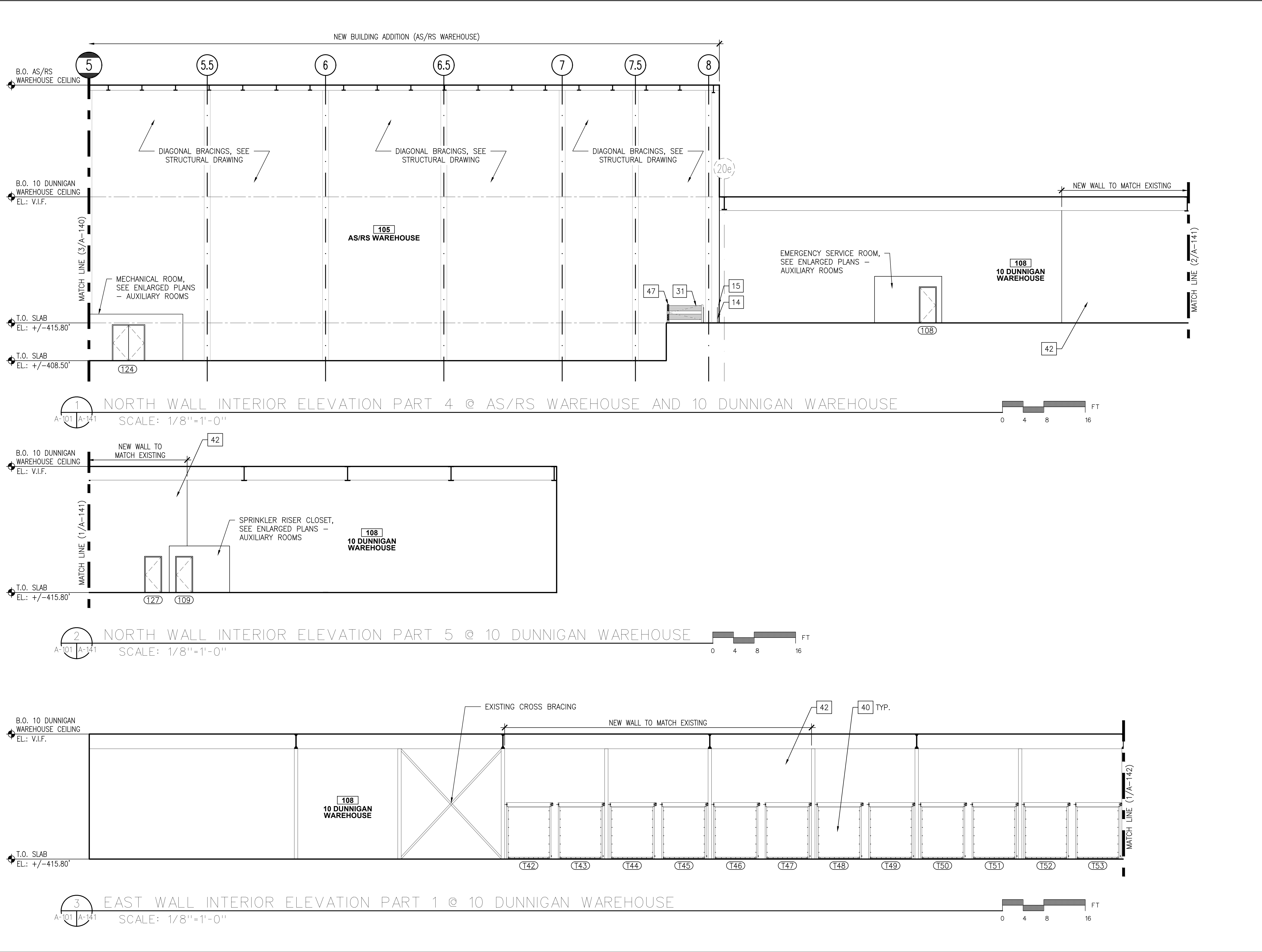
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**ENLARGED EXTERIOR
ELEVATIONS - OFFICES
AND STAIRS (3 OF 3)**

DWG NUMBER :

A-136



A-140



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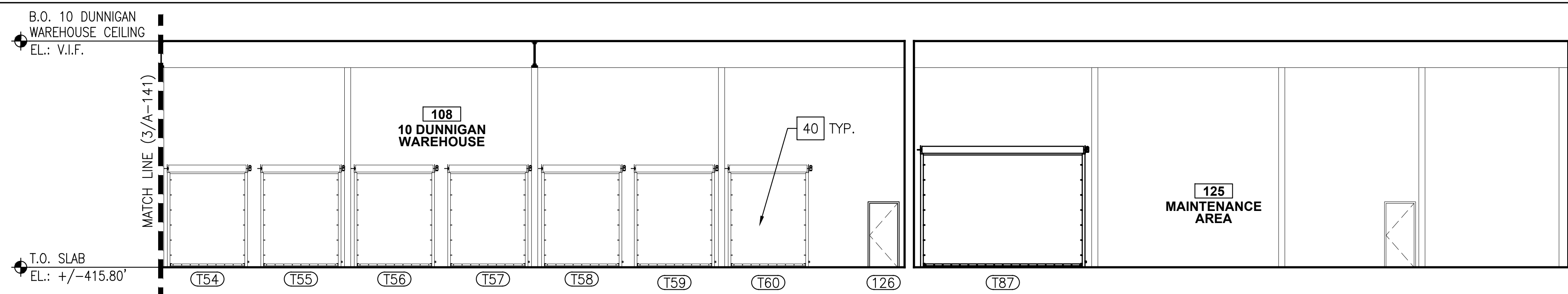
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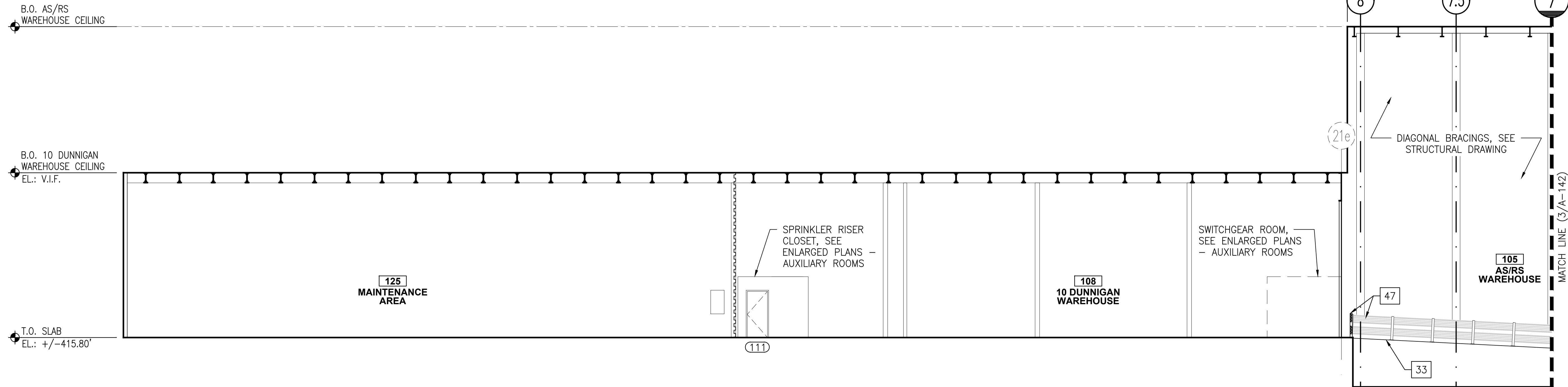
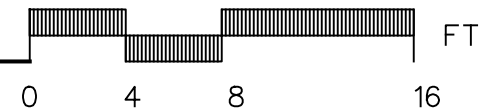
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DRAWING TITLE :
INTERIOR ELEVATIONS
- WAREHOUSE
(2 OF 5)

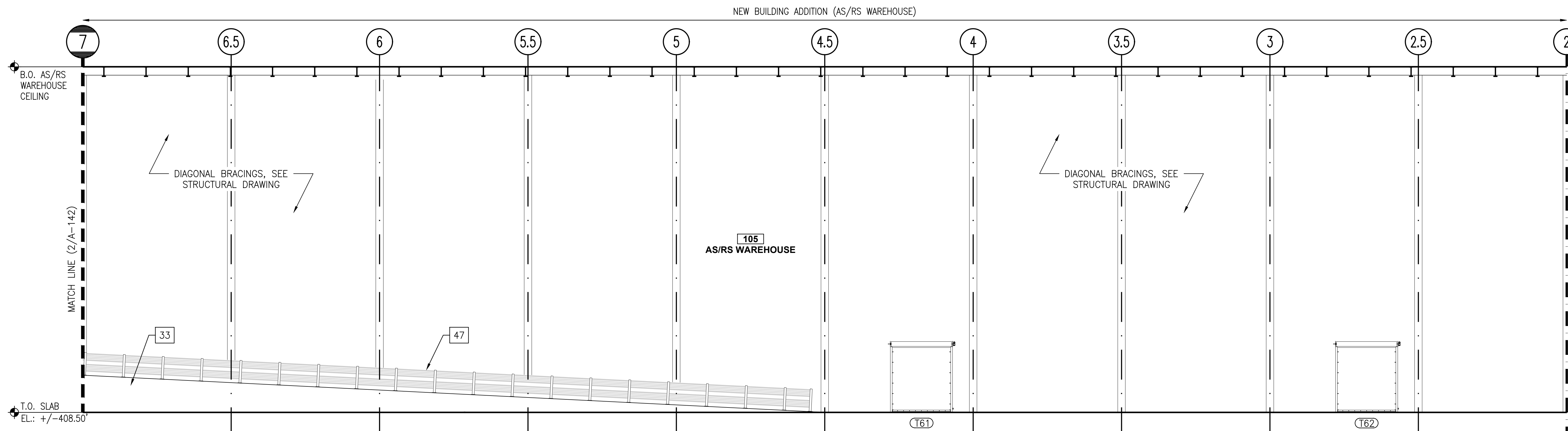
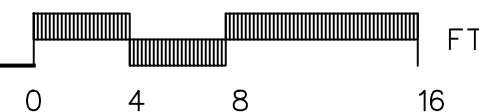
DWG NUMBER :
A-141



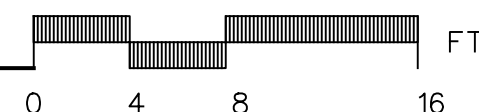
1 EAST WALL INTERIOR ELEVATION PART 2 @ 10 DUNNIGAN WAREHOUSE
SCALE: 1/8"=1'-0"



2 SOUTH WALL INTERIOR ELEVATION PART 1 @ 10 DUNNIGAN WAREHOUSE AND AS/RS WAREHOUSE
SCALE: 1/8"=1'-0"



3 SOUTH WALL INTERIOR ELEVATION PART 2 @ AS/RS WAREHOUSE
SCALE: 1/8"=1'-0"



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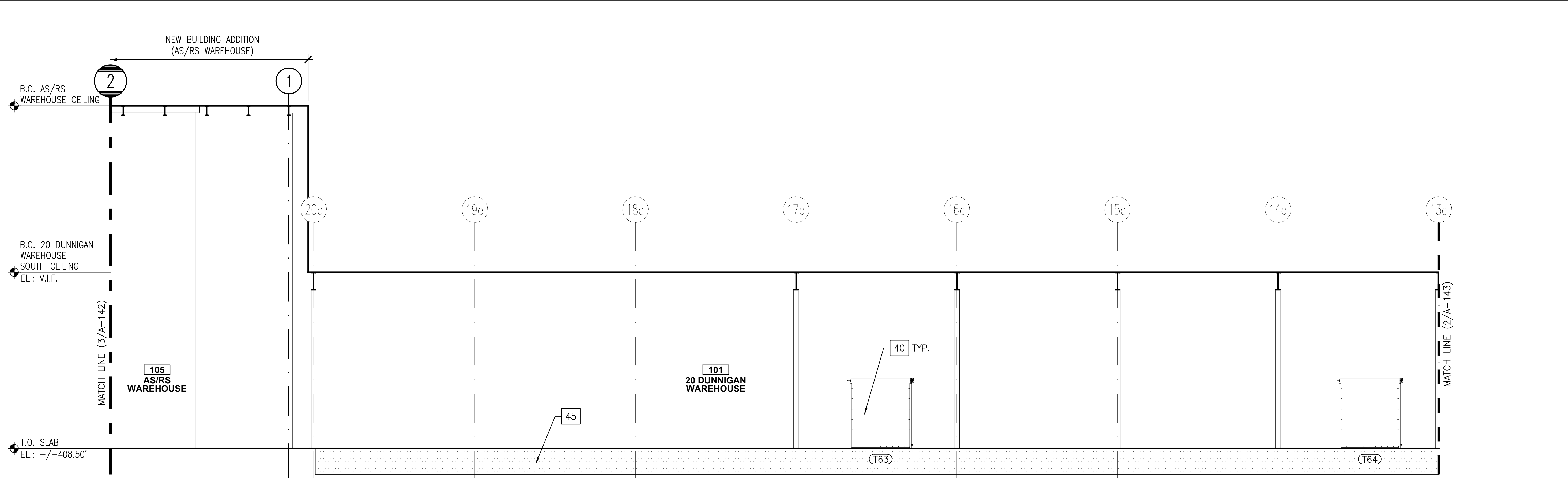
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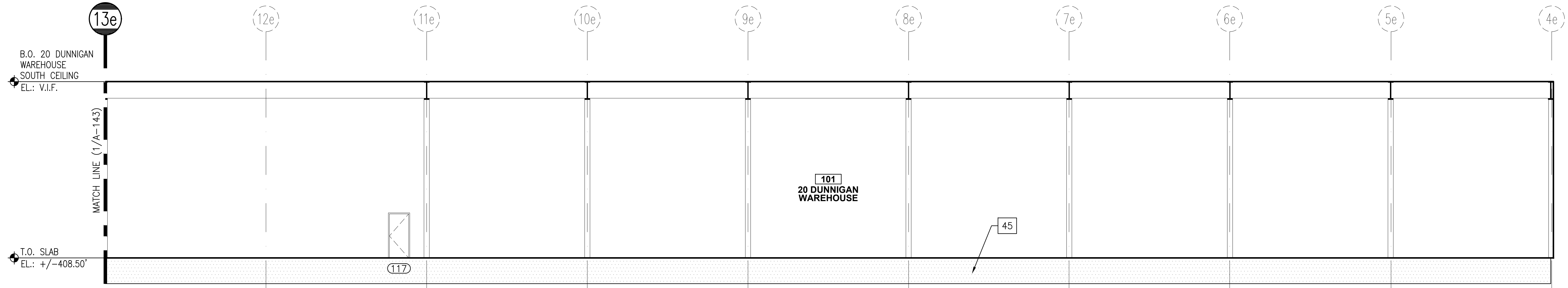
DRAWING TITLE:
**INTERIOR ELEVATIONS
- WAREHOUSE
(3 OF 5)**

DWG NUMBER:

A-142



1 SOUTH WALL INTERIOR ELEVATION PART 3 @ AS/RS WAREHOUSE AND 20 DUNNIGAN WAREHOUSE
SCALE: 1/8"=1'-0"



2 SOUTH WALL INTERIOR ELEVATION PART 4 @ 20 DUNNIGAN WAREHOUSE
SCALE: 1/8"=1'-0"

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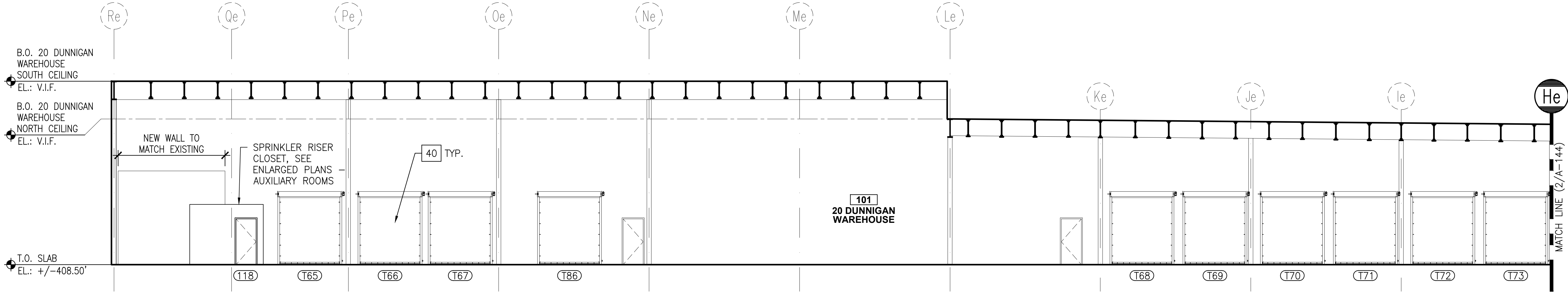
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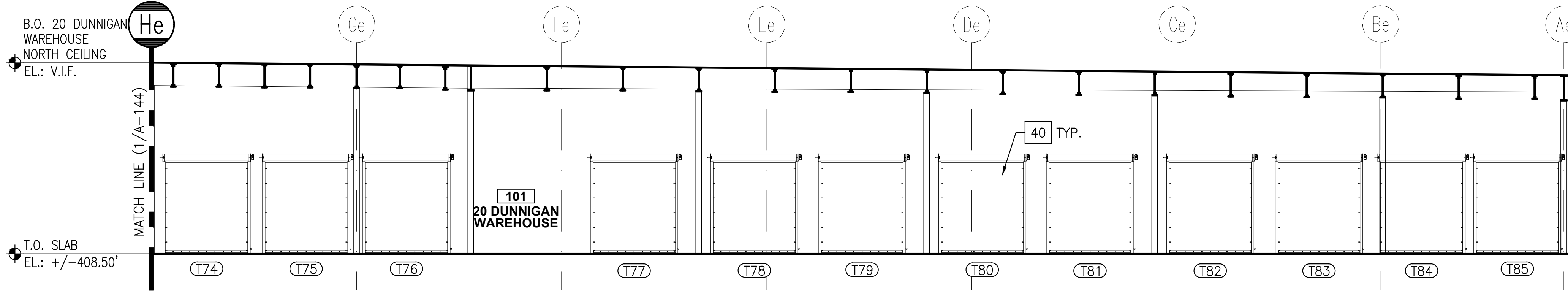
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DRAWING TITLE :
**INTERIOR ELEVATIONS
- WAREHOUSE
(4 OF 5)**

DWG NUMBER :
A-143



1 WEST WALL INTERIOR ELEVATION PART 1 @ 20 DUNNIGAN WAREHOUSE
A-101 A-144 SCALE: 1/8"=1'-0"



2 WEST WALL INTERIOR ELEVATION PART 2 @ 20 DUNNIGAN WAREHOUSE
A-101 A-144 SCALE: 1/8"=1'-0"

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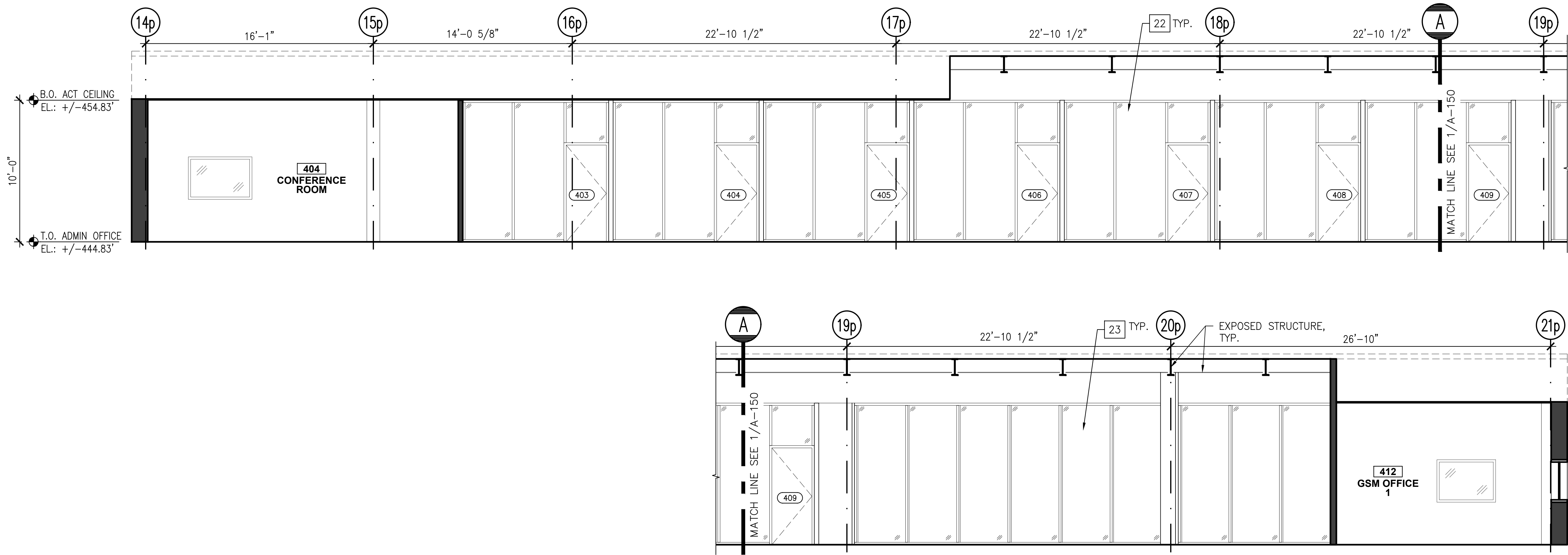
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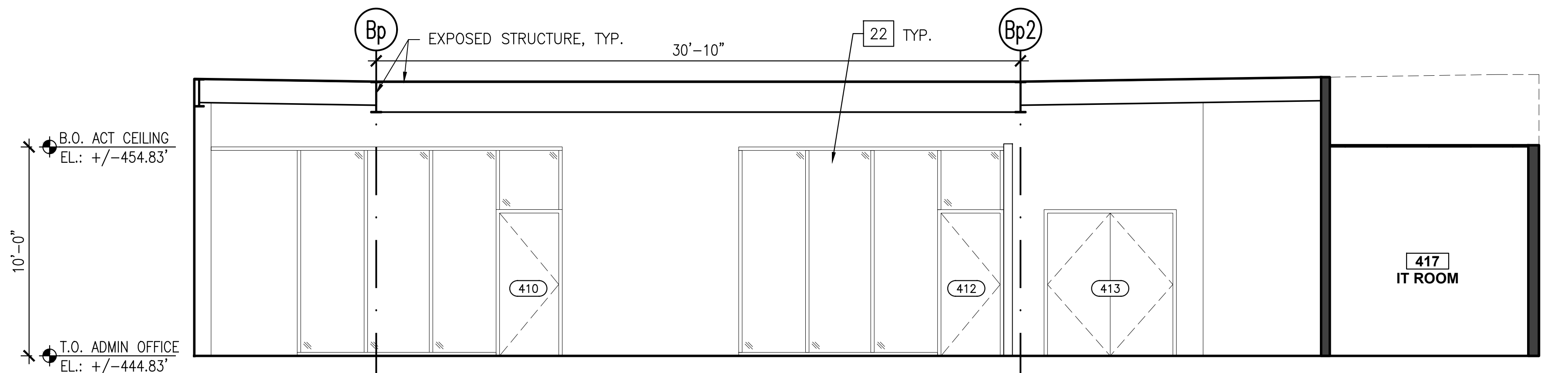
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SCALE :	AS NOTED

DRAWING TITLE :
INTERIOR ELEVATIONS
- WAREHOUSE
(5 OF 5)

DWG NUMBER :
A-144



1 ADMIN. OFFICE SOUTH FACING INTERIOR ELEVATION
A-104 A-150 SCALE: 1/4"=1'-0"



2 ADMIN. OFFICE WEST FACING INTERIOR ELEVATION
A-104 A-150 SCALE: 1/4"=1'-0"

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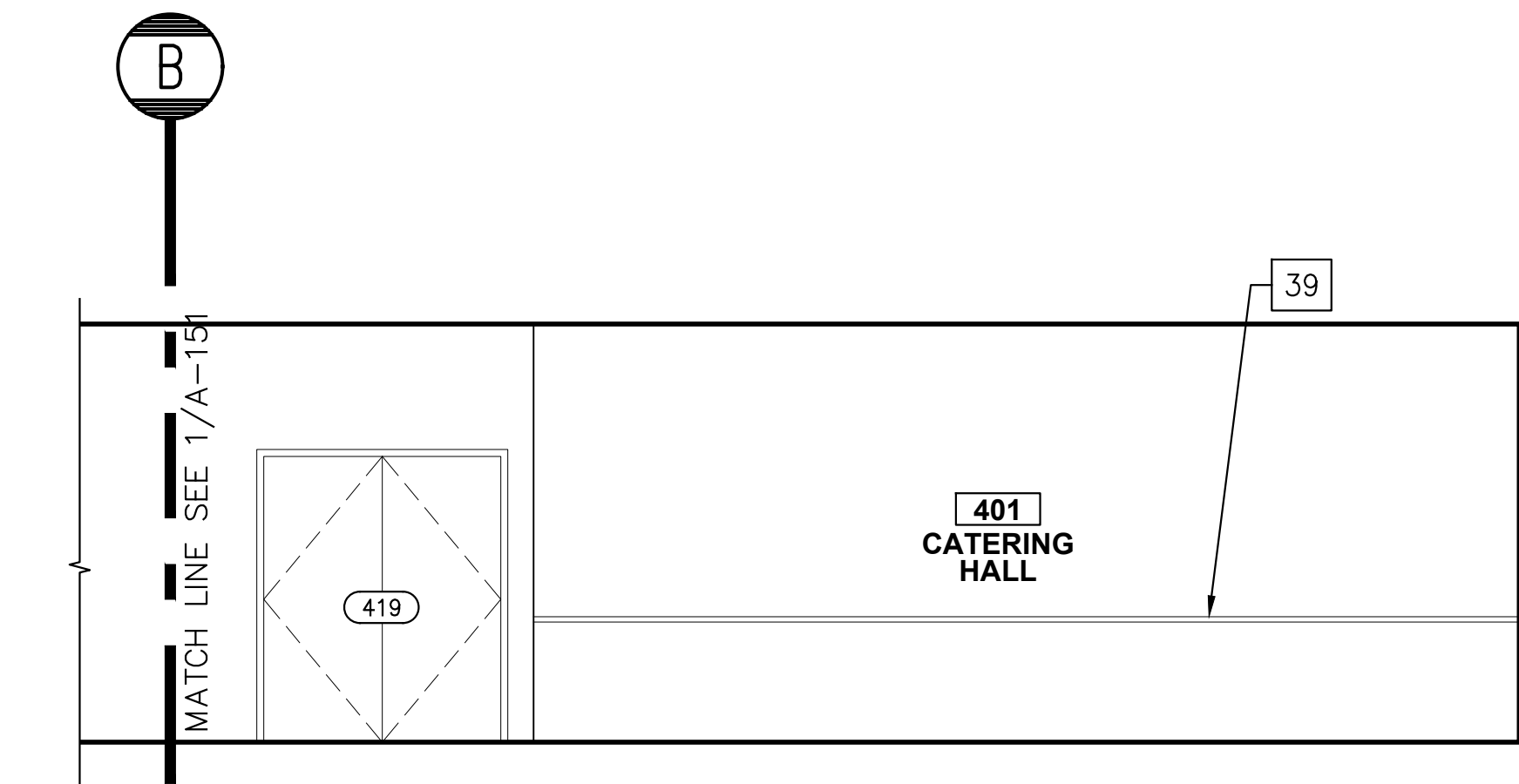
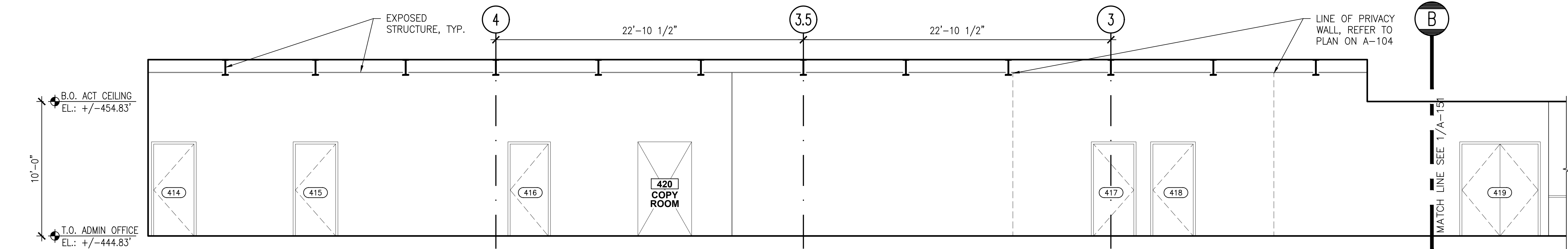
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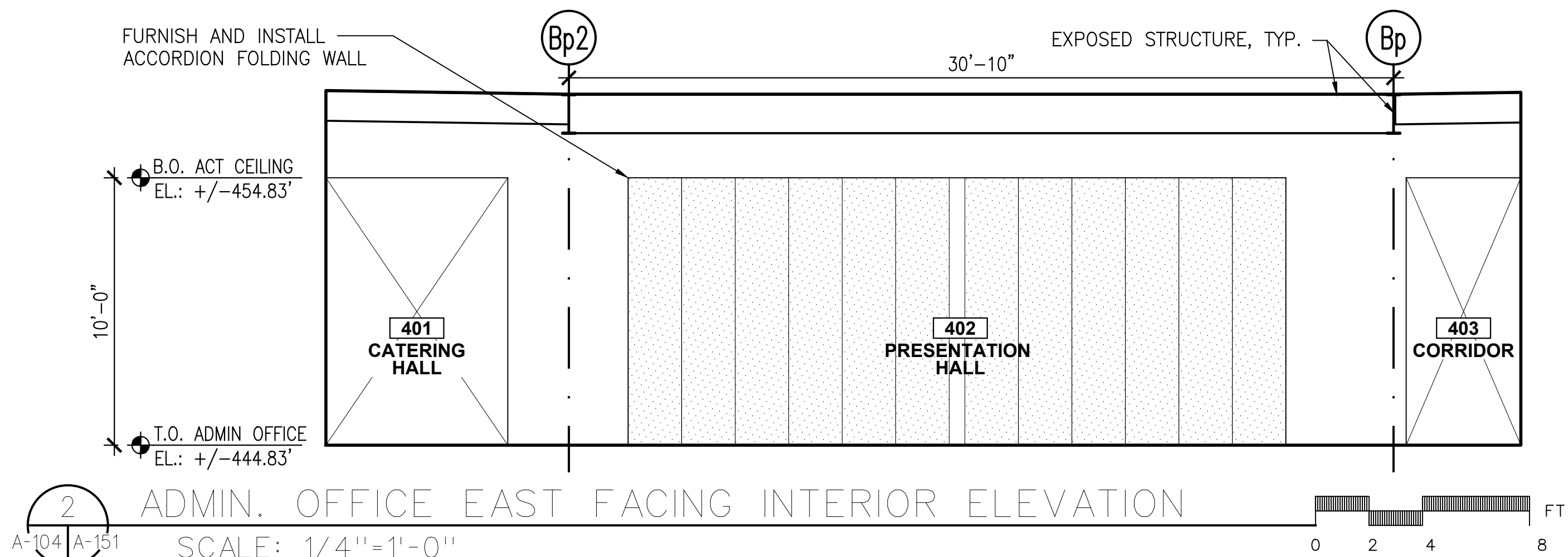
DRAWING TITLE :
**INTERIOR ELEVATIONS -
ADMIN. OFFICE
(1 OF 2)**

DWG NUMBER :

A-150



1 ADMIN. OFFICE NORTH FACING INTERIOR ELEVATION
SCALE: 1/4"=1'-0"



2 ADMIN. OFFICE EAST FACING INTERIOR ELEVATION
SCALE: 1/4"=1'-0"

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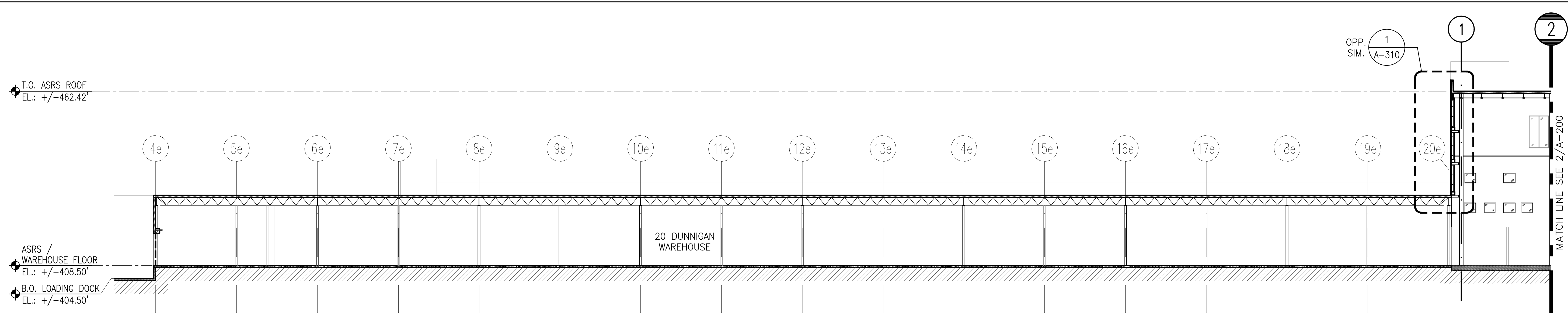
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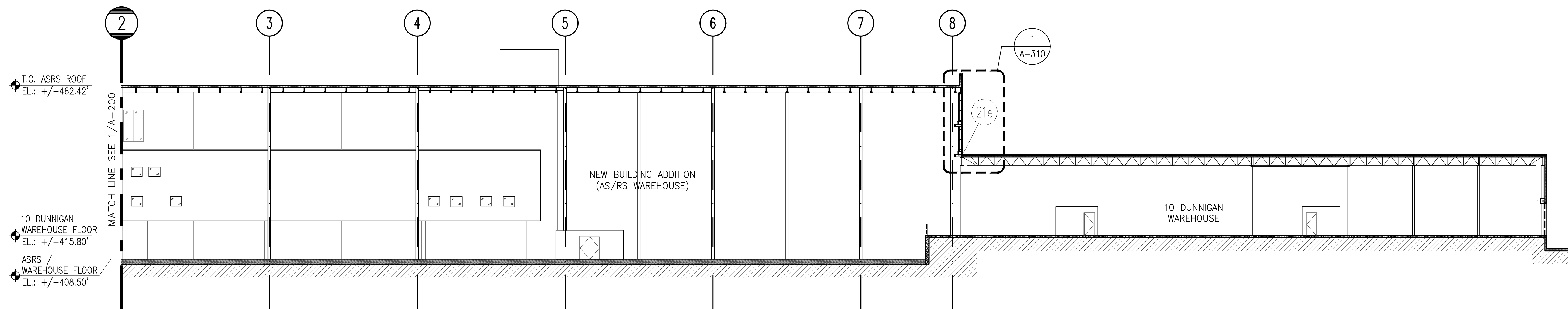
DRAWING TITLE :
**INTERIOR ELEVATIONS -
ADMIN. OFFICE
(2 OF 2)**

DWG NUMBER :

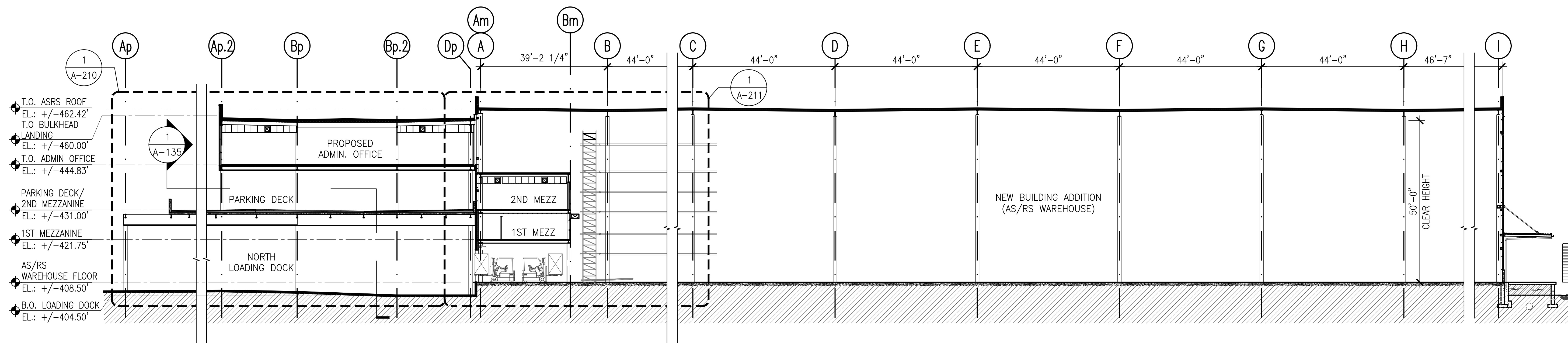
A-151



1 BUILDING SECTION - LONGITUDINAL 1A
A-101 A-200 SCALE: 1/16"=1'-0"



2 BUILDING SECTION - LONGITUDINAL 1B
A-101 A-200 SCALE: 1/16"=1'-0"



3 BUILDING SECTION - TRANSVERSE 1
A-101 A-200 SCALE: 1/16"=1'-0"

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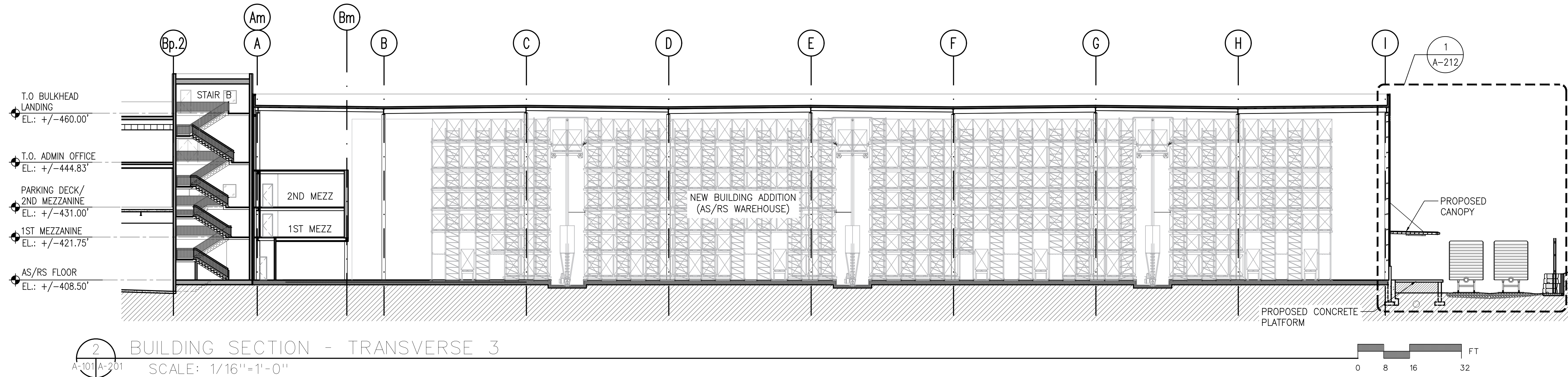
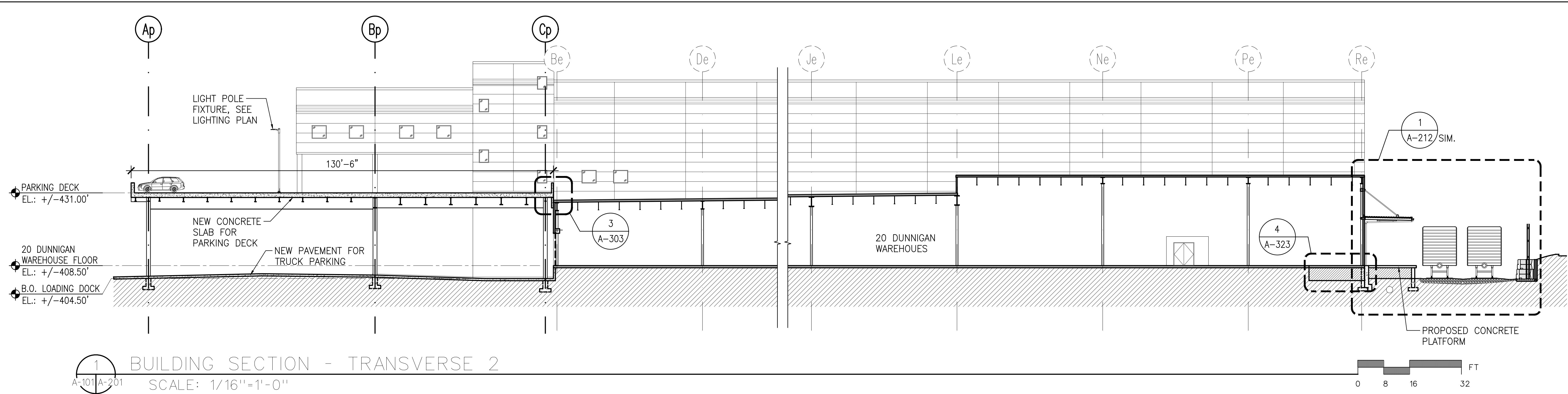
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DRAWING TITLE :
**BUILDING SECTIONS -
OVERALL (1 OF 2)**

DWG NUMBER :
A-200



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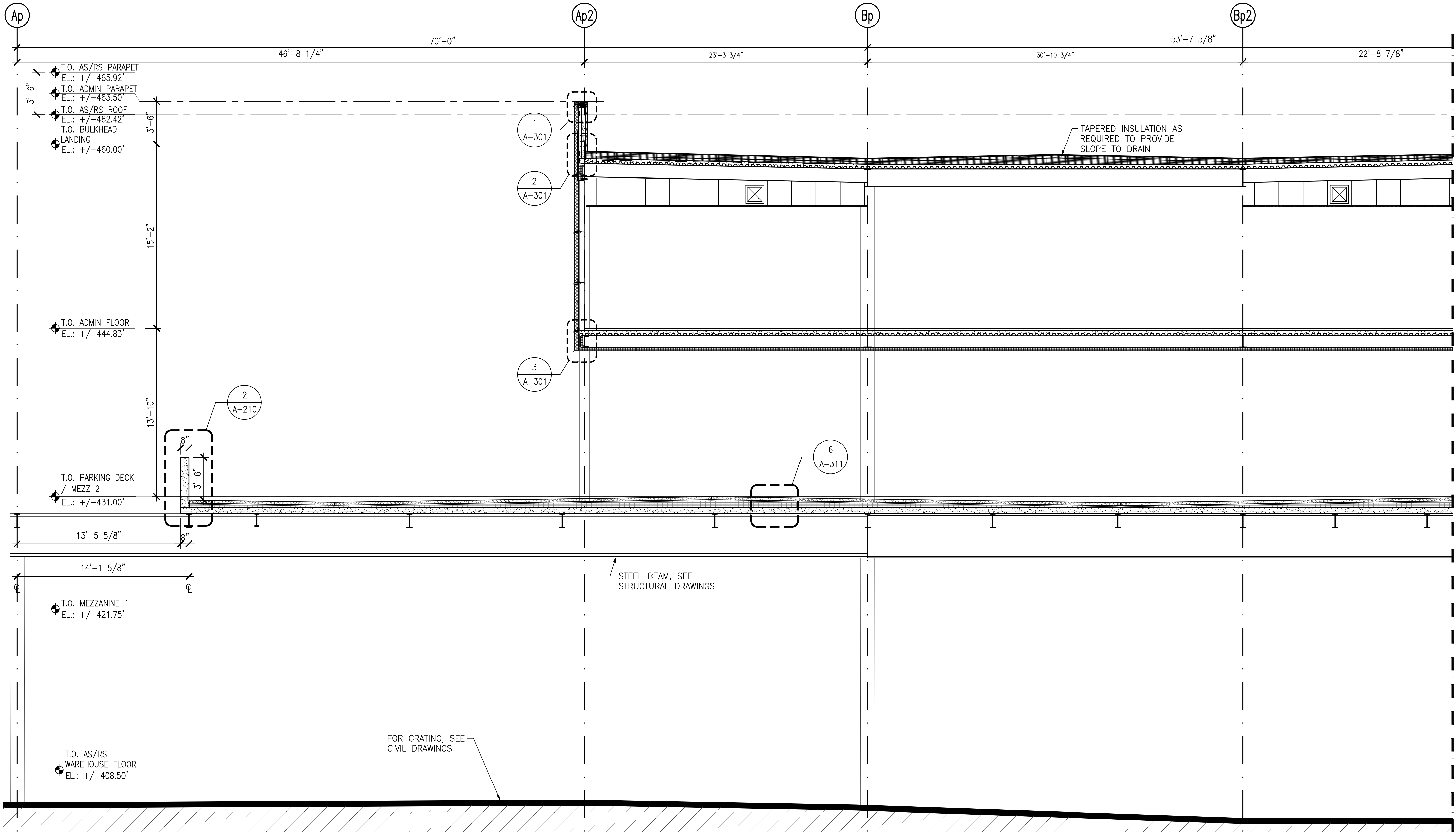
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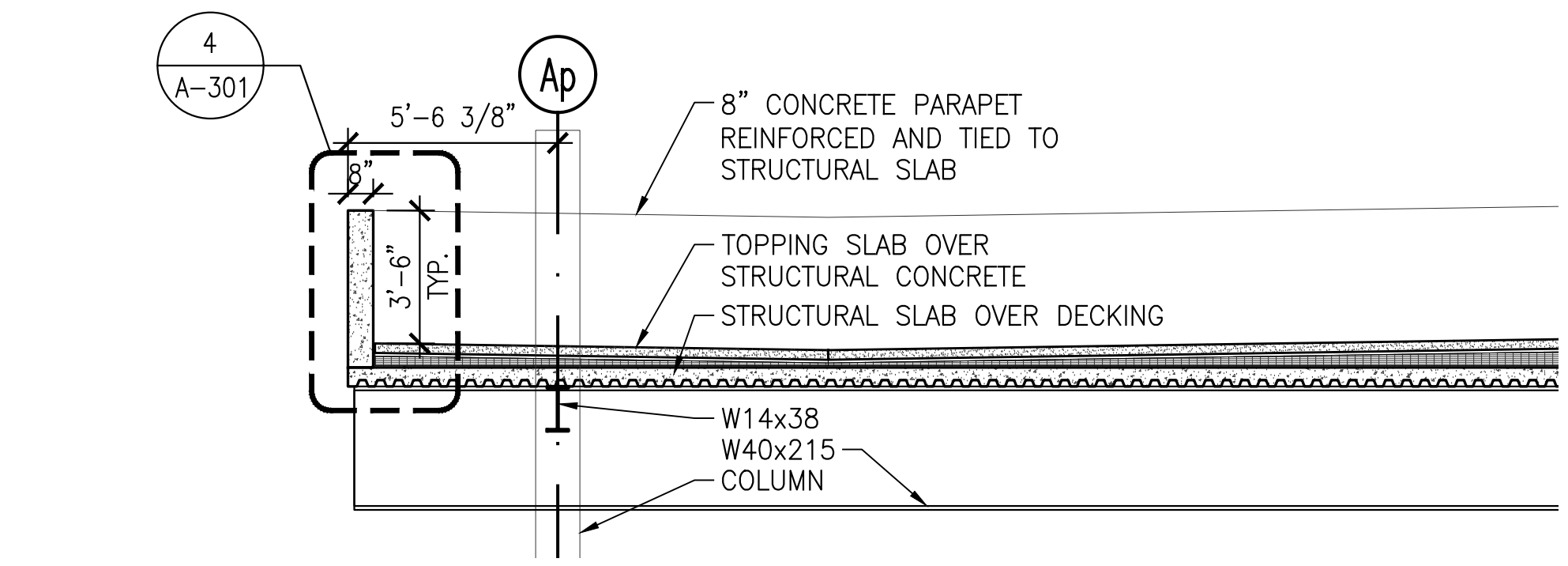
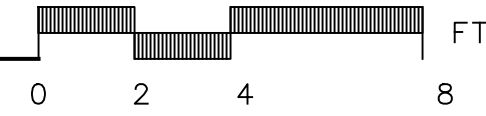
DRAWING TITLE :
**BUILDING SECTIONS -
OVERALL (2 OF 2)**

DWG NUMBER :

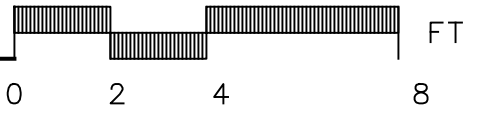
A-201



1 ENLARGED SECTION - PARKING DECK AND ADMIN. OFFICE
A-200 A-210 SCALE: 1/4"=1'-0"



2 ENLARGED SECTION - END OF PARKING DECK
A-210 A-210 SCALE: 1/4"=1'-0"



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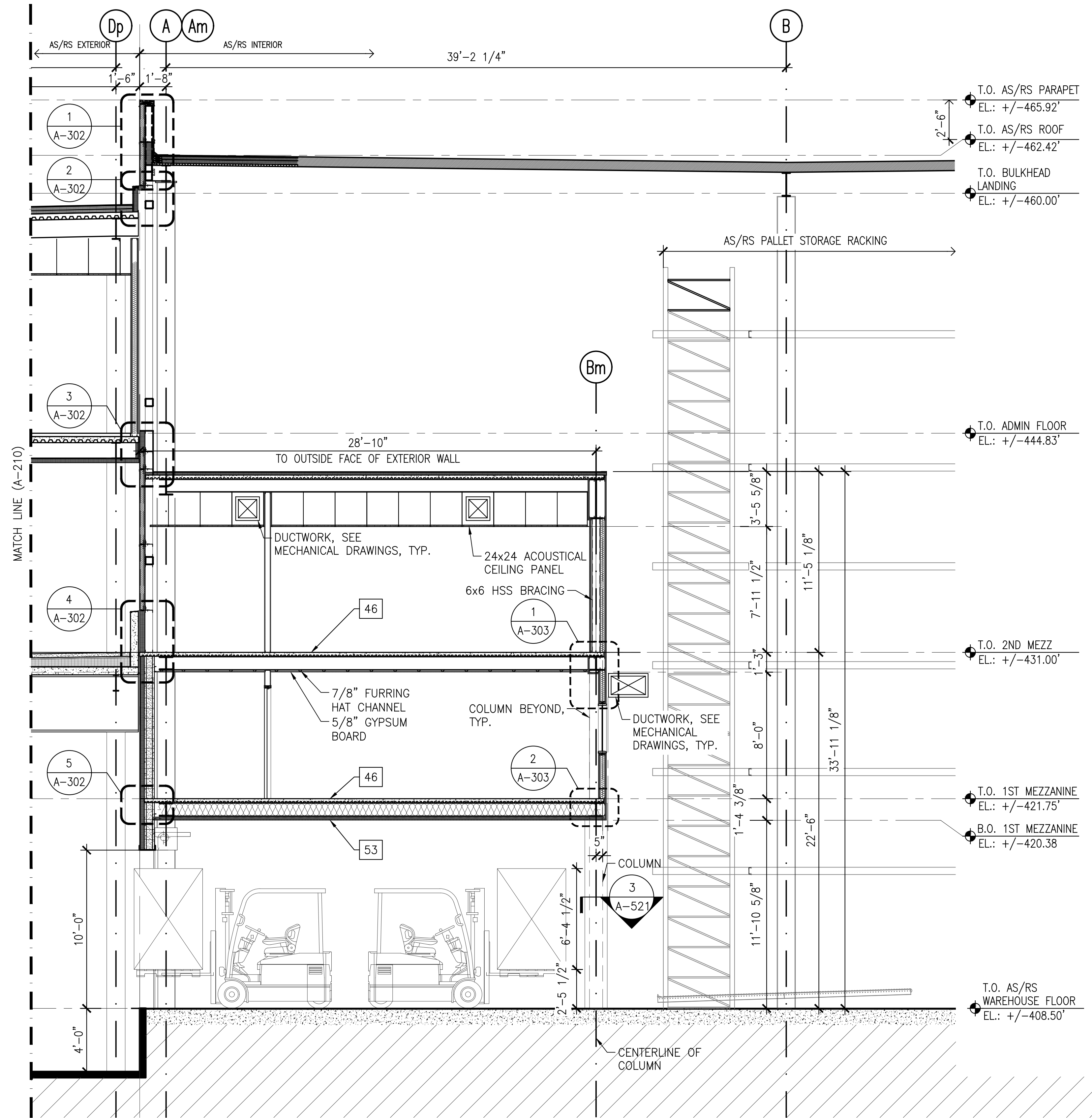
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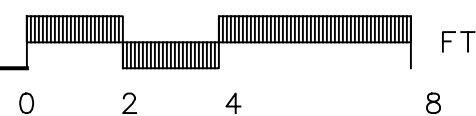
DRAWING TITLE :
**ENLARGED SECTIONS
(1 OF 3)**

DWG NUMBER :	A-210
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ENLARGED SECTION - OPERATION'S OFFICE
AND AS/RS WAREHOUSE

SCALE: 1/4" = 1'-0"



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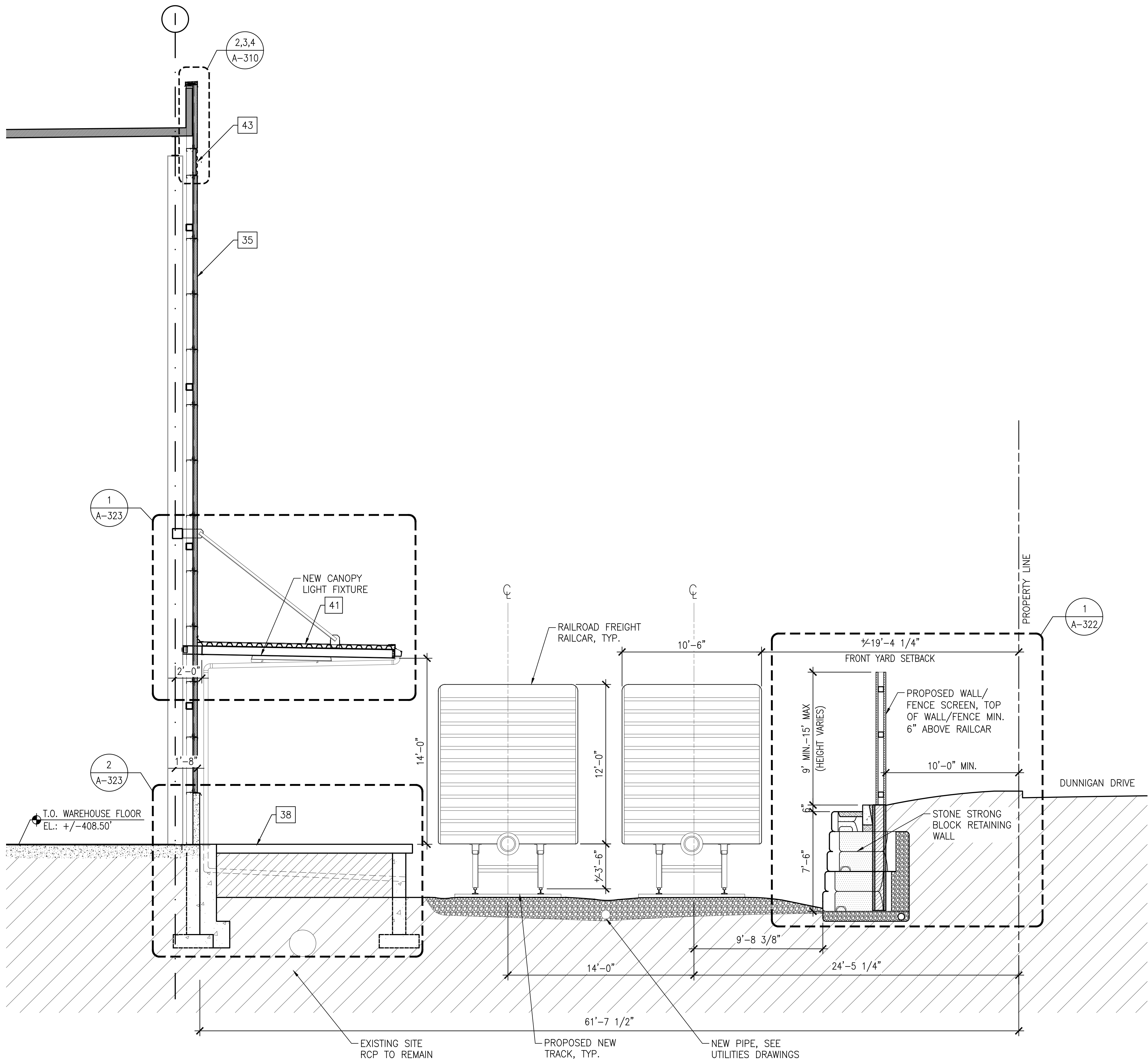
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REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
-	ISSUED FOR CONSTRUCTION	11.30.21

DRAWN BY:	S. WOO
CHECKED BY:	D. TOBAR, R.A.
APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**ENLARGED SECTIONS
(2 OF 3)**

DWG NUMBER:
A-211



1
A-201 A-212
ENLARGED SECTION - SOUTH PLATFORM AND TRACK SIDE
SCALE: 1/4"=1'-0"
0 2 4 8 FT

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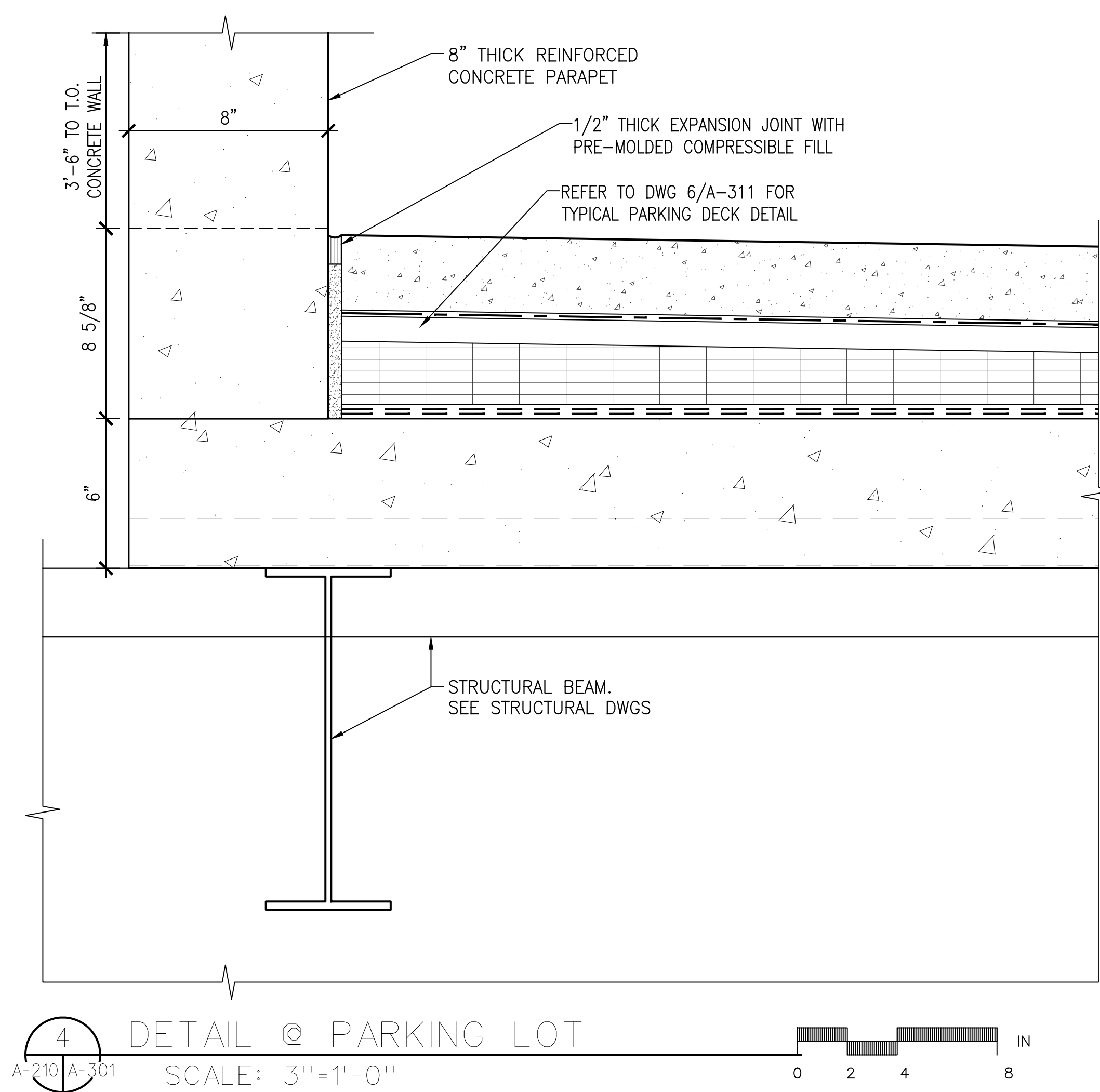
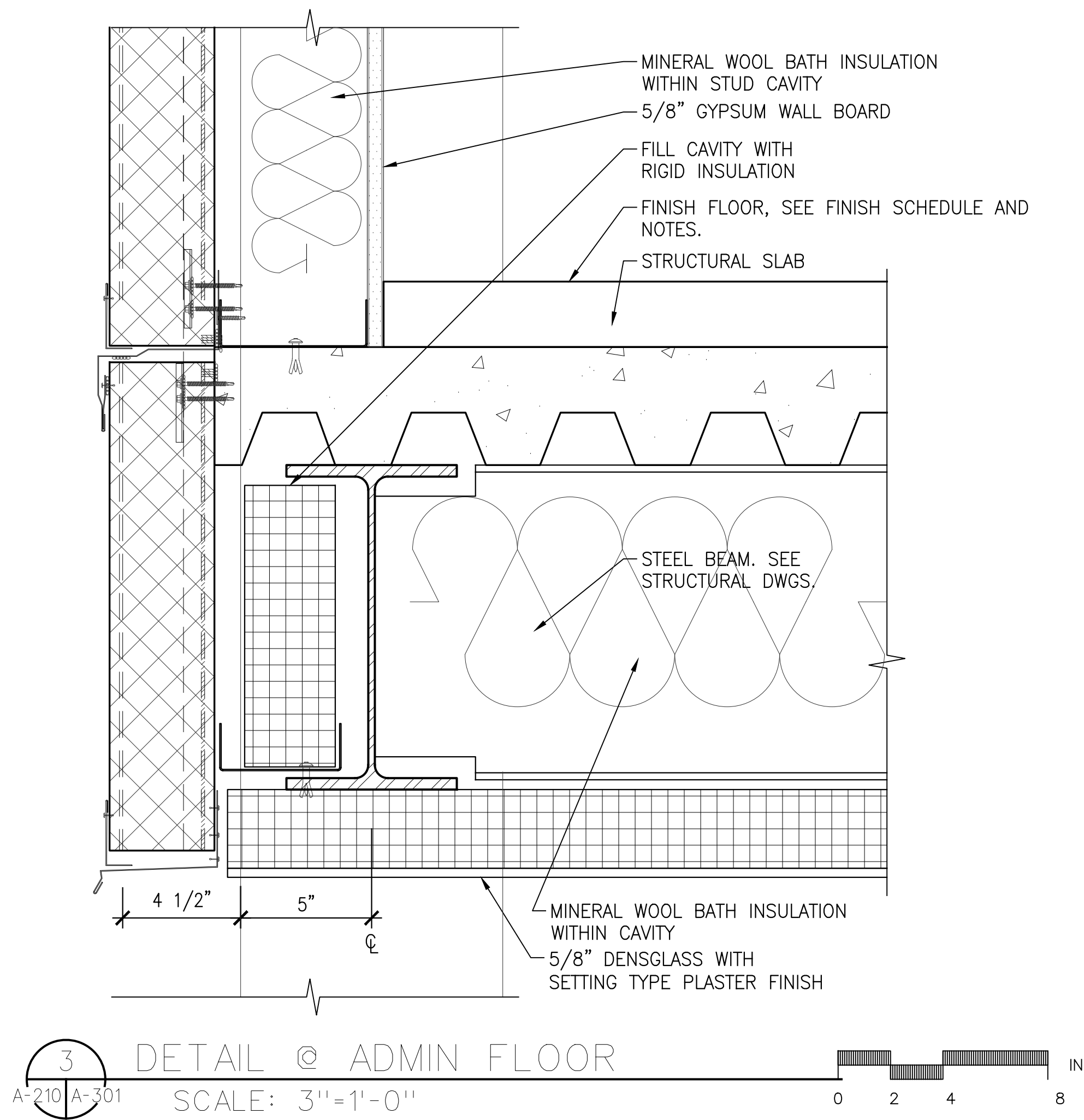
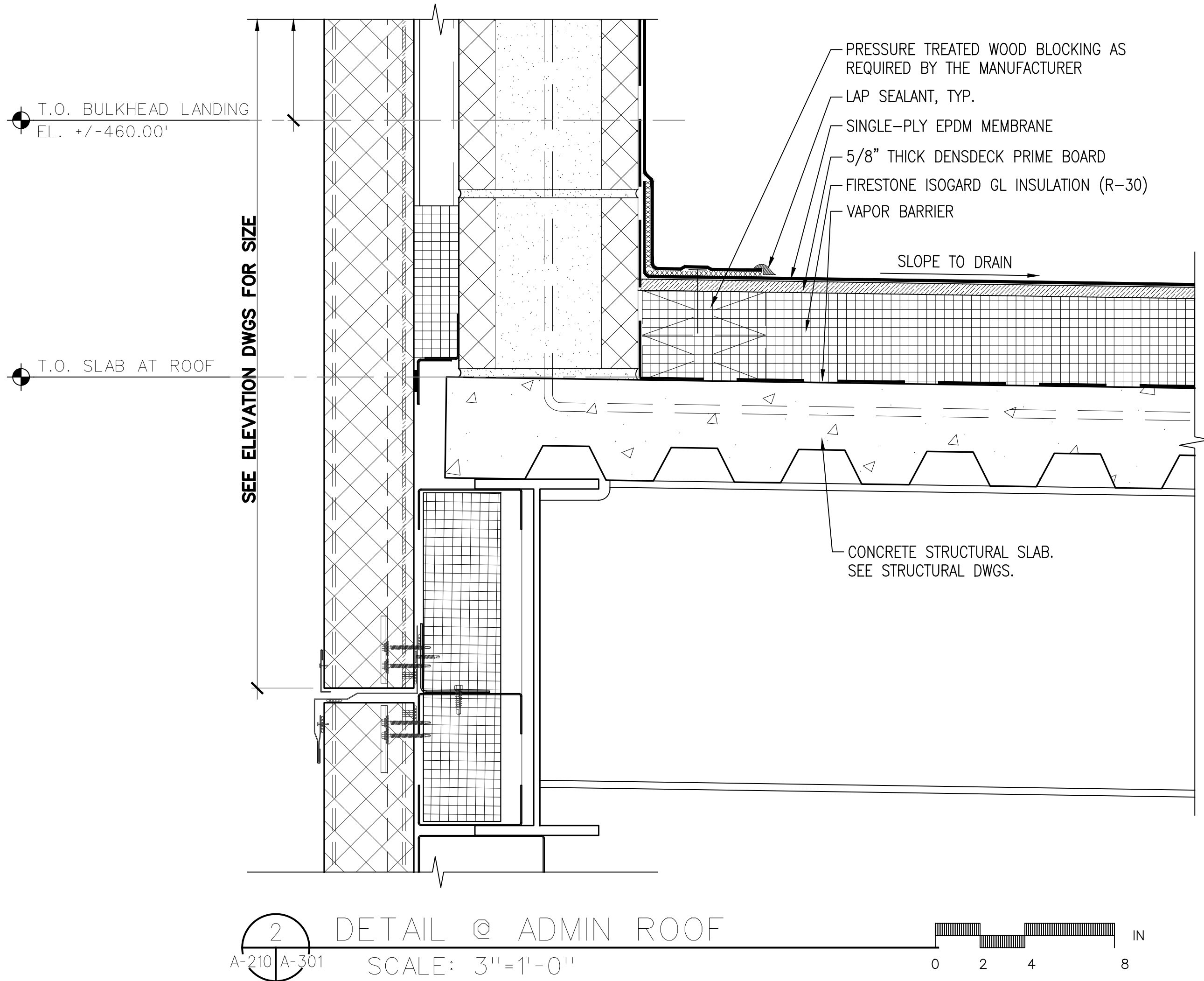
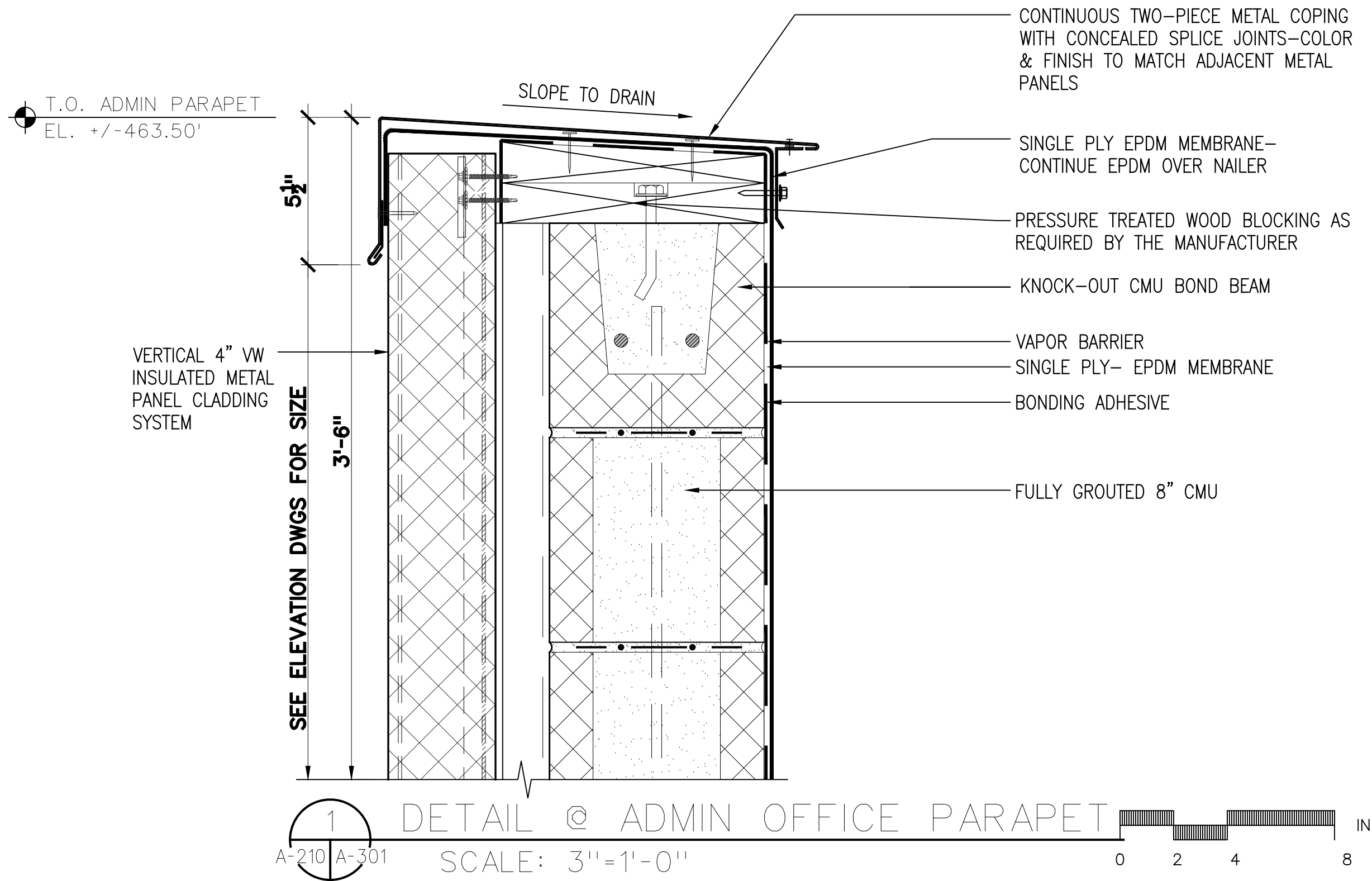
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DRAWING TITLE:
**ENLARGED SECTIONS
(3 OF 3)**

DWG NUMBER:
A-212



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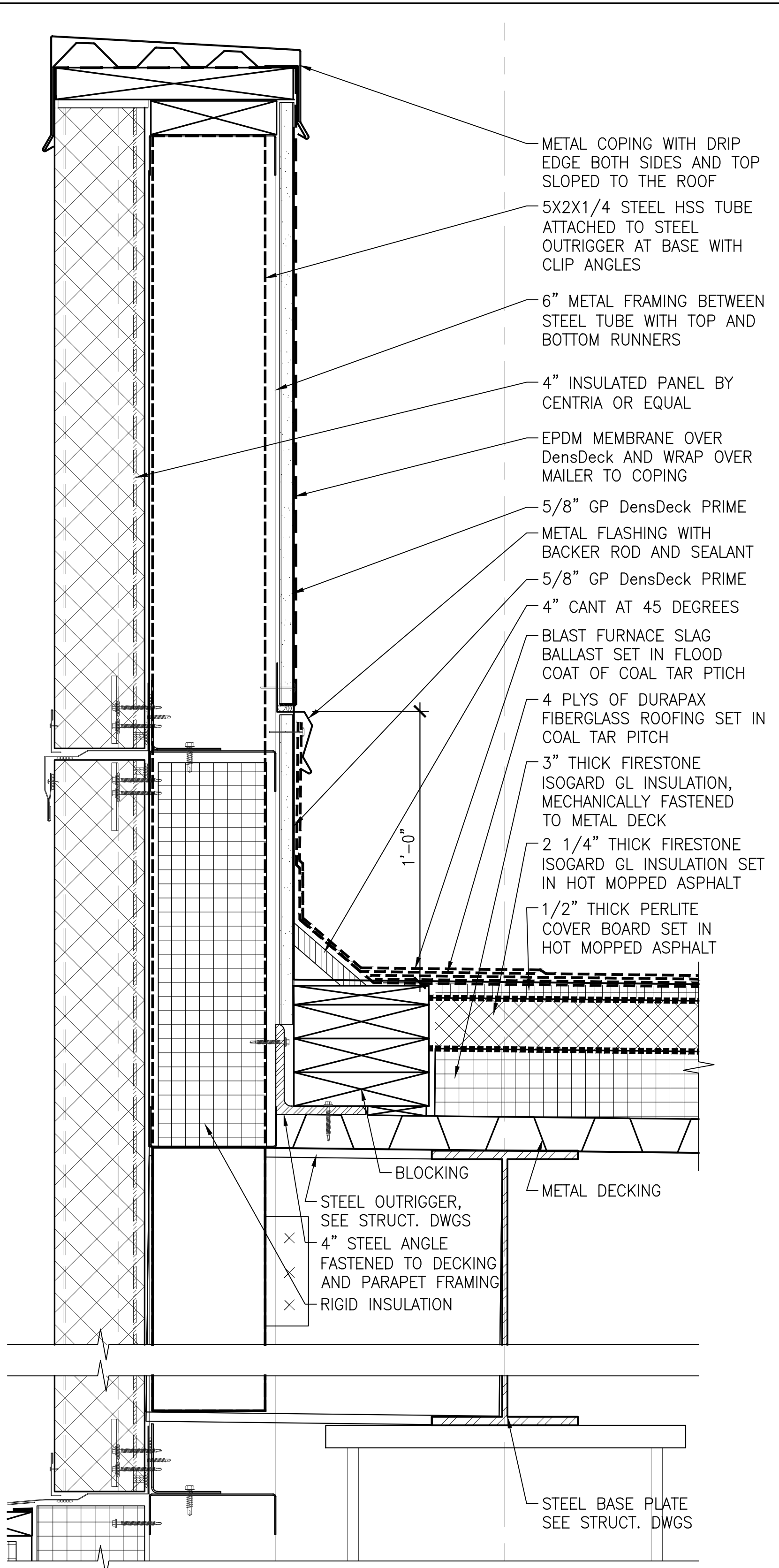
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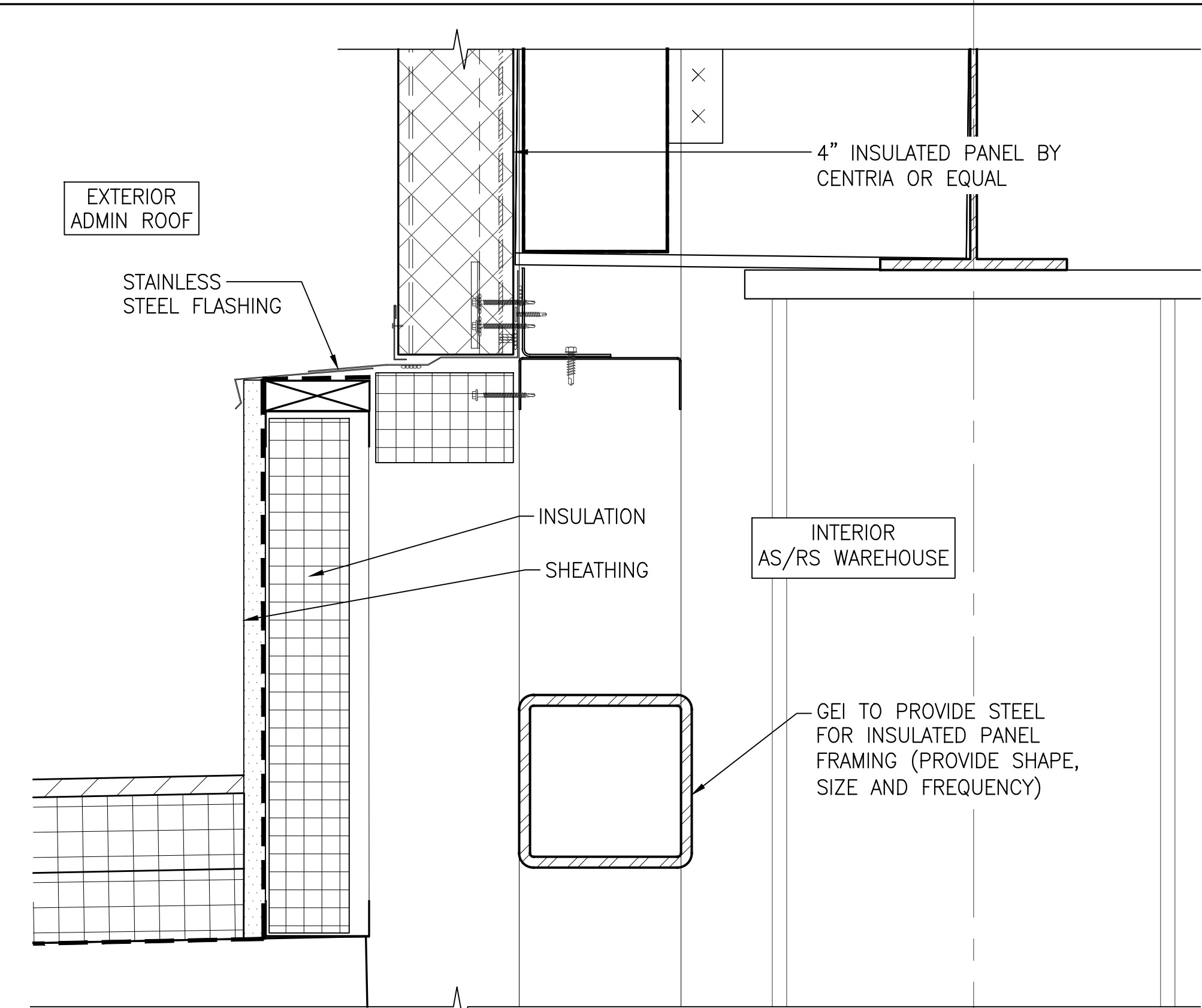
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SCALE:	AS NOTED

DRAWING TITLE:
**EXTERIOR WALL -
SECTION DETAILS**

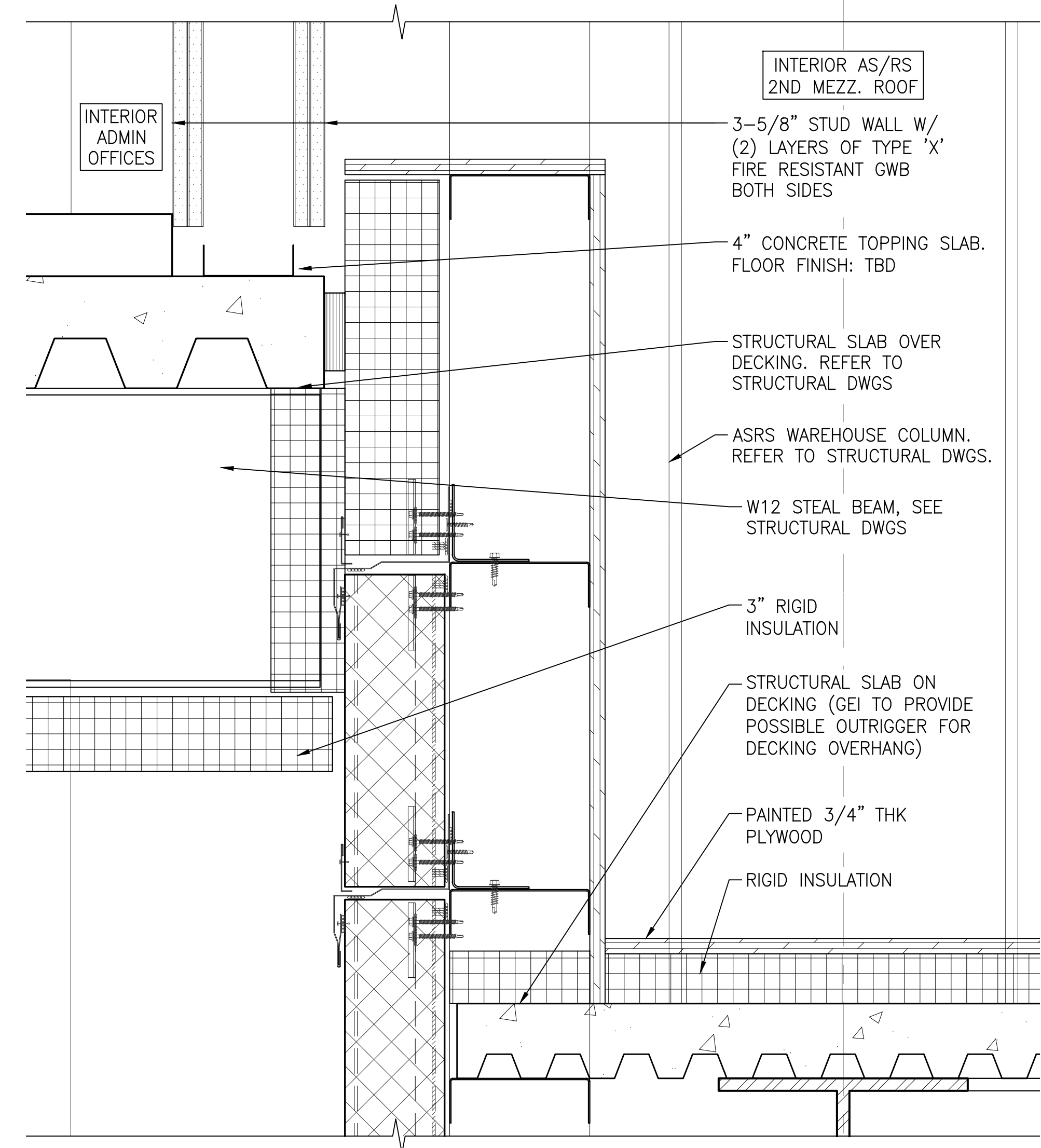
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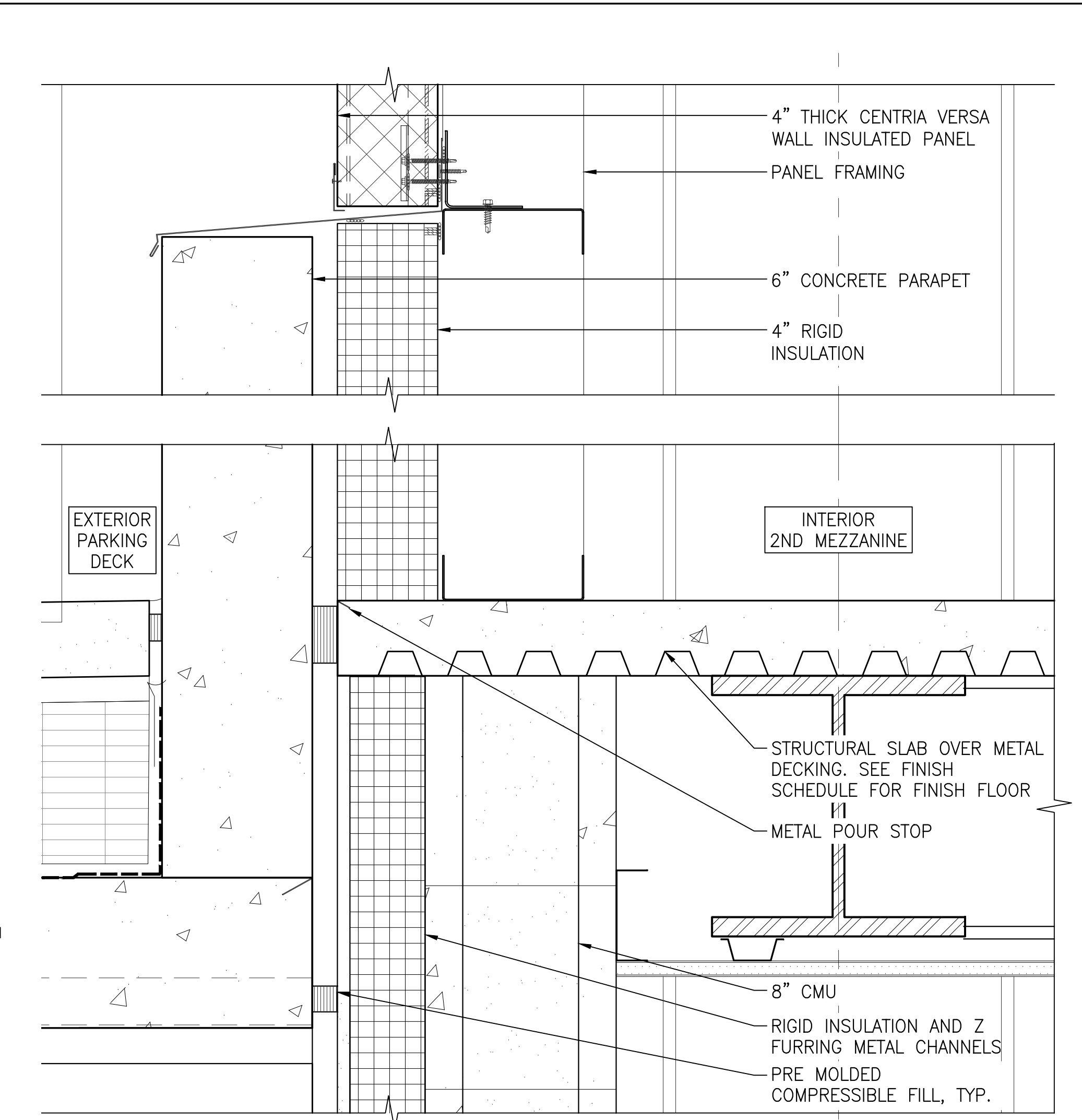
1 AS/RS PARAPET DETAIL
A-211/A-302 SCALE: 3"=1'-0"



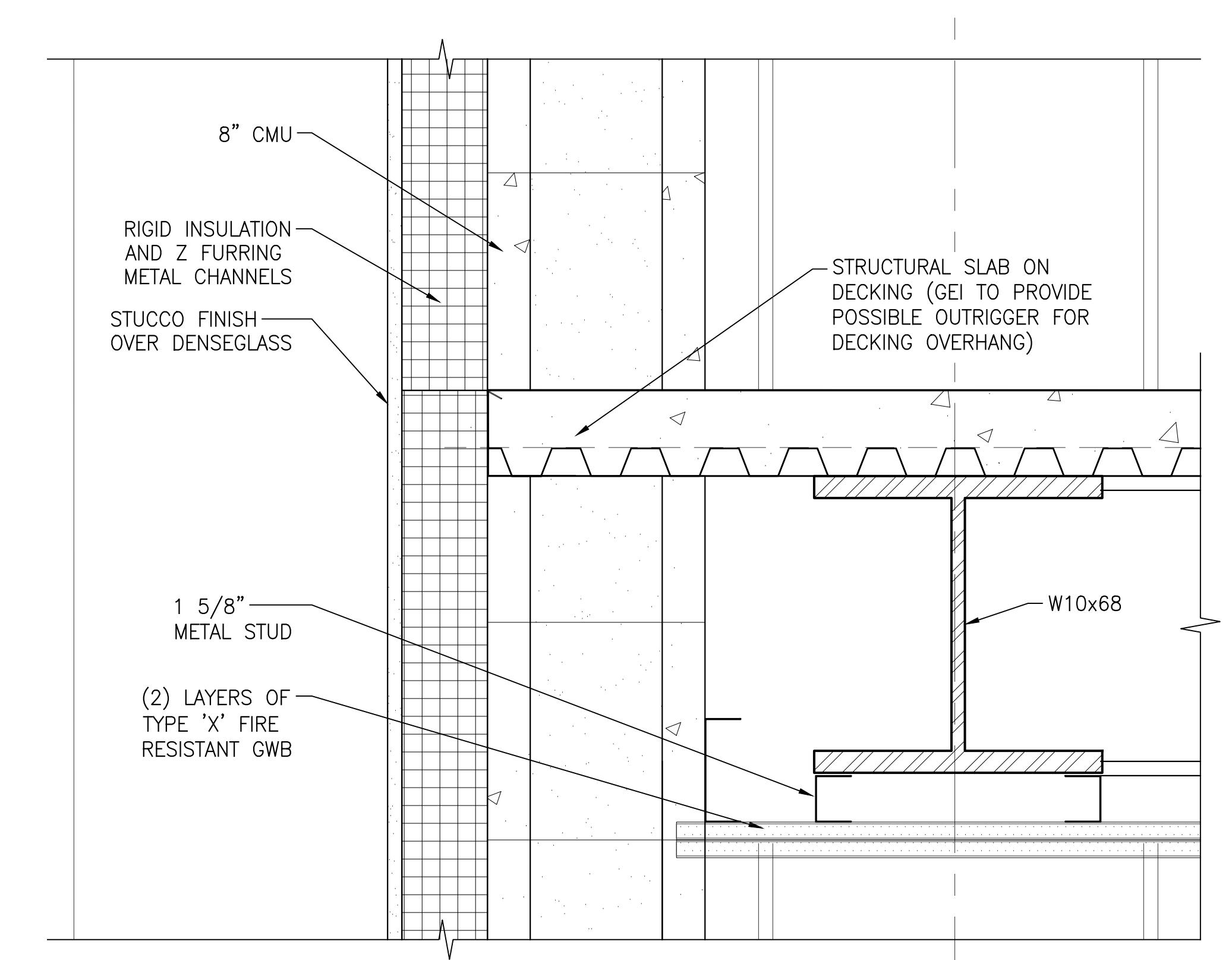
2 ADMIN ROOF DETAIL
A-211/A-302 SCALE: 3"=1'-0"



3 ADMIN FLOOR / 2ND MEZZ ROOF DETAIL
A-211/A-302 SCALE: 3"=1'-0"



4 PARKING DECK / 2ND MEZZ. FLOOR
A-211/A-302 SCALE: 3"=1'-0"



5 1ST MEZZ. FLOOR DETAIL
A-211/A-302 SCALE: 3"=1'-0"

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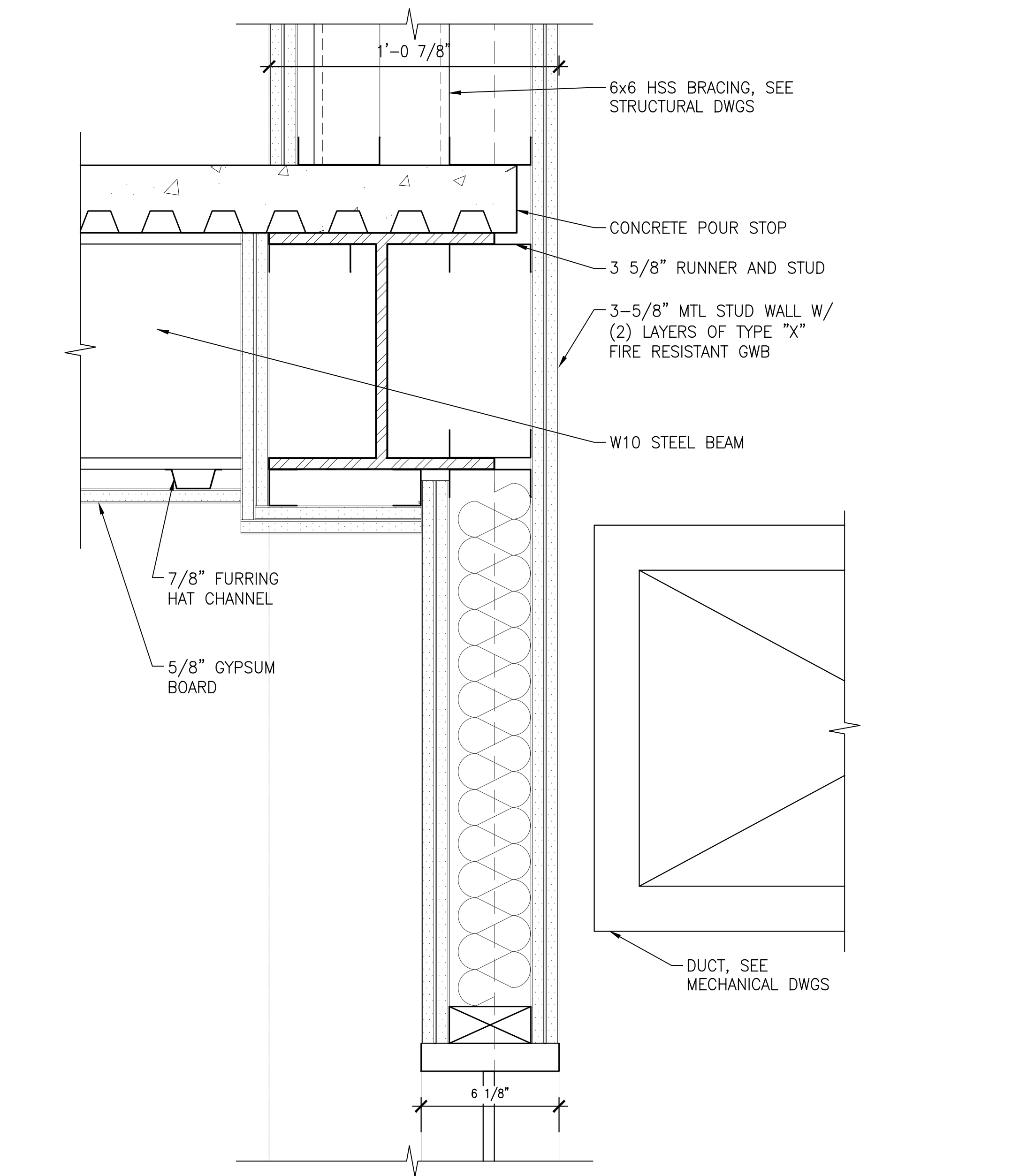
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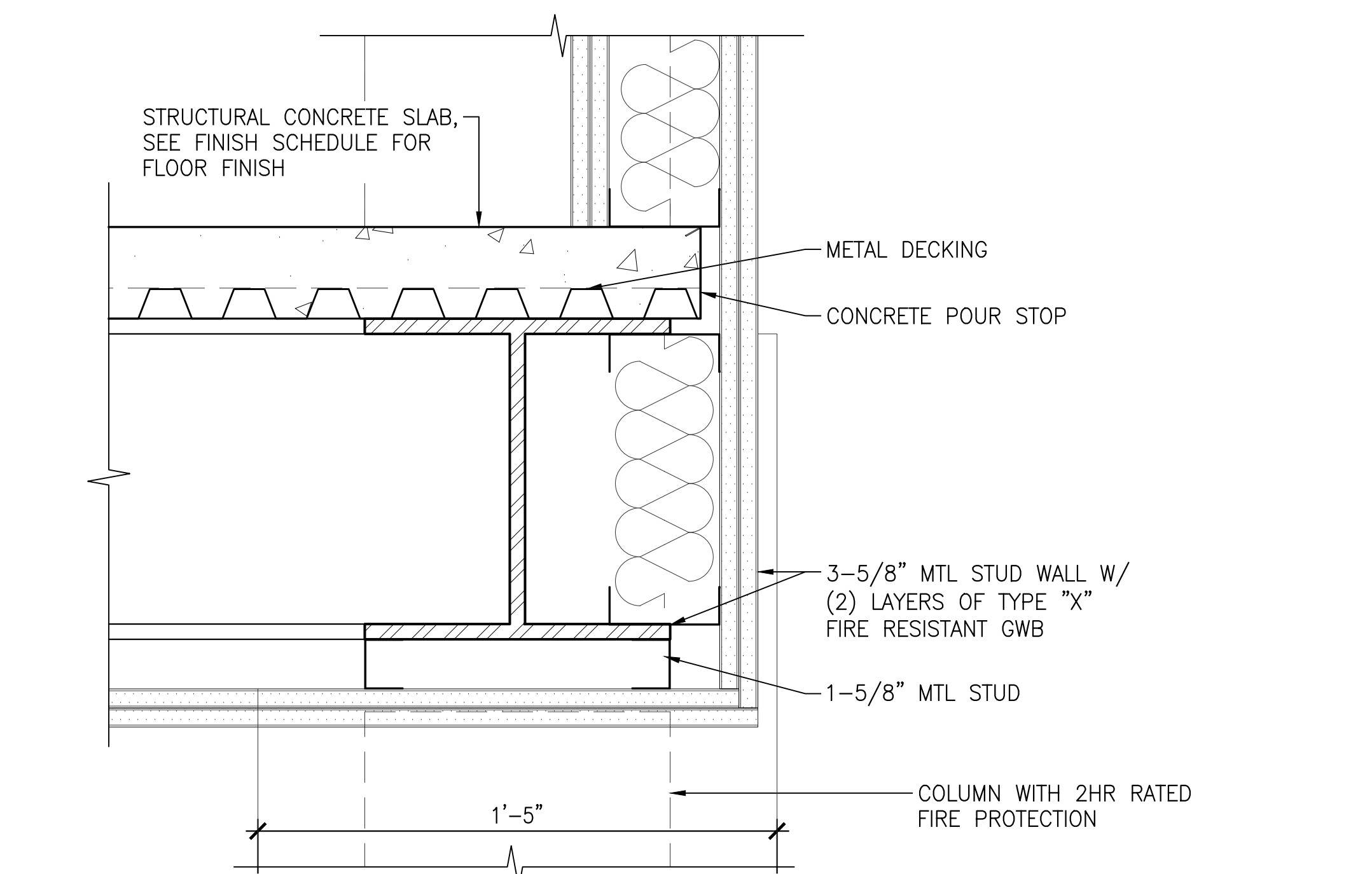
DRAWN BY: S. WOO
CHECKED BY: D. TOBAR, R.A.
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DATE: 07.30.2021
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DRAWING TITLE:
EXTERIOR WALL - SECTION DETAILS

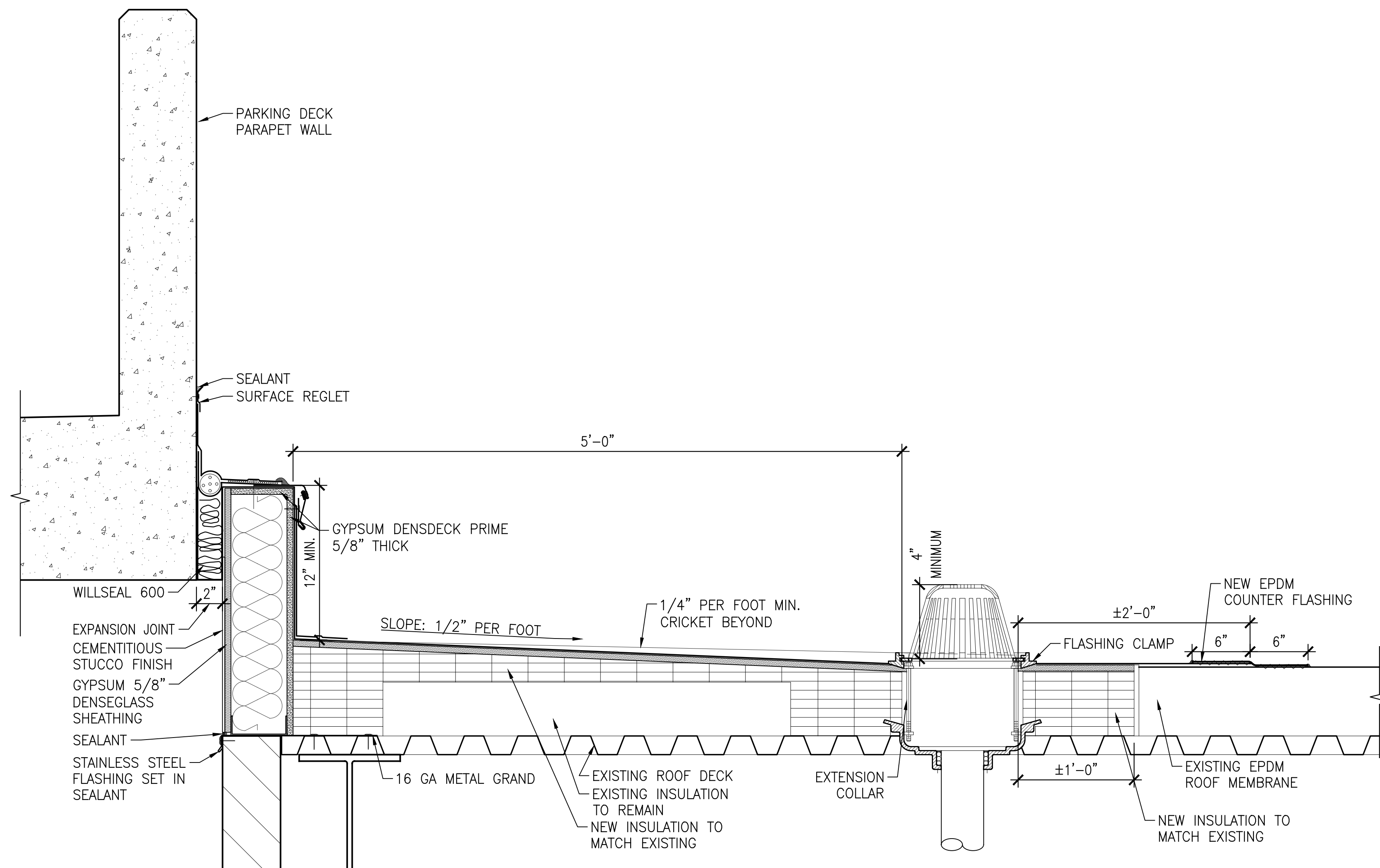
DWG NUMBER:
A-302



1 2ND MEZZ./ASRS WAREHOUSE DETAIL
A-211/A-303 SCALE: 3"=1'-0"



2 2ND MEZZ./ASRS WAREHOUSE DETAIL
A-211/A-303 SCALE: 3"=1'-0"



3 20 DUNNIGAN AND PARKING DECK TRANSITION DETAIL
A-106, A-201, A-302 SCALE: 1-1/2"=1'-0"

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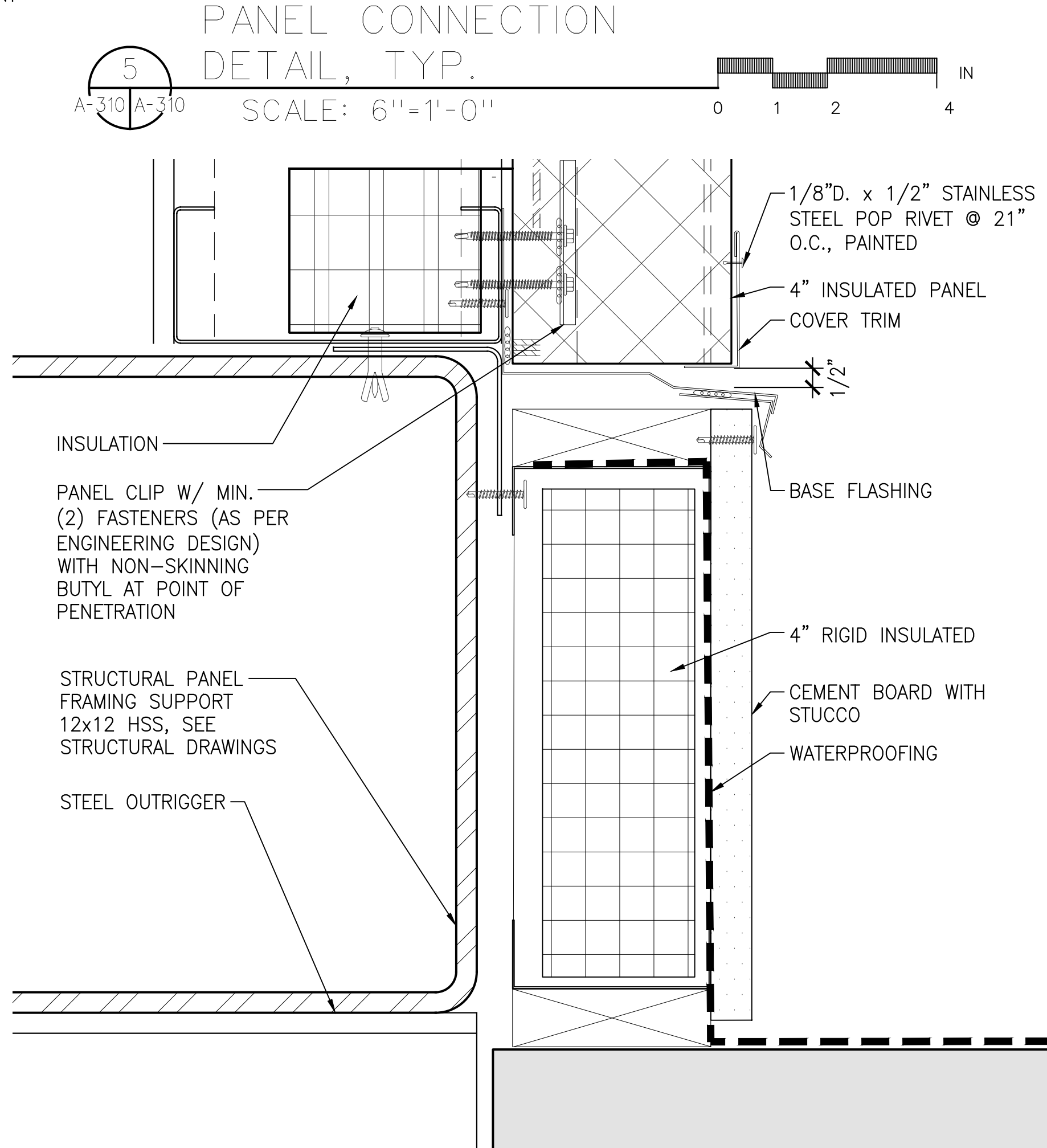
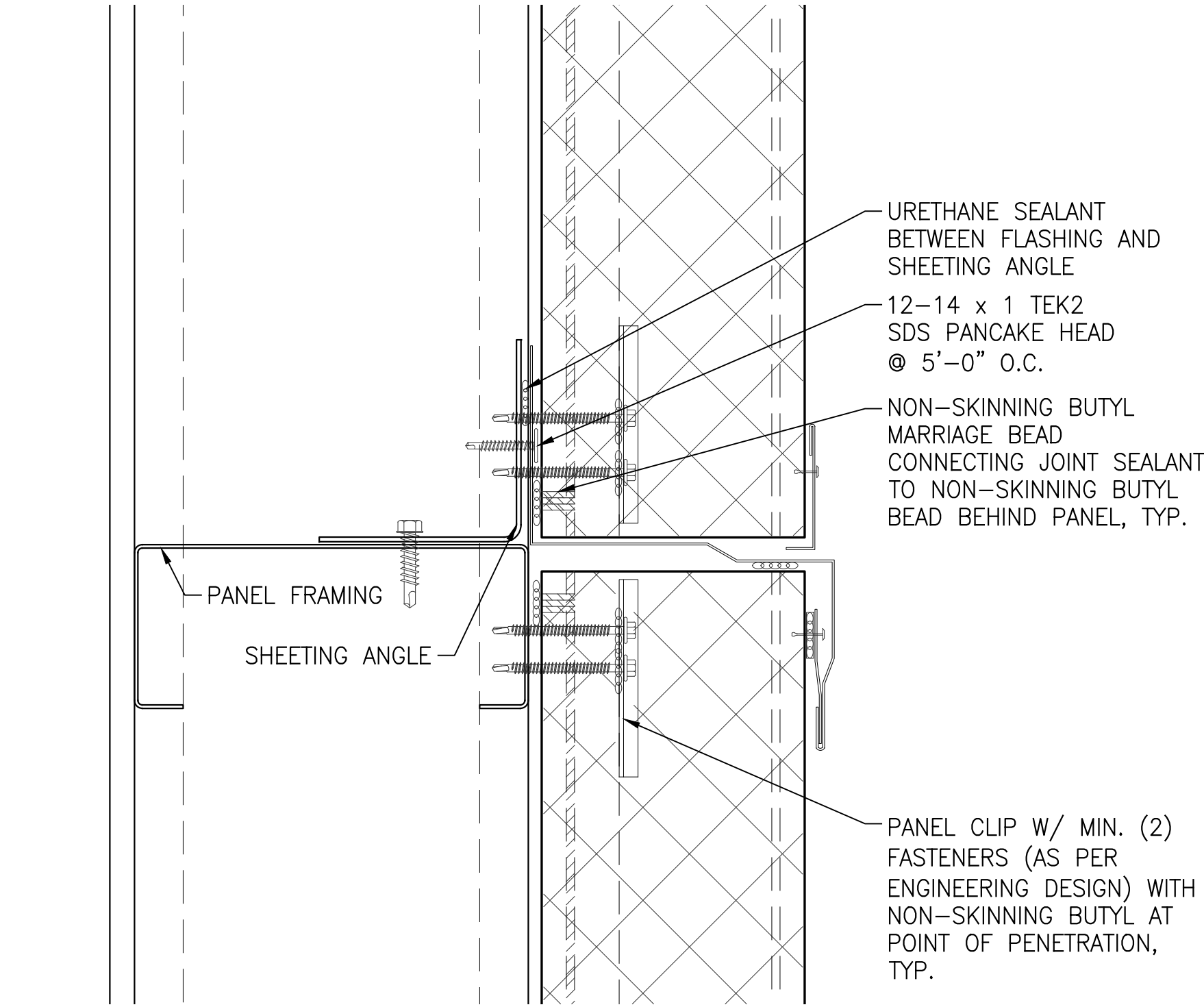
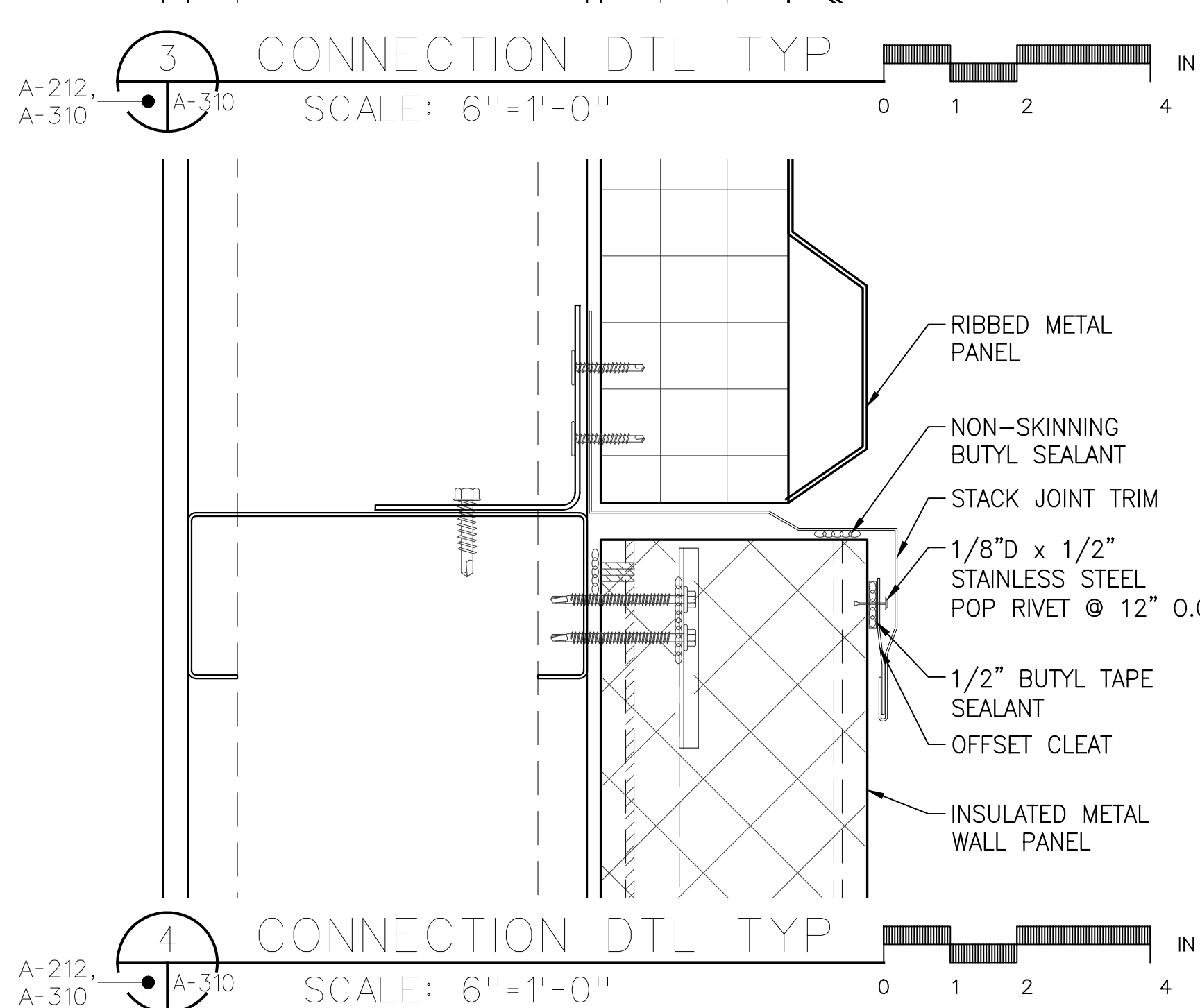
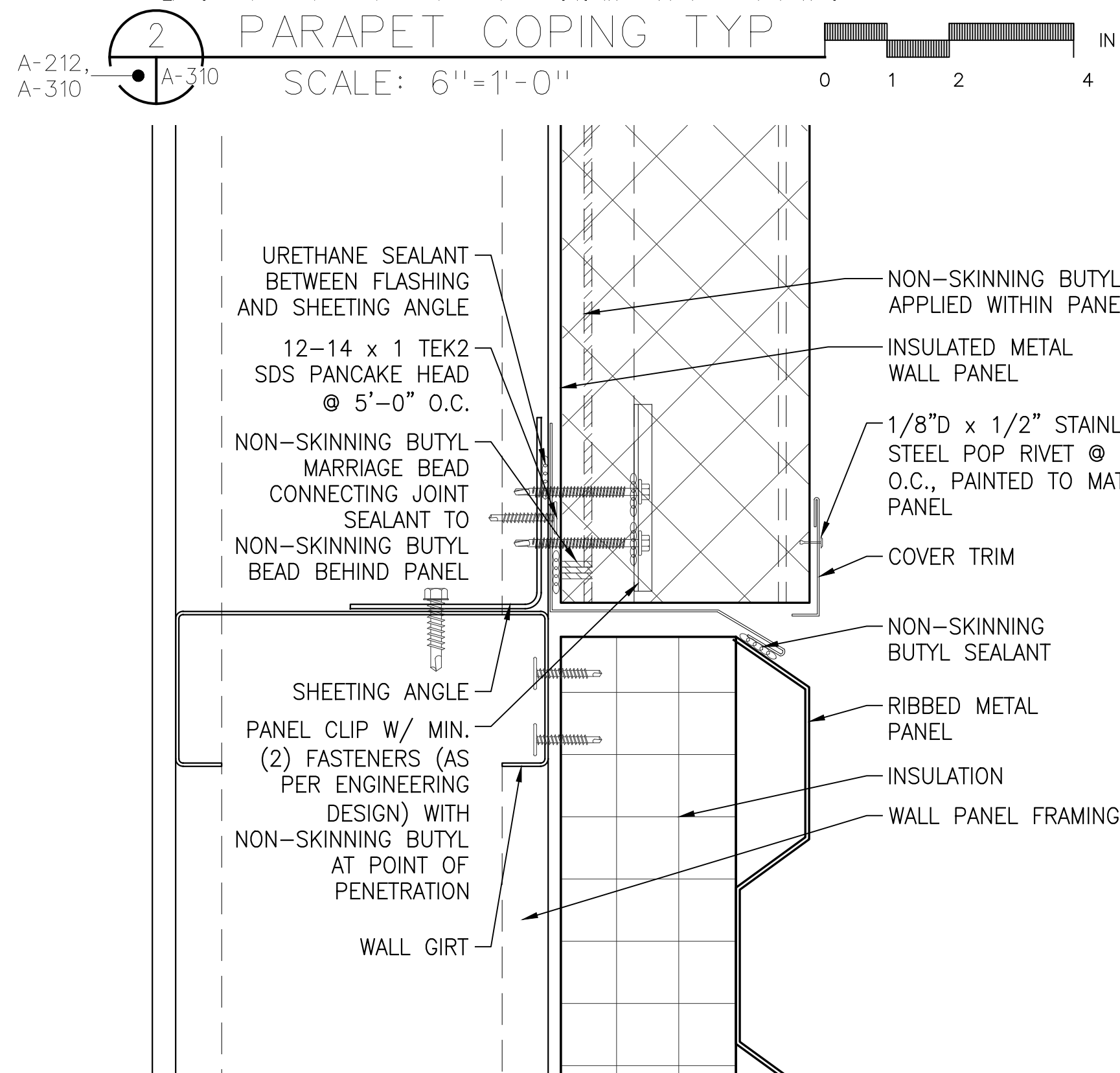
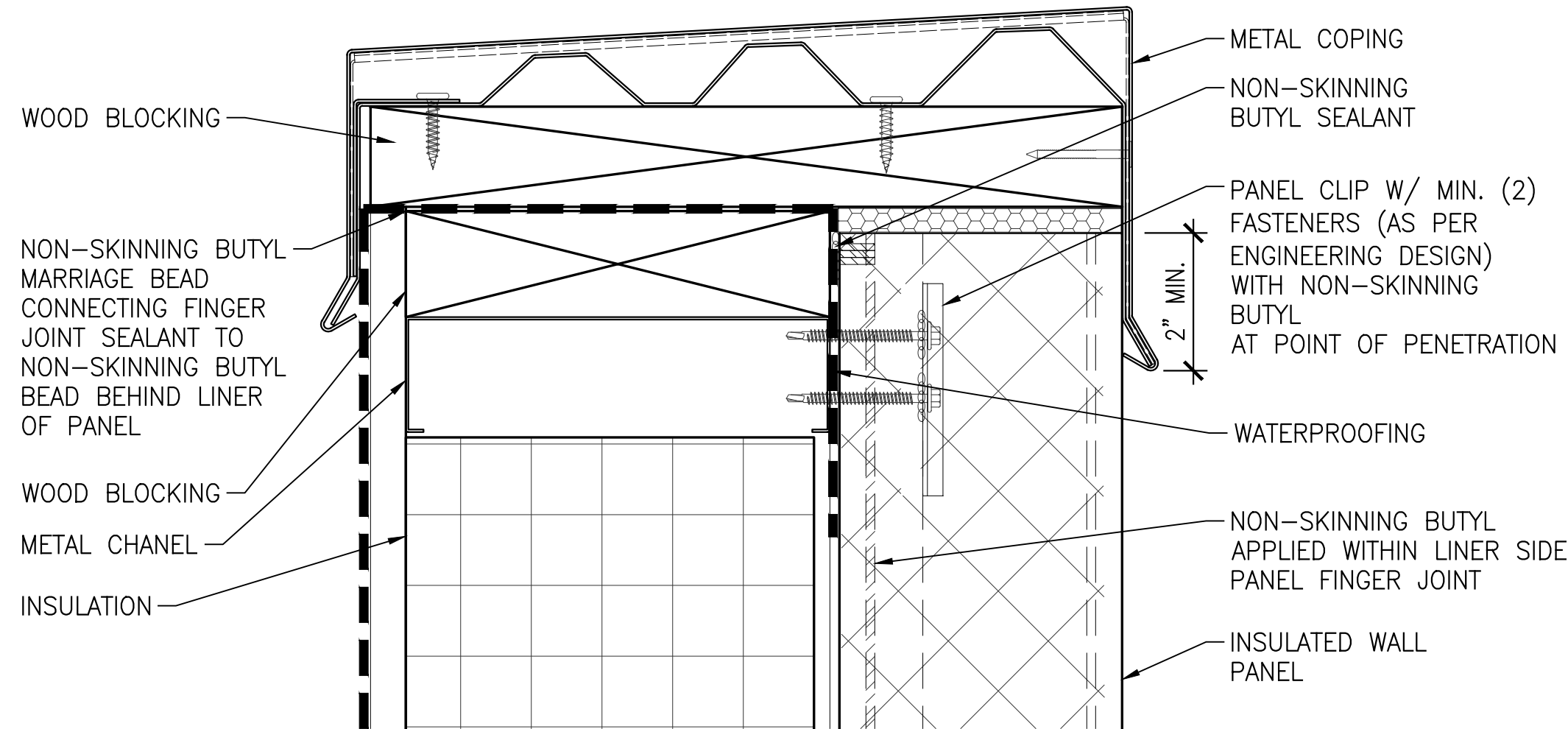
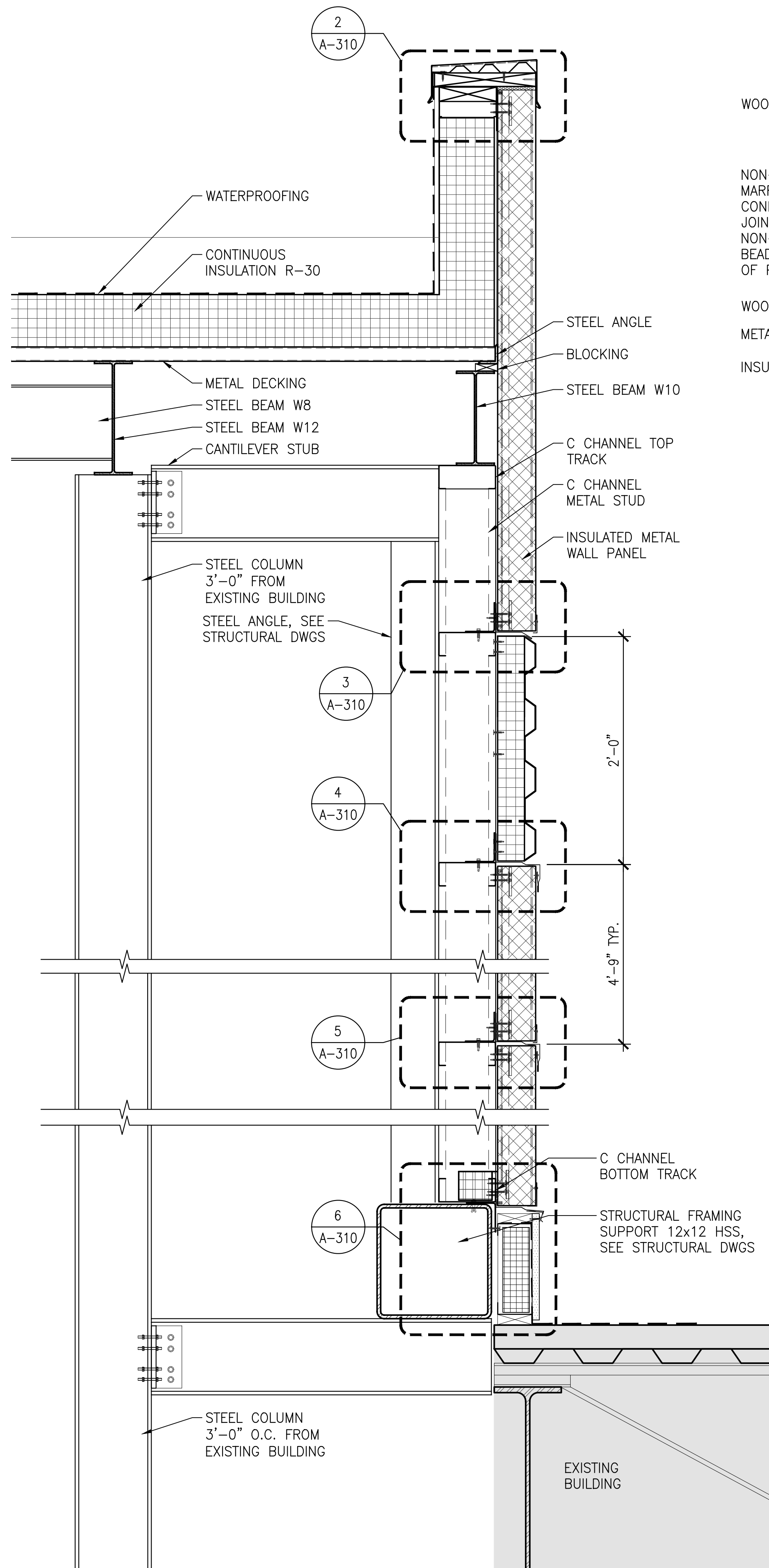
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APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
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DRAWING TITLE:
**EXTERIOR WALL -
SECTION DETAILS**

DWG NUMBER:
A-303



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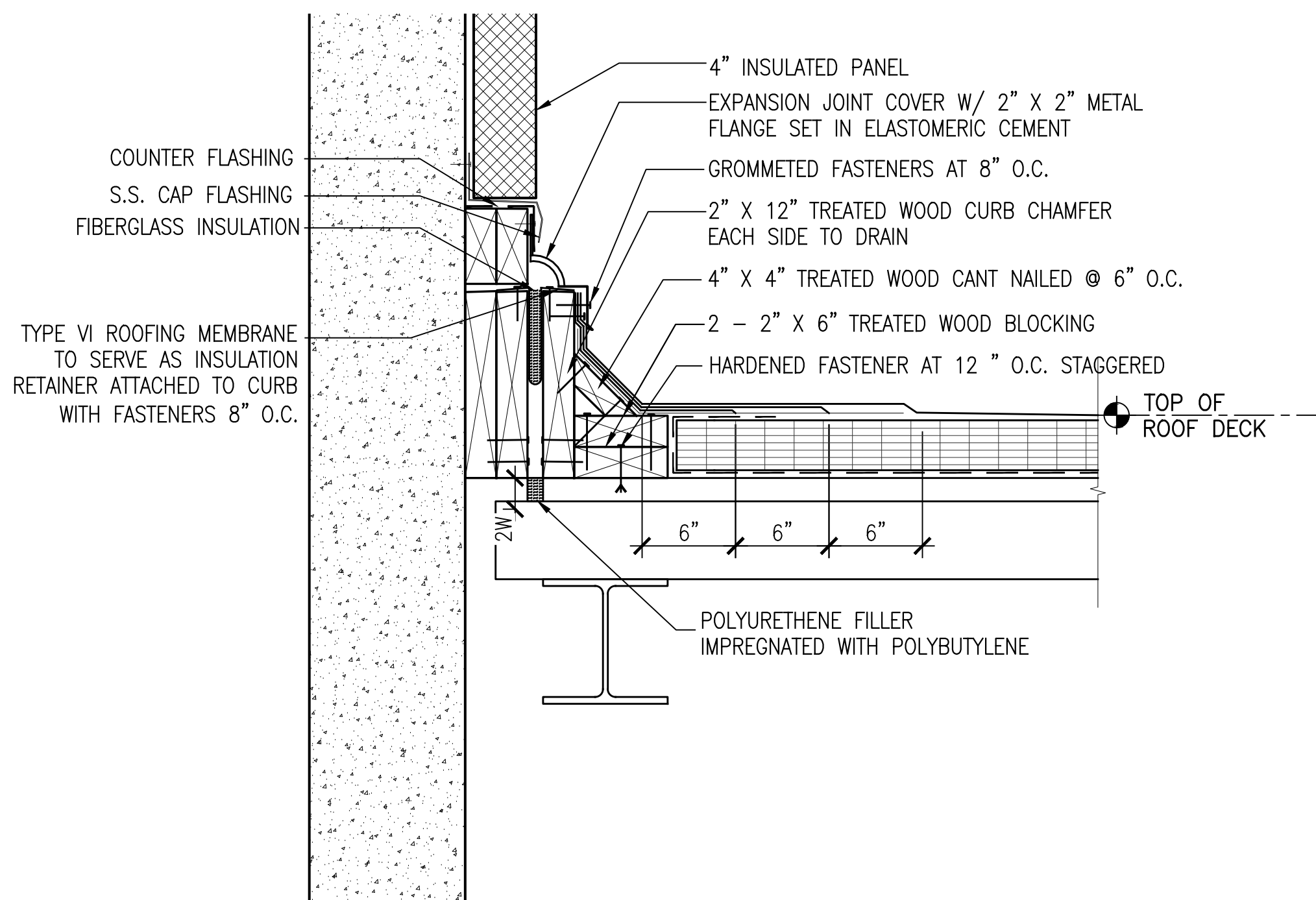
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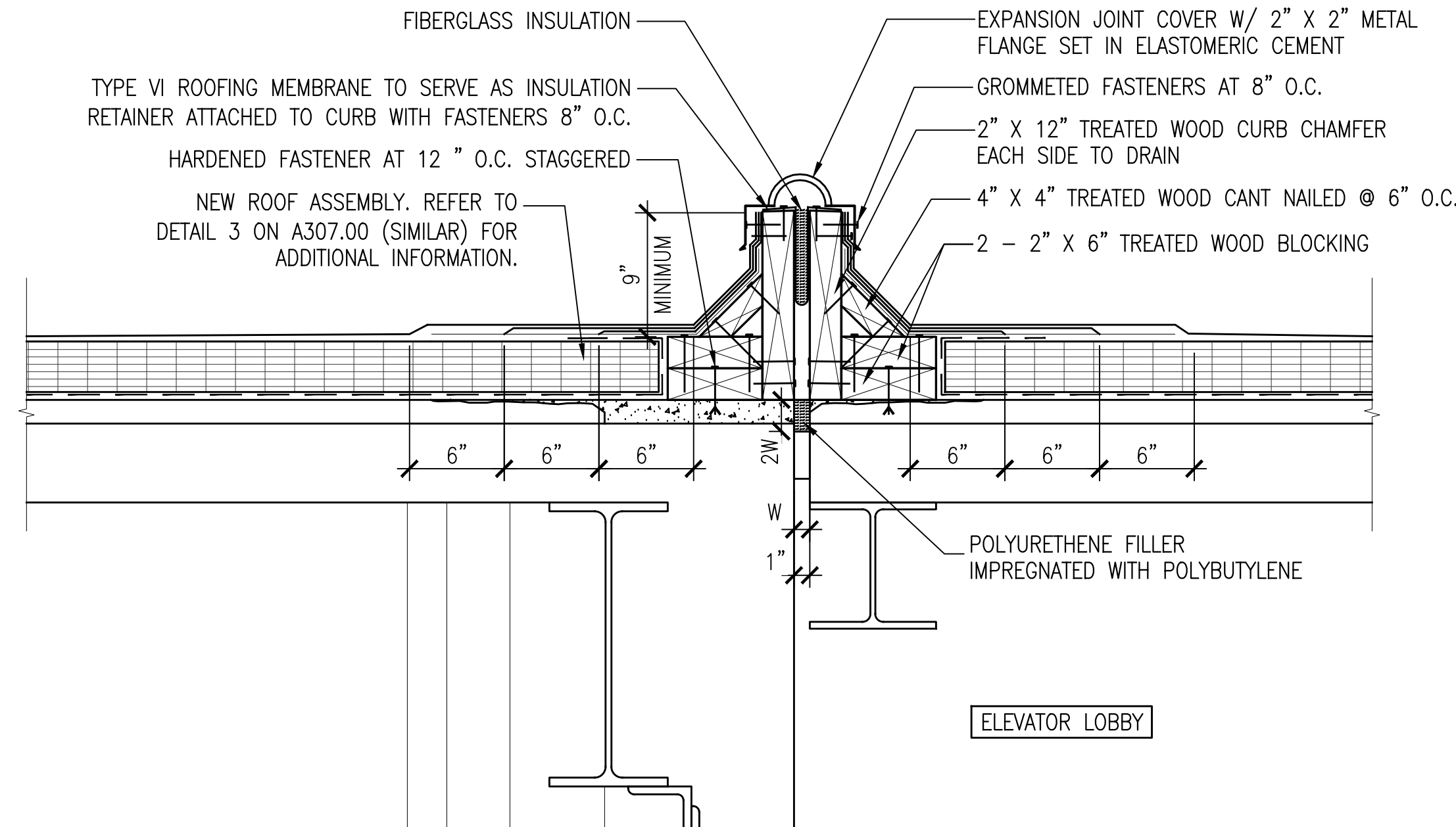
DRAWN BY:	S. WOO
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APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**EXTERIOR FACADE
DETAILS**

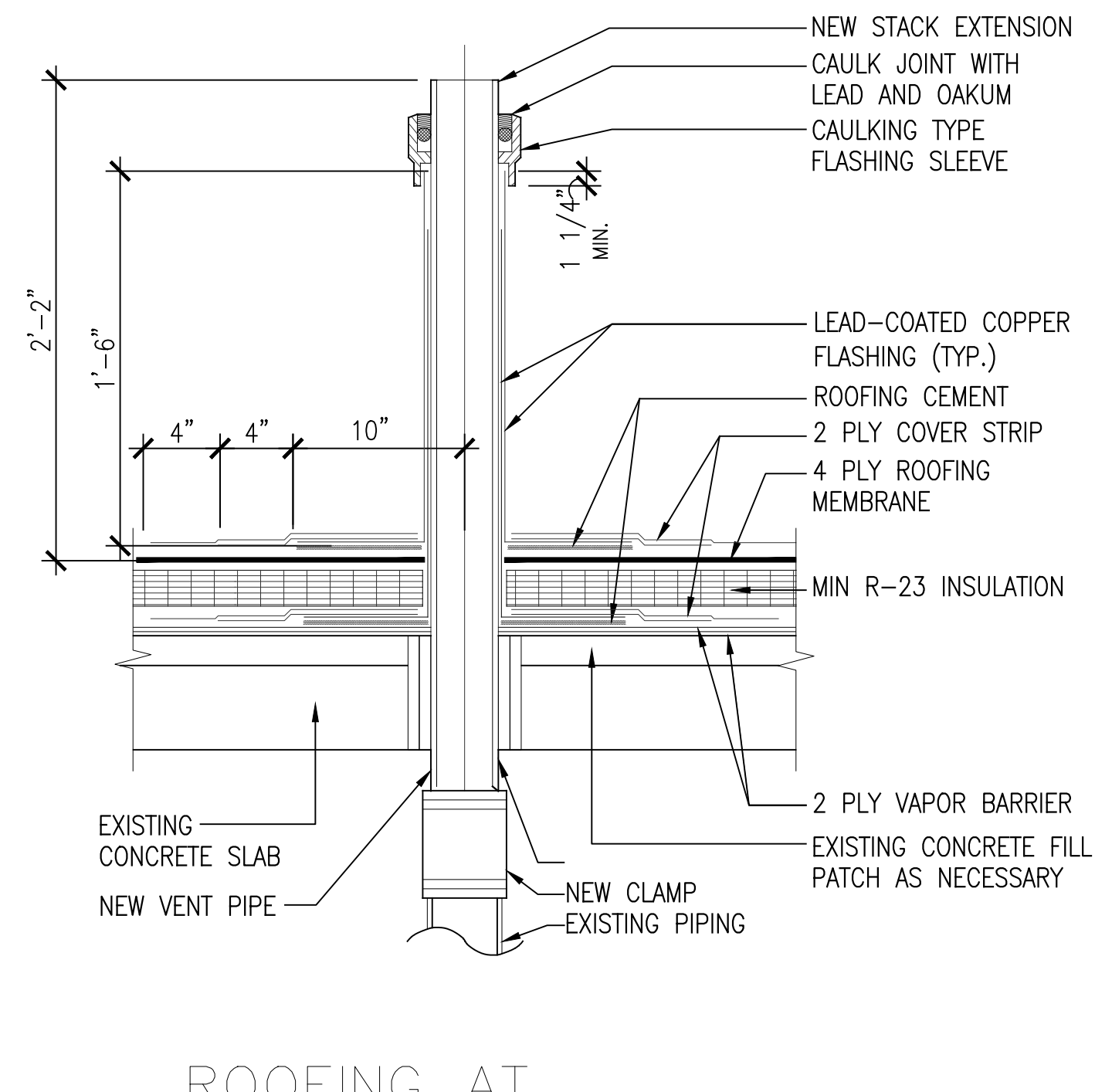
DWG NUMBER:
A-310



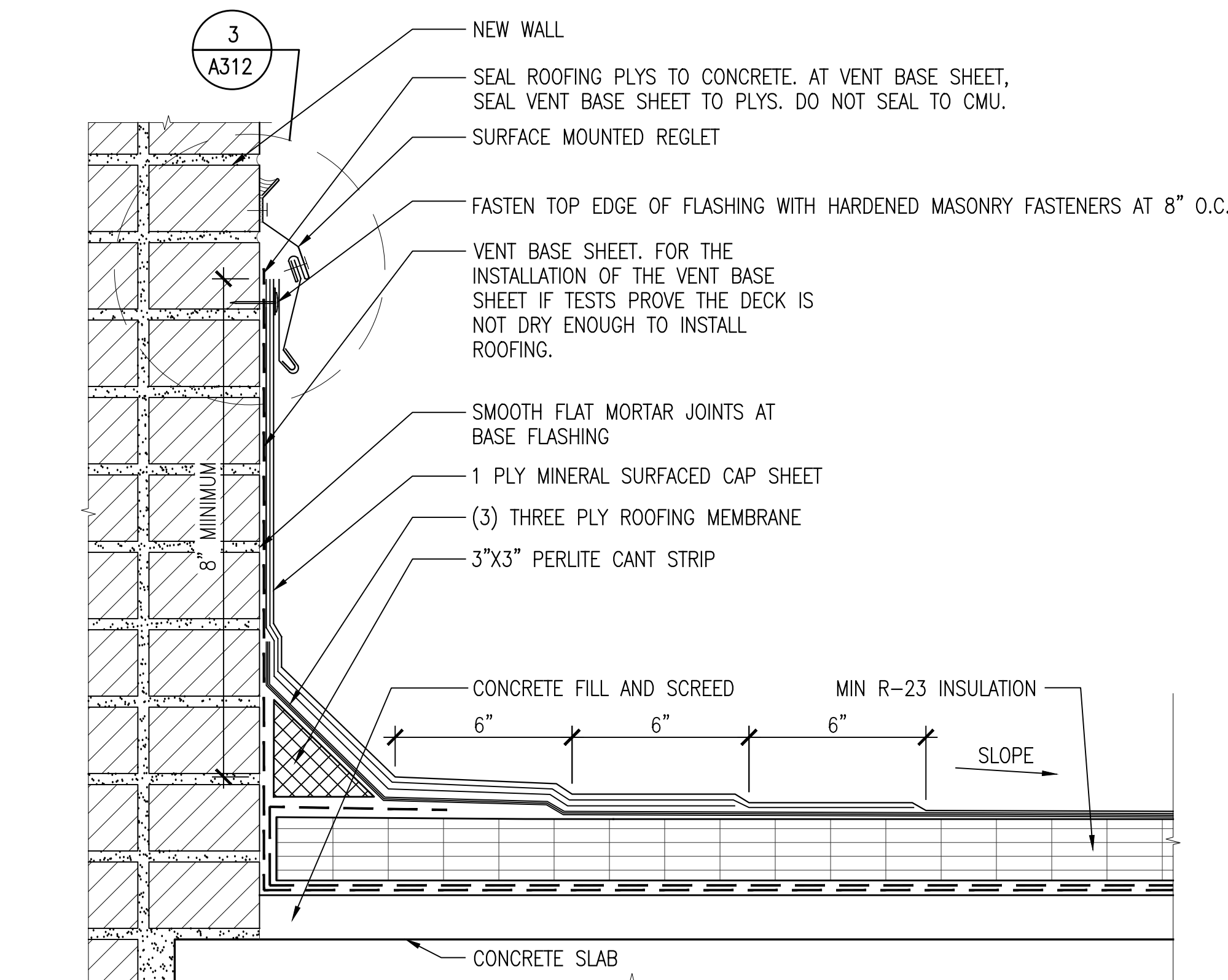
1 EXPANSION JOINT DETAIL
A-106 A-311 SCALE: 1-1/2"=1'-0"



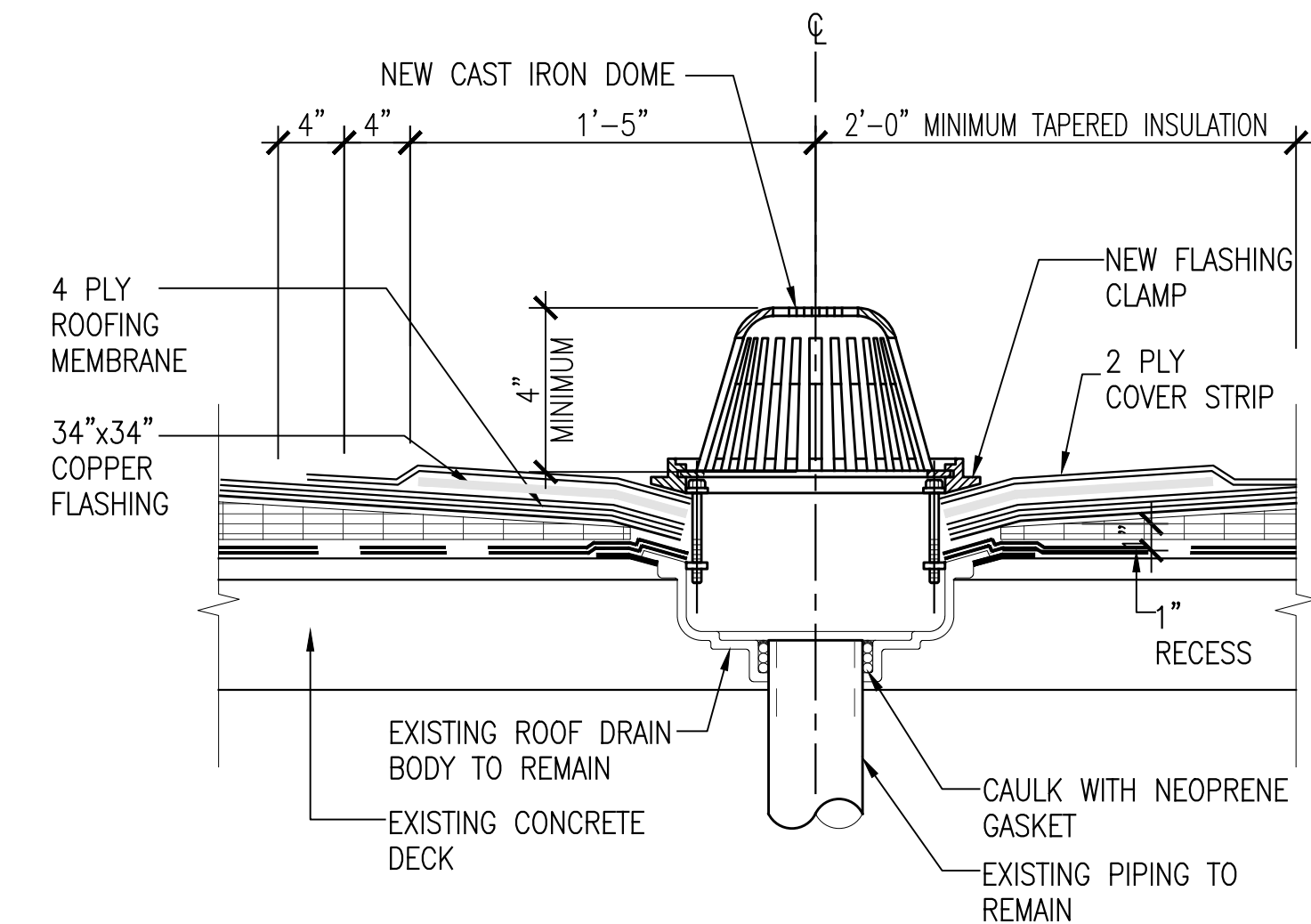
3 EXPANSION JOINT CURB DETAIL
A-106 A-311 SCALE: 1-1/2"=1'-0"



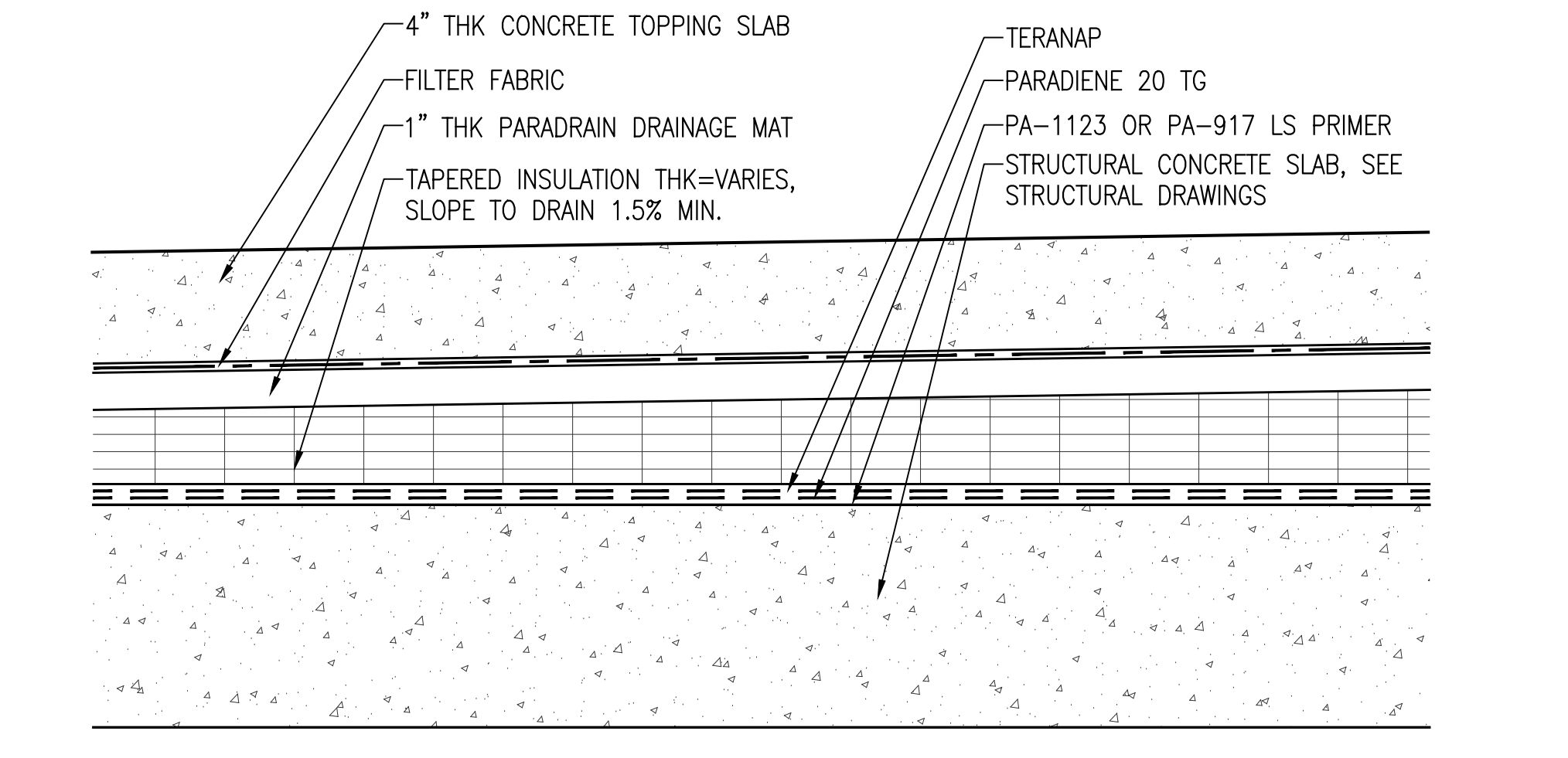
5 ROOFING AT PIPE VENT
A-106 A-311 SCALE: 1-1/2"=1'-0"



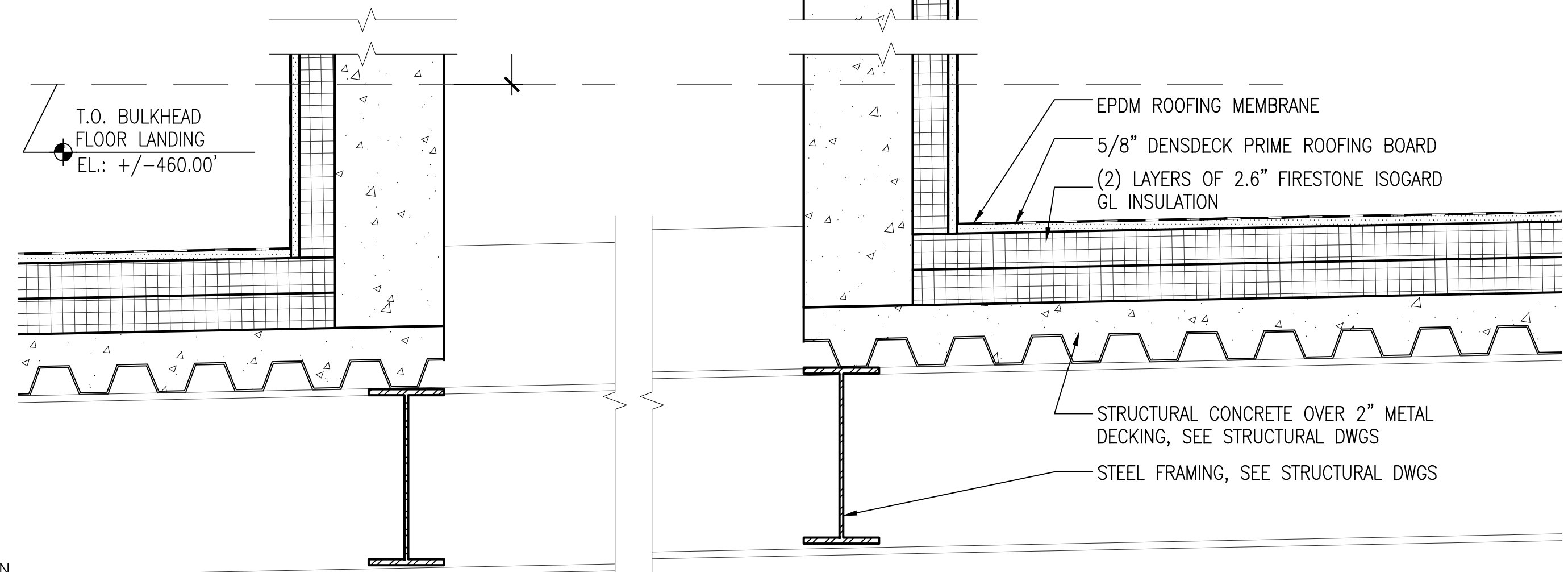
2 TYPICAL SBS ROOF DETAIL
A-106 A-311 SCALE: 3"=1'-0"



4 ROOF DRAIN DETAIL
A-106 A-311 SCALE: 1-1/2"=1'-0"



6 TYPICAL PARKING DECK ASSEMBLY
A-210 A-311 SCALE: 3"=1'-0"



7 TYP. OPENING FOR ROOF TOP UNIT
A-105 A-311 SCALE: 1-1/2"=1'-0"

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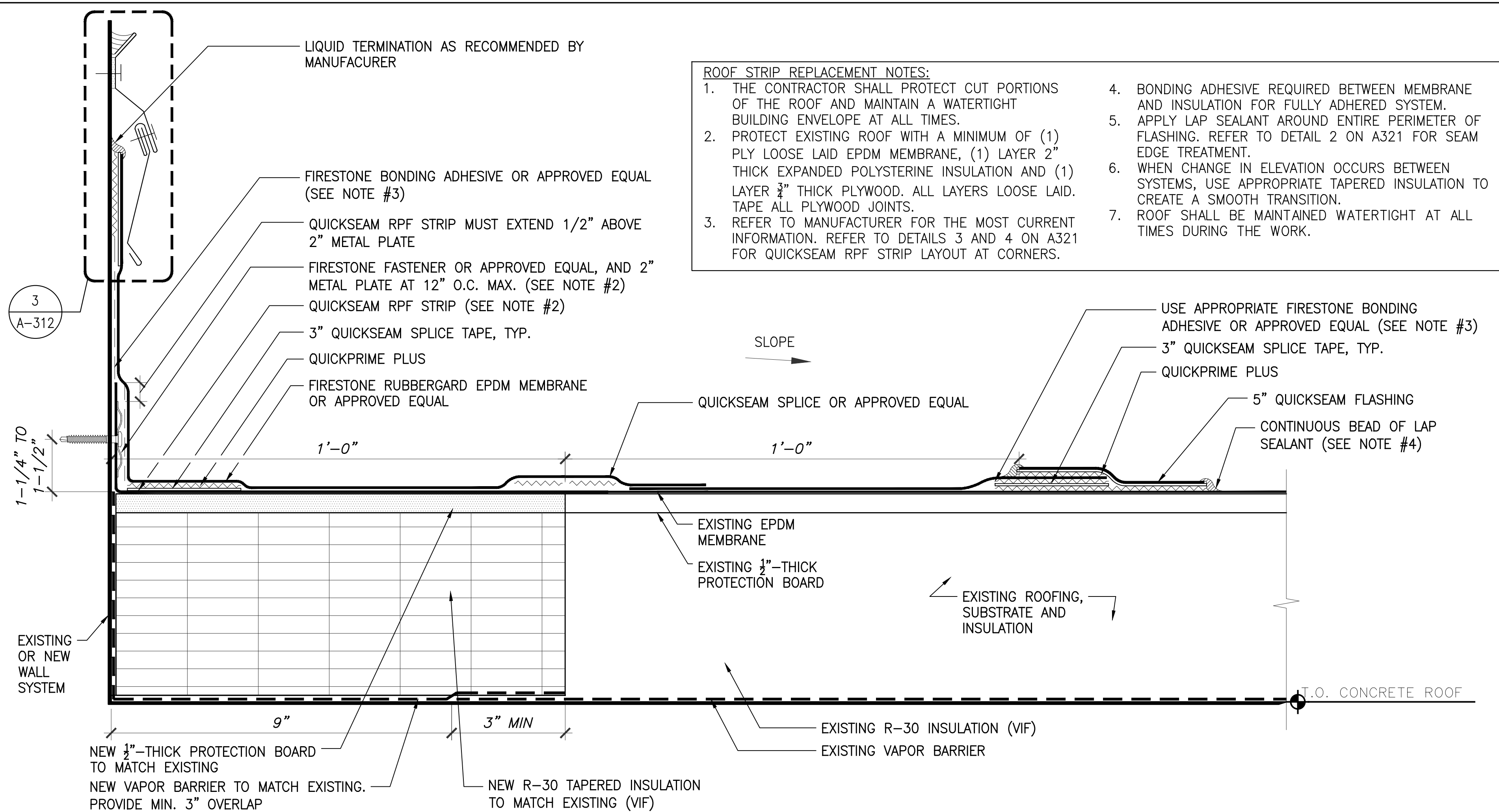
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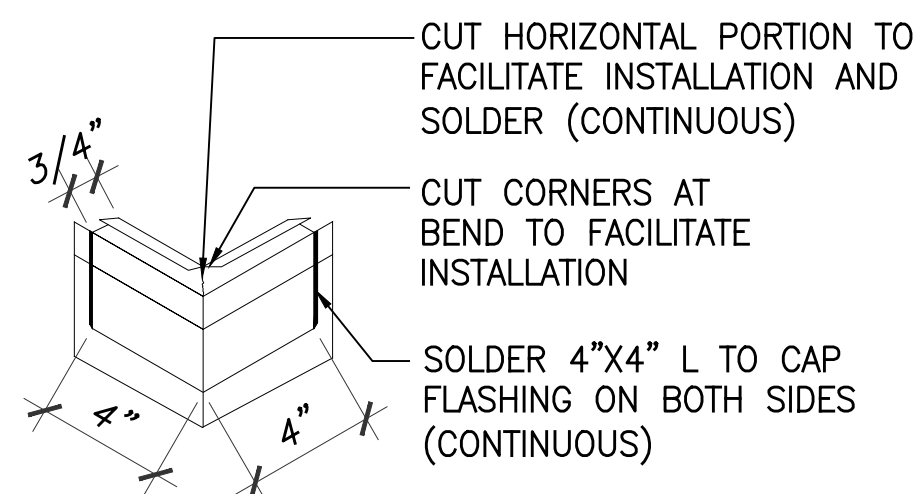
ROOF DETAILS

DWG NUMBER:

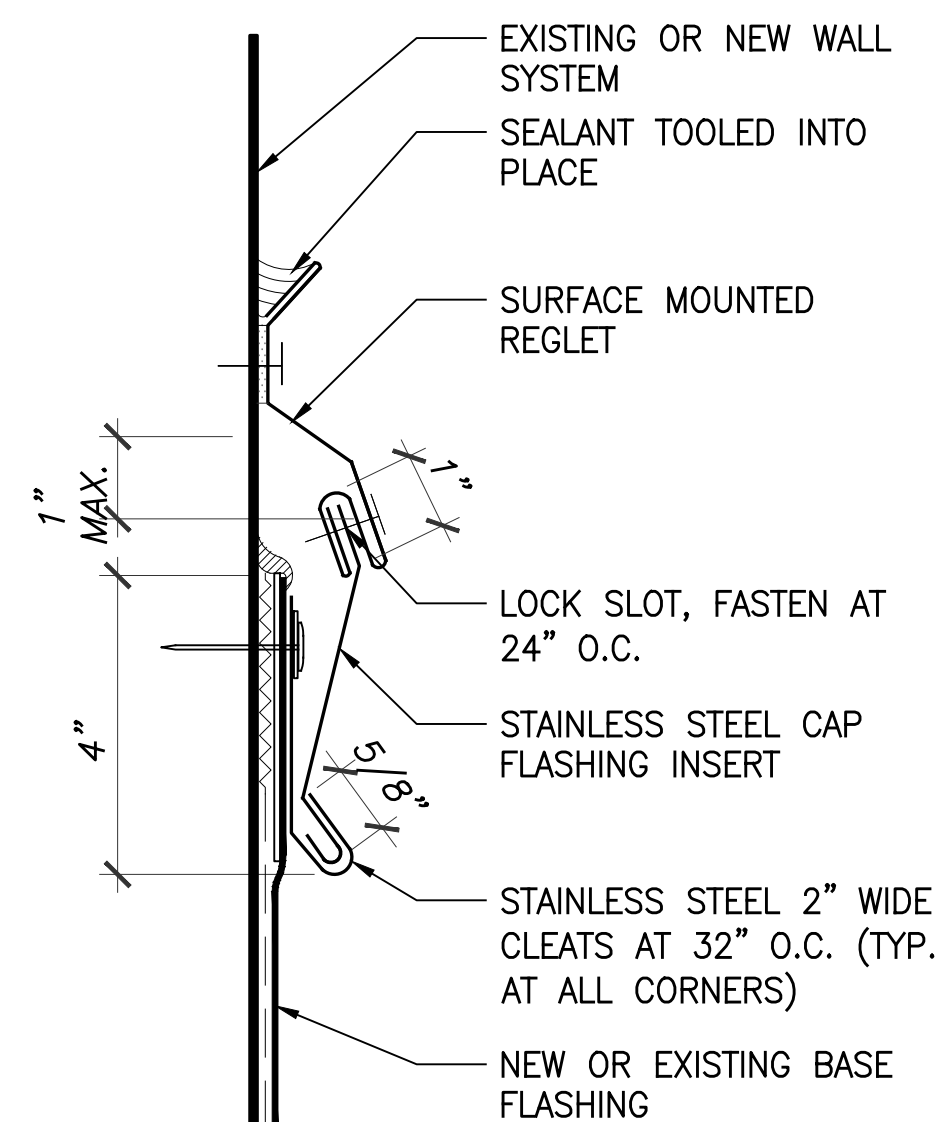
A-311



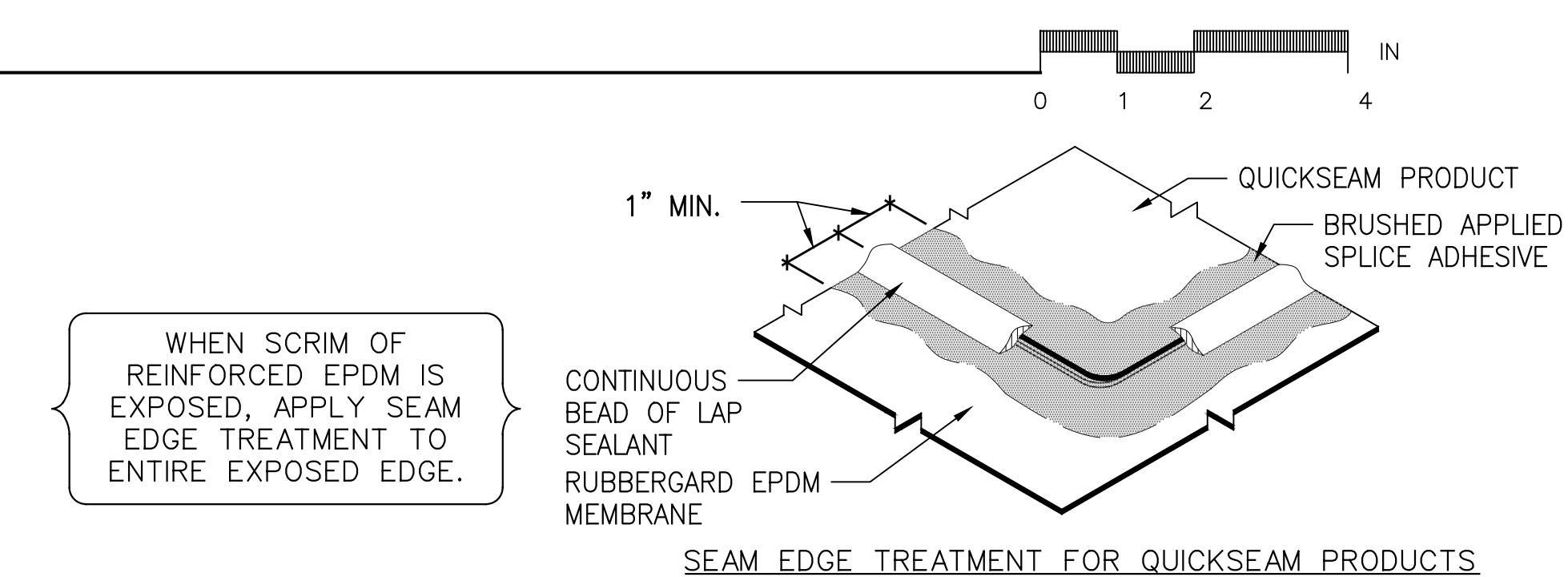
1 ROOF STRIP REPLACEMENT DETAIL
A-106 A-312 SCALE: 6"=1'-0"



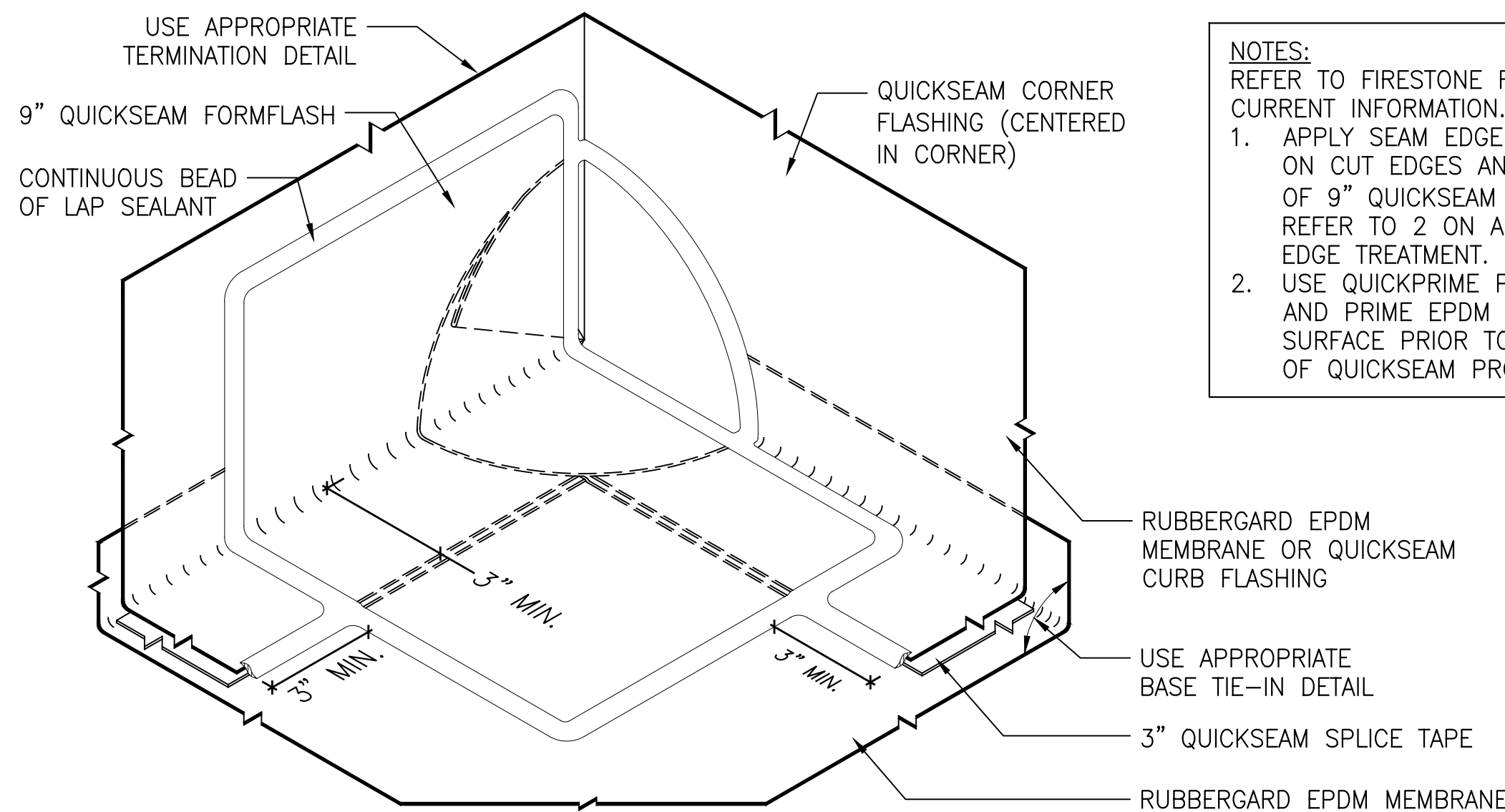
2 CAP FLASHING AT CORNER
A-312 A-312 N.T.S.



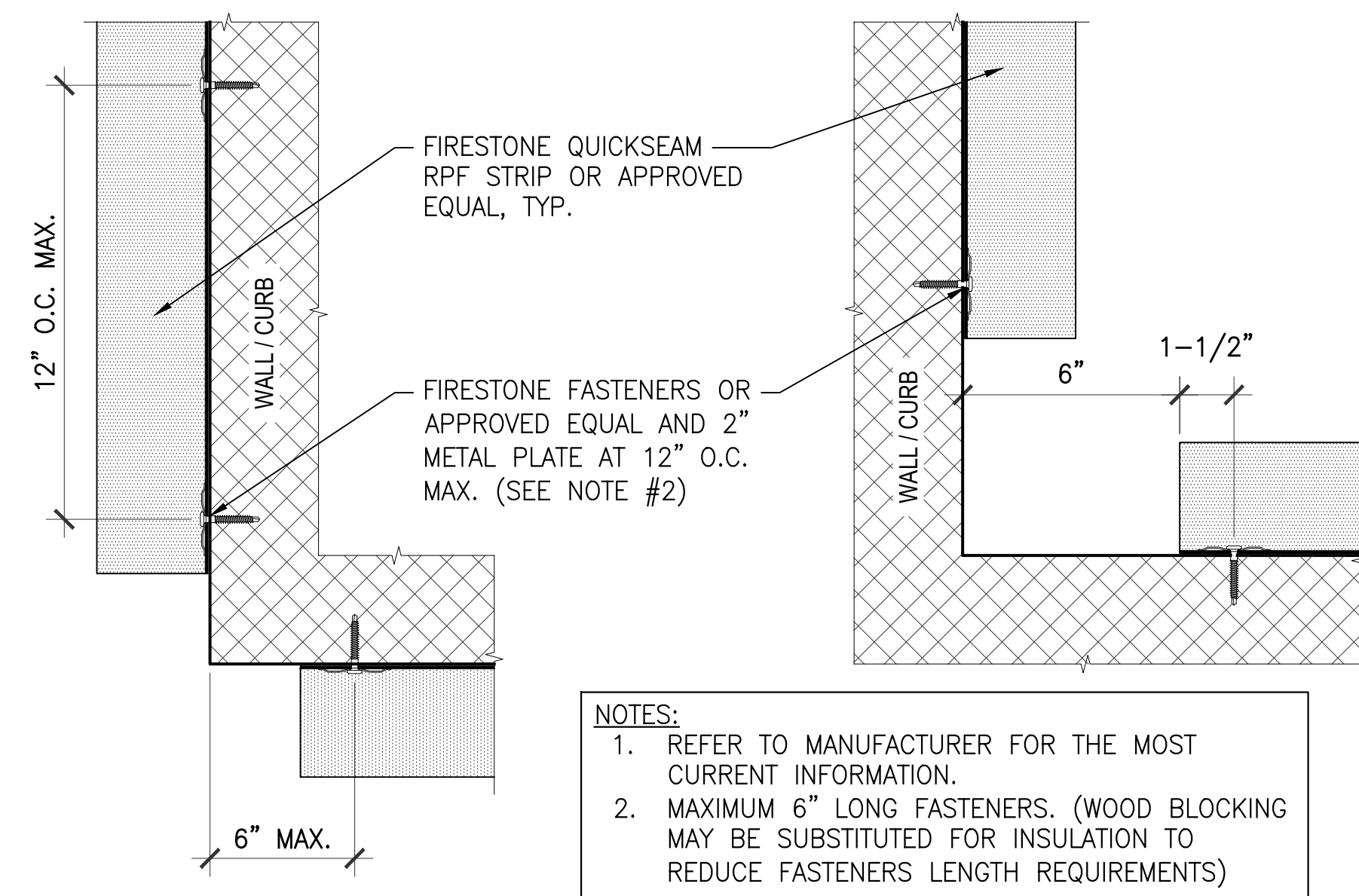
3 BUILT-IN CAP FLASING DETAIL
A-311 A-312 SCALE: 6"=1'-0"



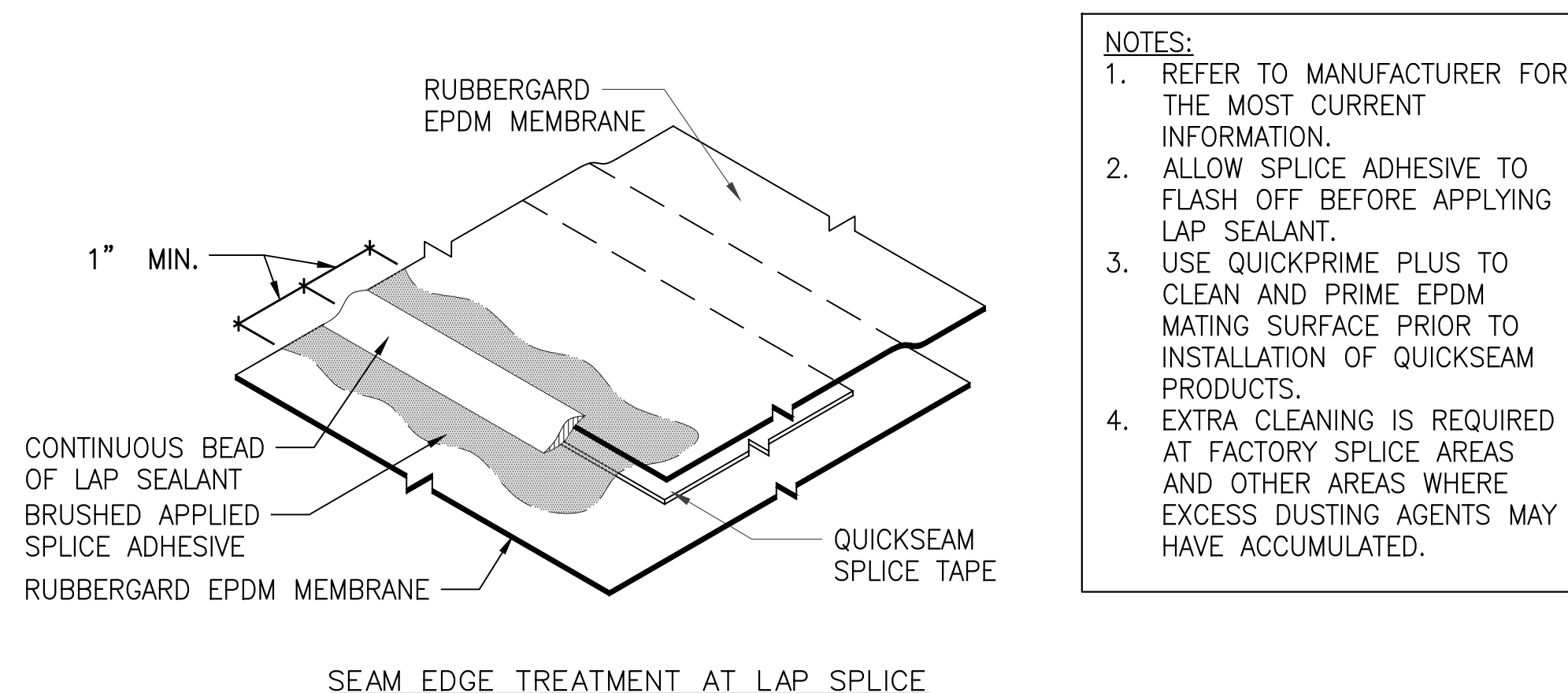
5 SEAM EDGE TREATMENT APPLICATION
A-312 A-312 SCALE: 1-1/2"=1'-0"



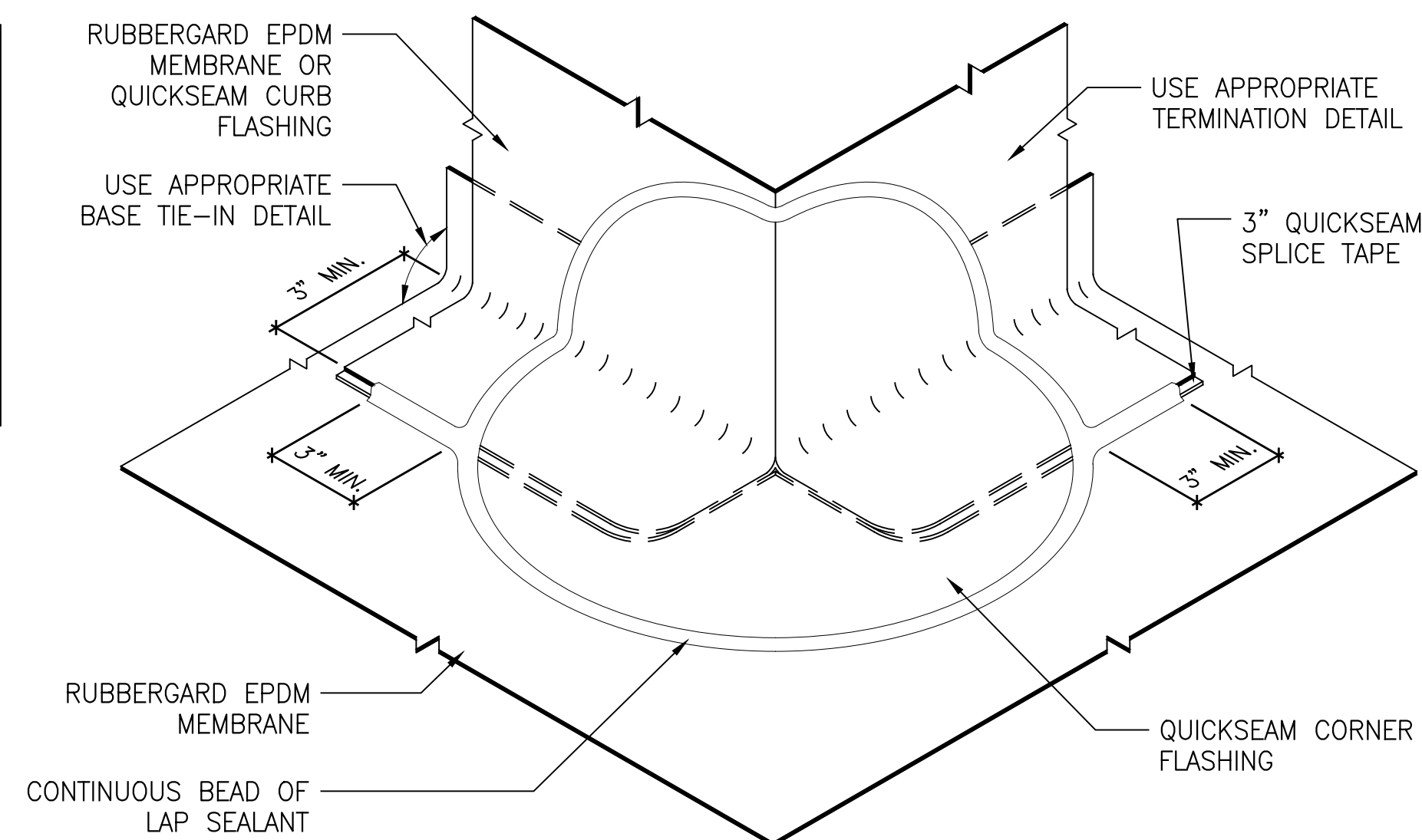
6 INSIDE CORNER WITH SEPARATE WALL FLASHING
A-312 A-312 N.T.S.



4 QUICKSEAM RPF ATTACHED TO WALL/CURB CORNER LAYOUT
A-312 A-312 SCALE: 1-1/2"=1'-0"



- NOTES:**
1. REFER TO MANUFACTURER FOR THE MOST CURRENT INFORMATION.
 2. ALLOW SPLICE ADHESIVE TO FLASH OFF BEFORE APPLYING LAP SEALANT.
 3. USE QUICKPRIME PLUS TO CLEAN AND PRIME EPDM MATING SURFACE PRIOR TO INSTALLATION OF QUICKSEAM PRODUCTS.
 4. EXTRA CLEANING IS REQUIRED AT FACTORY SPLICE AREAS AND OTHER AREAS WHERE EXCESS DUSTING AGENTS MAY HAVE ACCUMULATED.



7 OUTSIDE CORNER WITH QUICKSEAM CORNER FLASHING
A-312 A-312 N.T.S.

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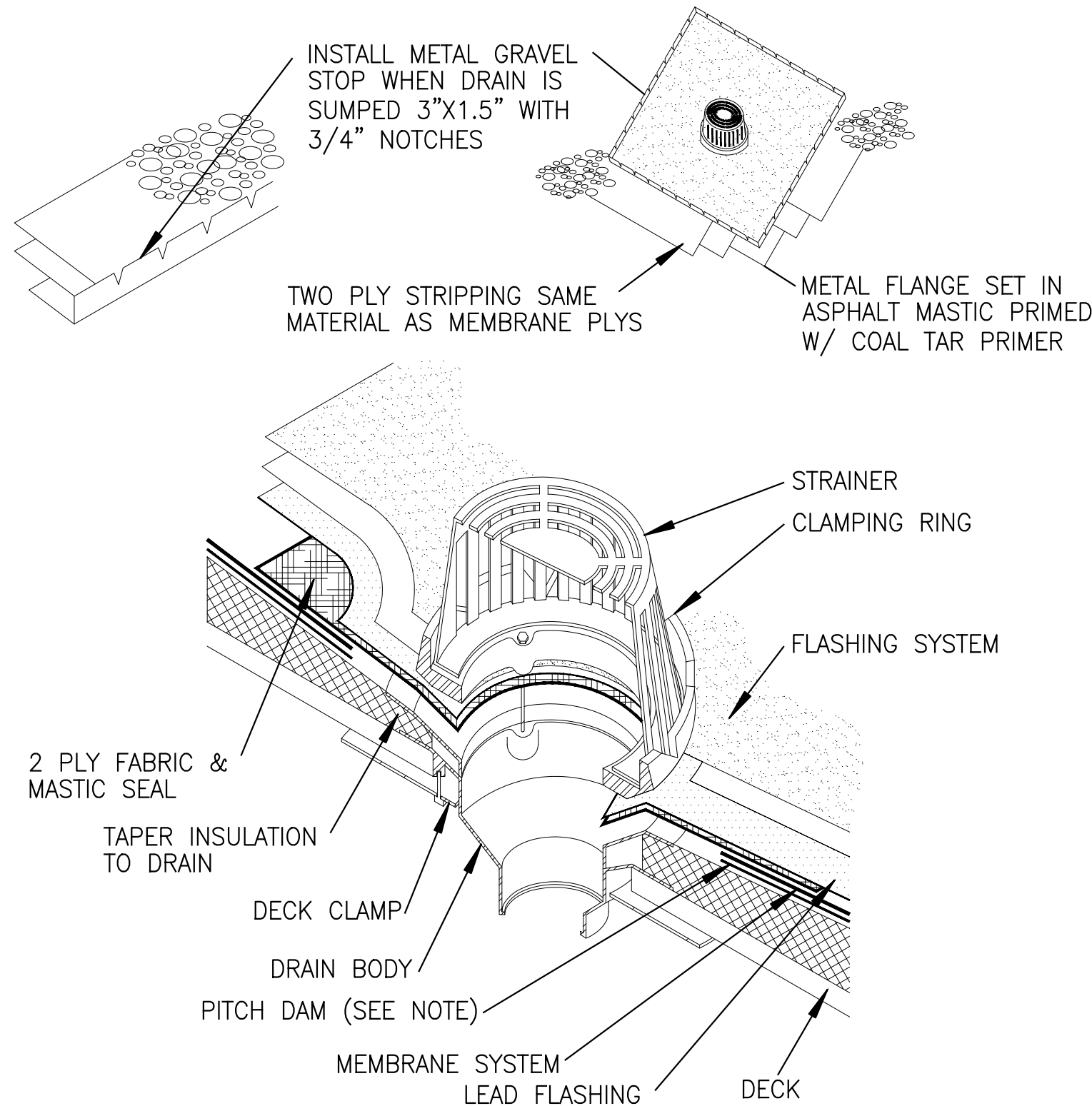
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DRAWING TITLE:
TYPICAL EPDM ROOF REPAIR DETAIL

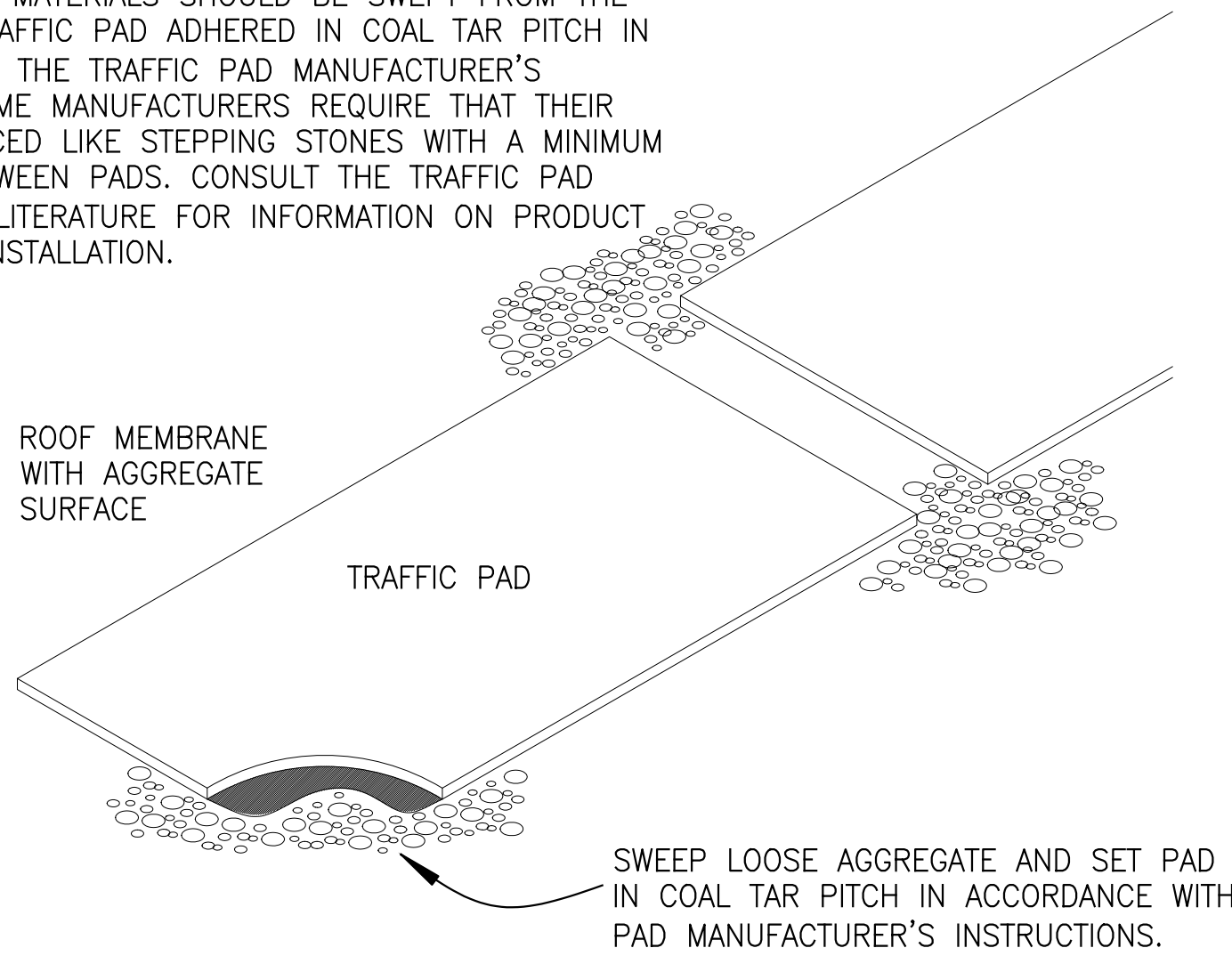
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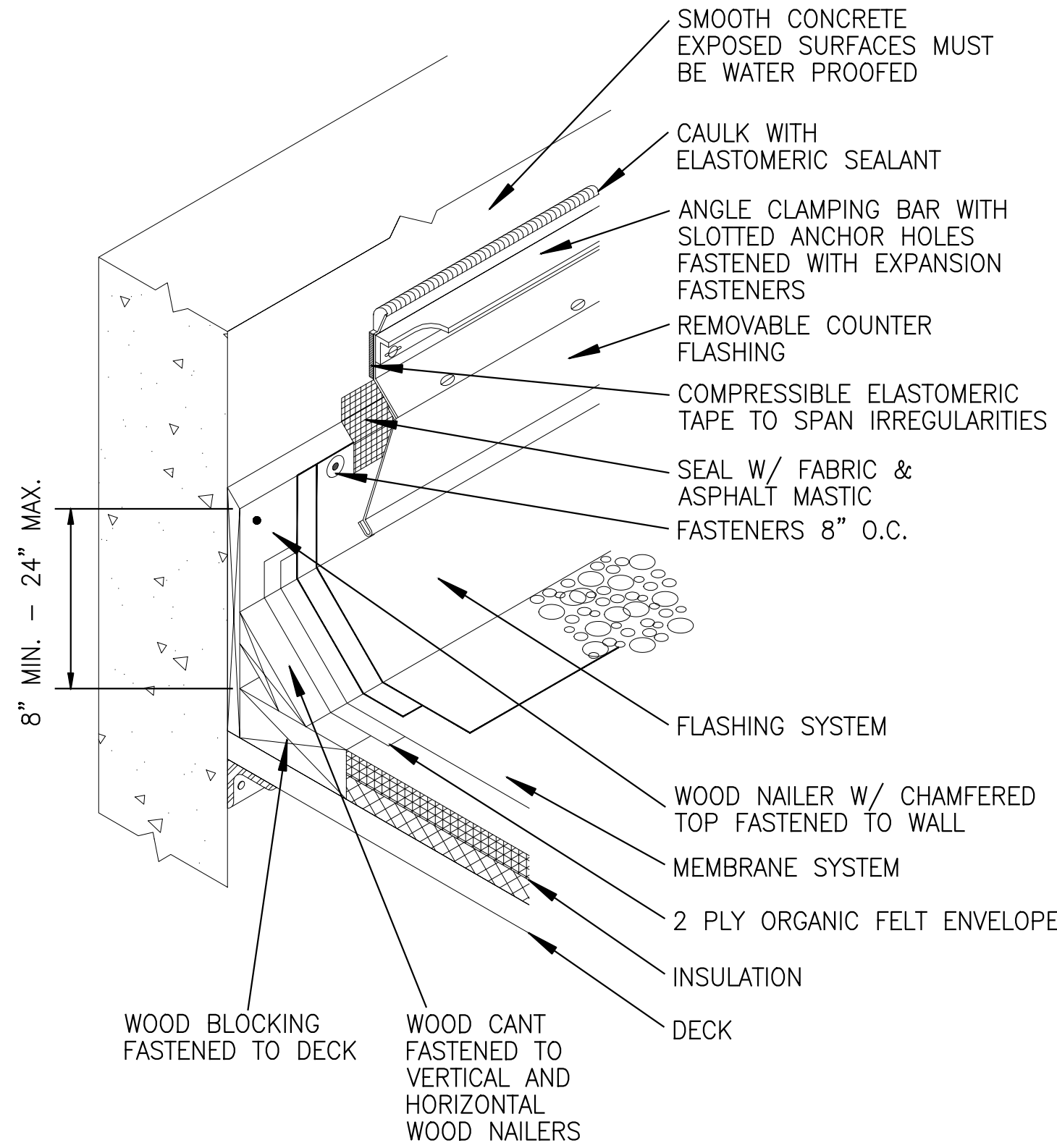
PITCH DAM NOTE:
INSTALL A 3'X3' SHEET OF ORGANIC BASE OR TWO PLIES OF 15LB FELT, CENTERED OVER THE DRAIN BOWL AND SET IN STEEP ASPHALT OR ASPHALT MASTIC. AFTER THE COAL TAR MEMBRANE PLIES ARE IN PLACE, CUT THROUGH THE MEMBRANE AND PITCH DAM FELT APPROXIMATELY 2 INCHES BACK FROM AROUND THE DRAIN BOWL FLANGE AND REMOVE THE FELT COVERING THE DRAIN BOWL. COVER THE DRAIN BOWL FLANGE, THE EXPOSED INSULATION AND 4 INCHES ONTO THE MEMBRANE WITH TWO PLIES OF FABRIC SET INTO ALTERNATE COATS OF ASPHALT MASTIC.

1 ROOF DRAIN WITH TAPER
A-313 A-313 N.T.S.

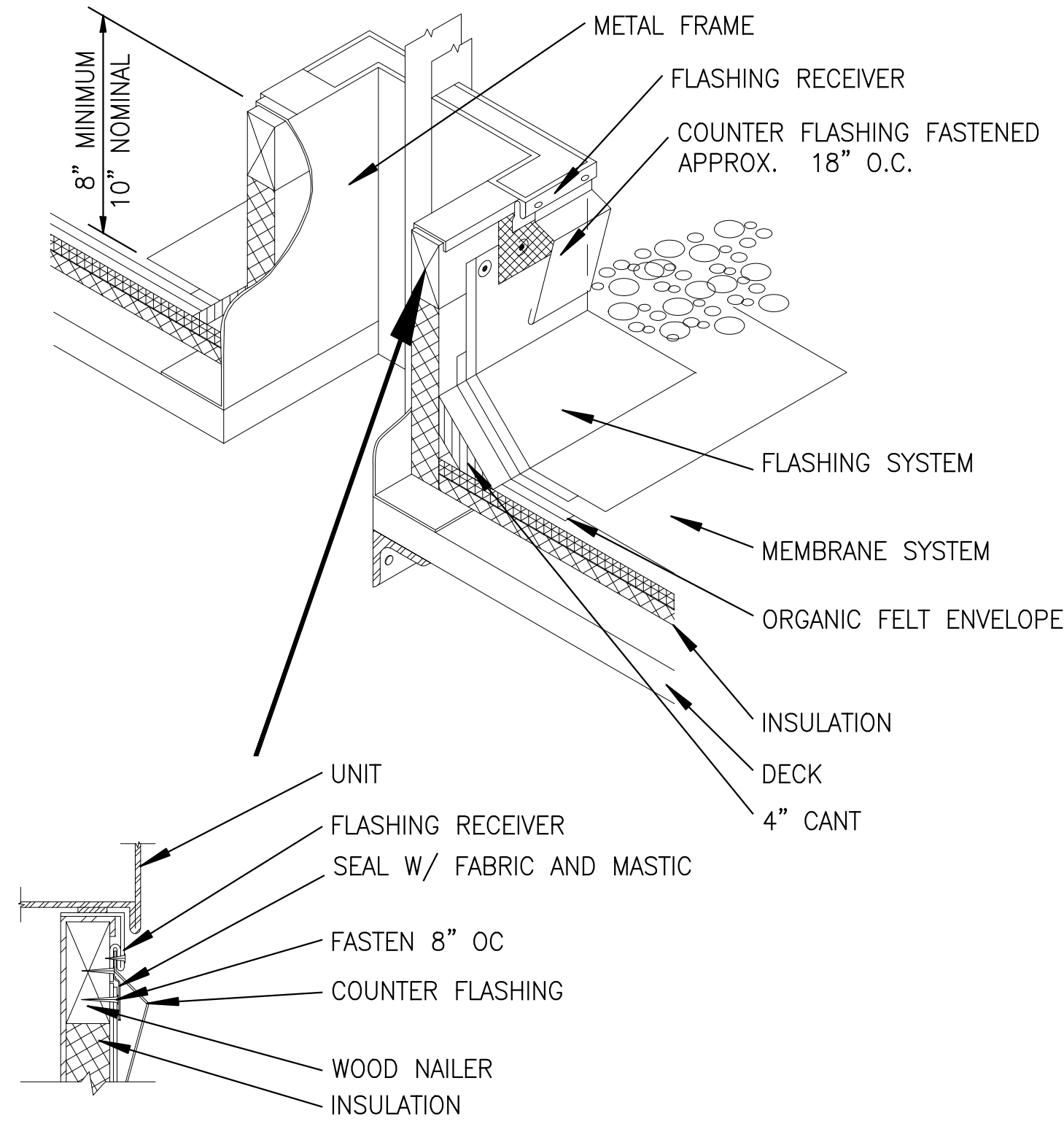
GENERAL INSTALLATION REQUIREMENTS:
TRAFFIC PADS SHOULD BE INSTALLED AFTER THE ROOF HAS BEEN COMPLETELY SURFACED WITH GRAVEL, SLAG, ETC. ALL LOOSE SURFACING MATERIALS SHOULD BE SWEEPED FROM THE AREA AND THE TRAFFIC PAD ADHERED IN COAL TAR PITCH IN ACCORDANCE WITH THE TRAFFIC PAD MANUFACTURER'S INSTRUCTIONS. SOME MANUFACTURERS REQUIRE THAT THEIR PRODUCT BE SPACED LIKE STEPPING STONES WITH A MINIMUM OF 6 INCHES BETWEEN PADS. CONSULT THE TRAFFIC PAD MANUFACTURER'S LITERATURE FOR INFORMATION ON PRODUCT SUITABILITY AND INSTALLATION.



4 TRAFFIC PAD
A-313 A-313 N.T.S.



2 CONCRETE PARAPET
A-313 A-313 N.T.S.



3 HVAC CURB
A-313 A-313 N.T.S.

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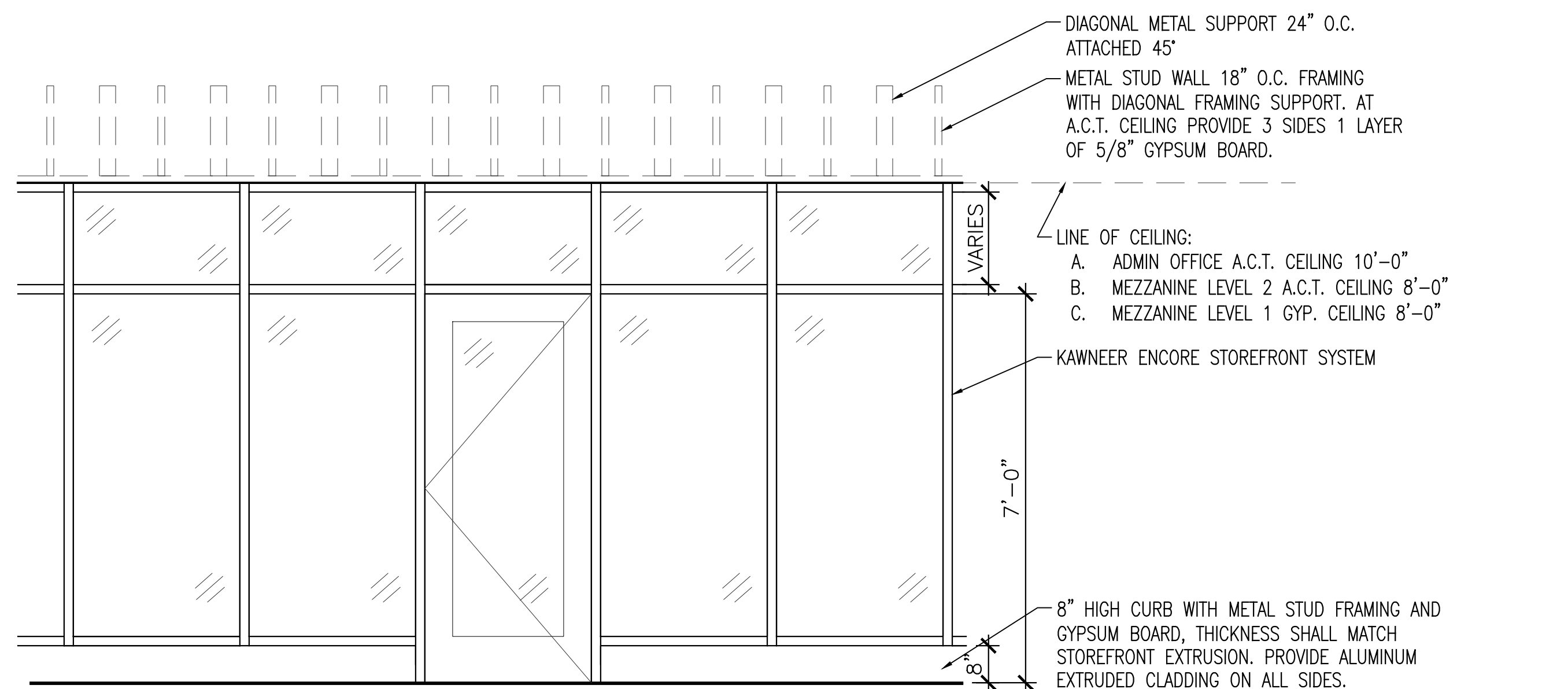
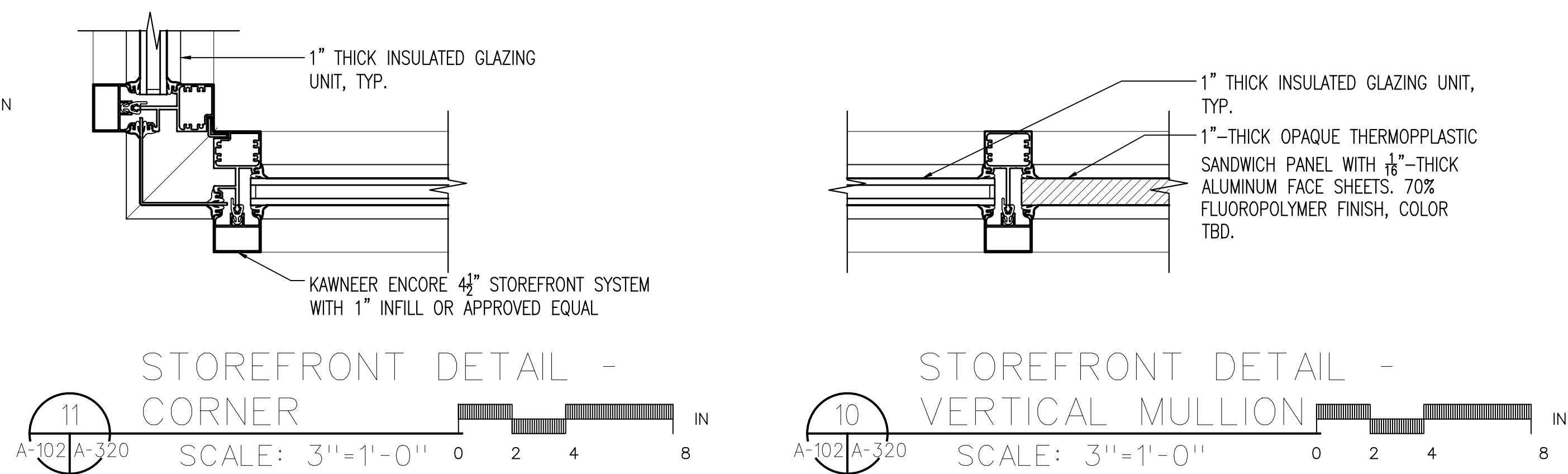
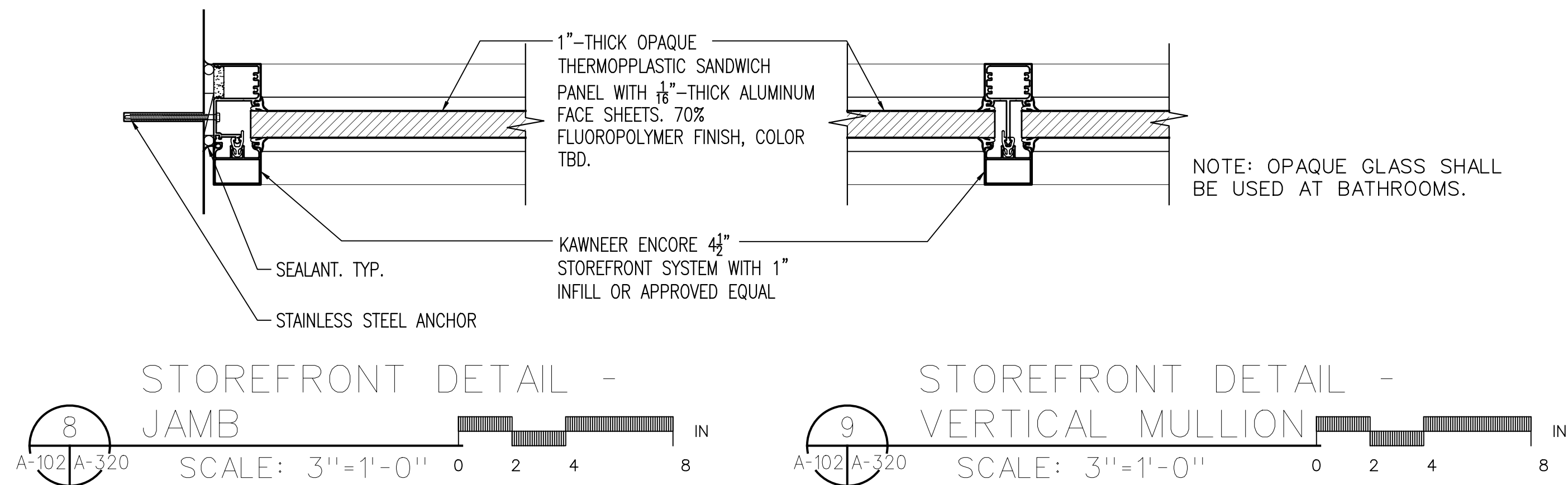
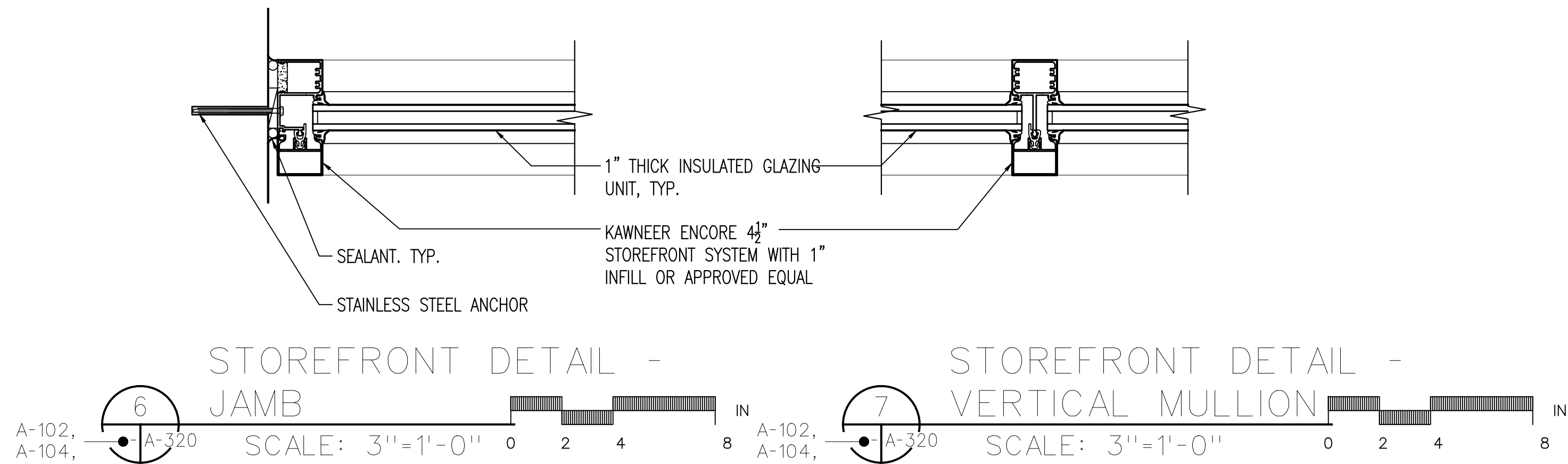
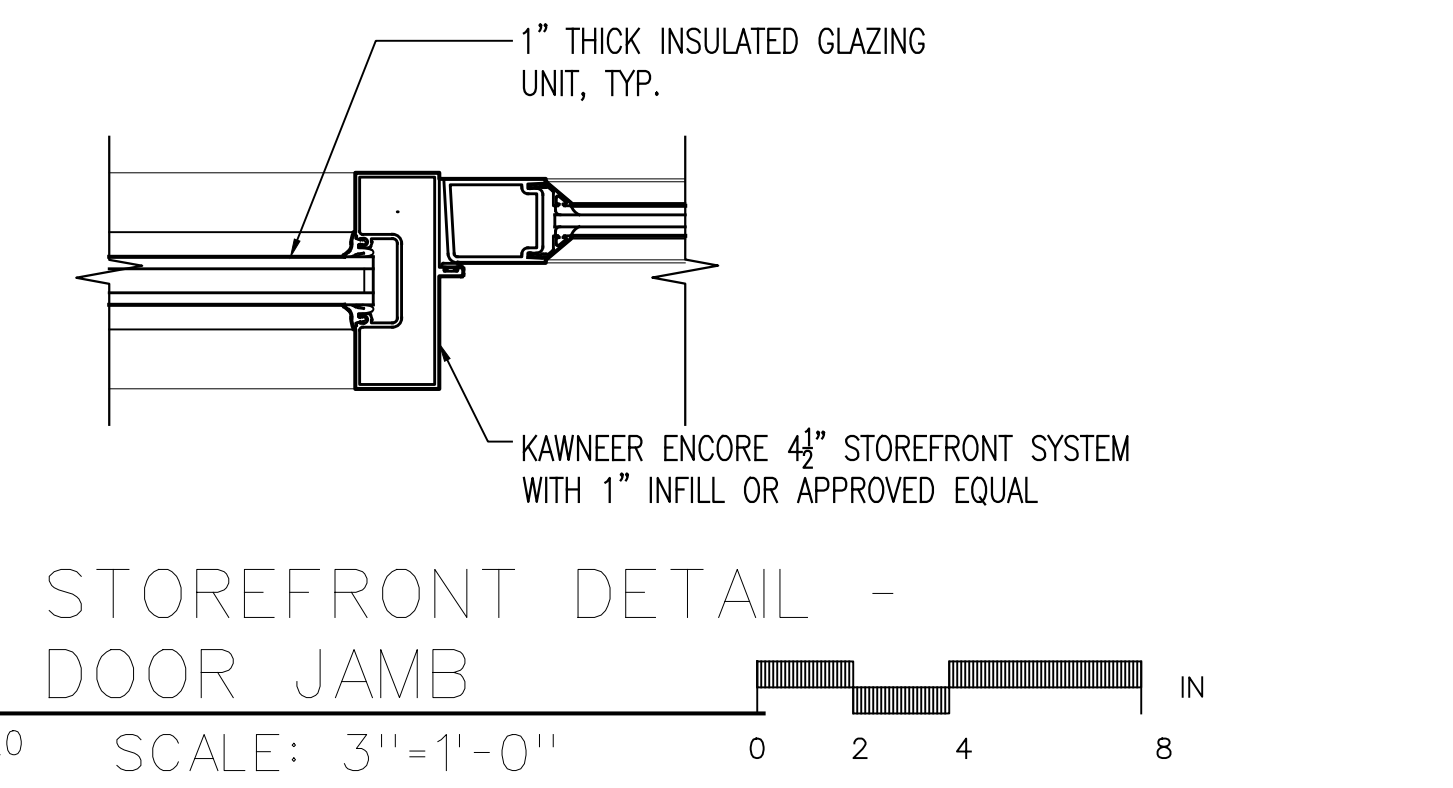
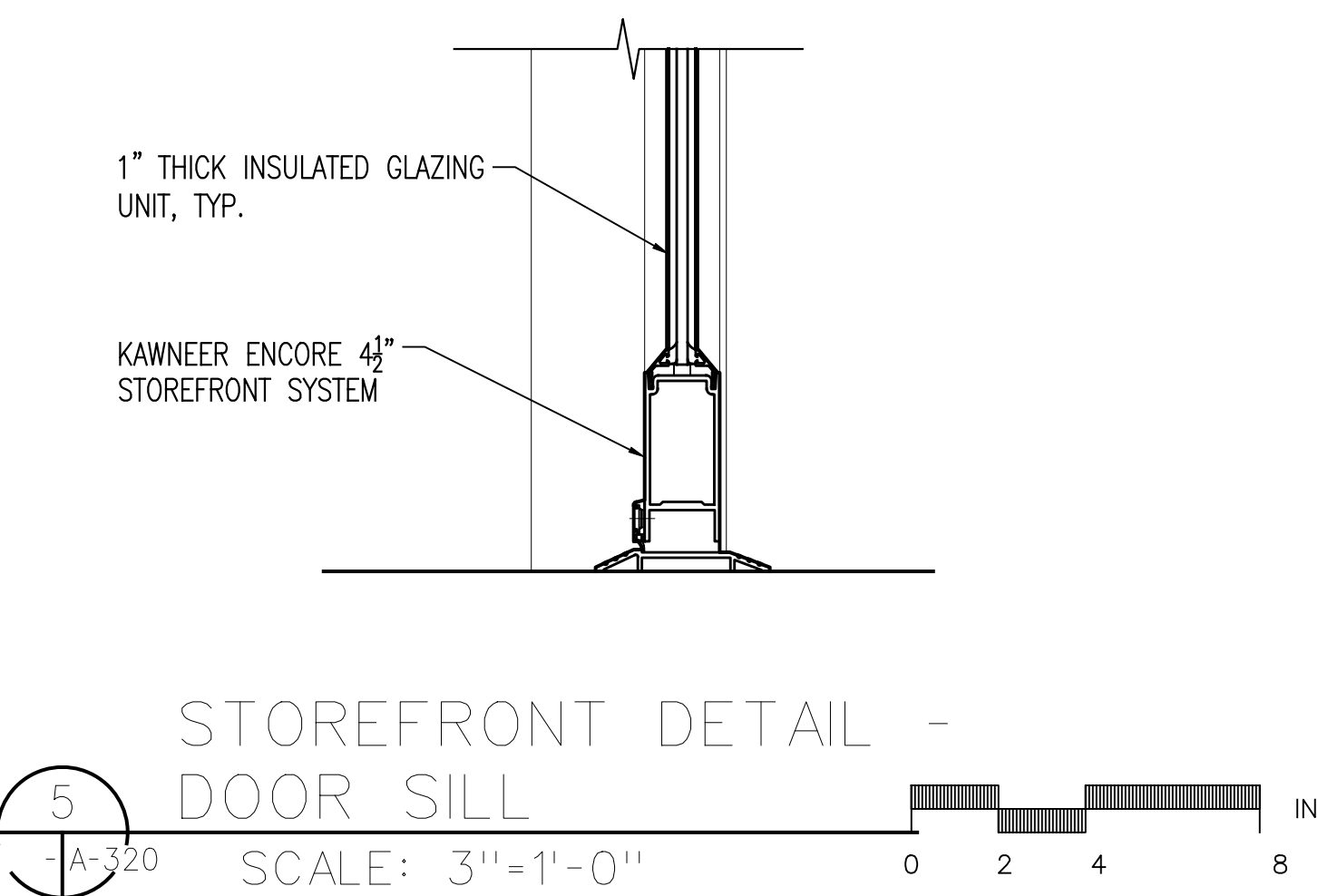
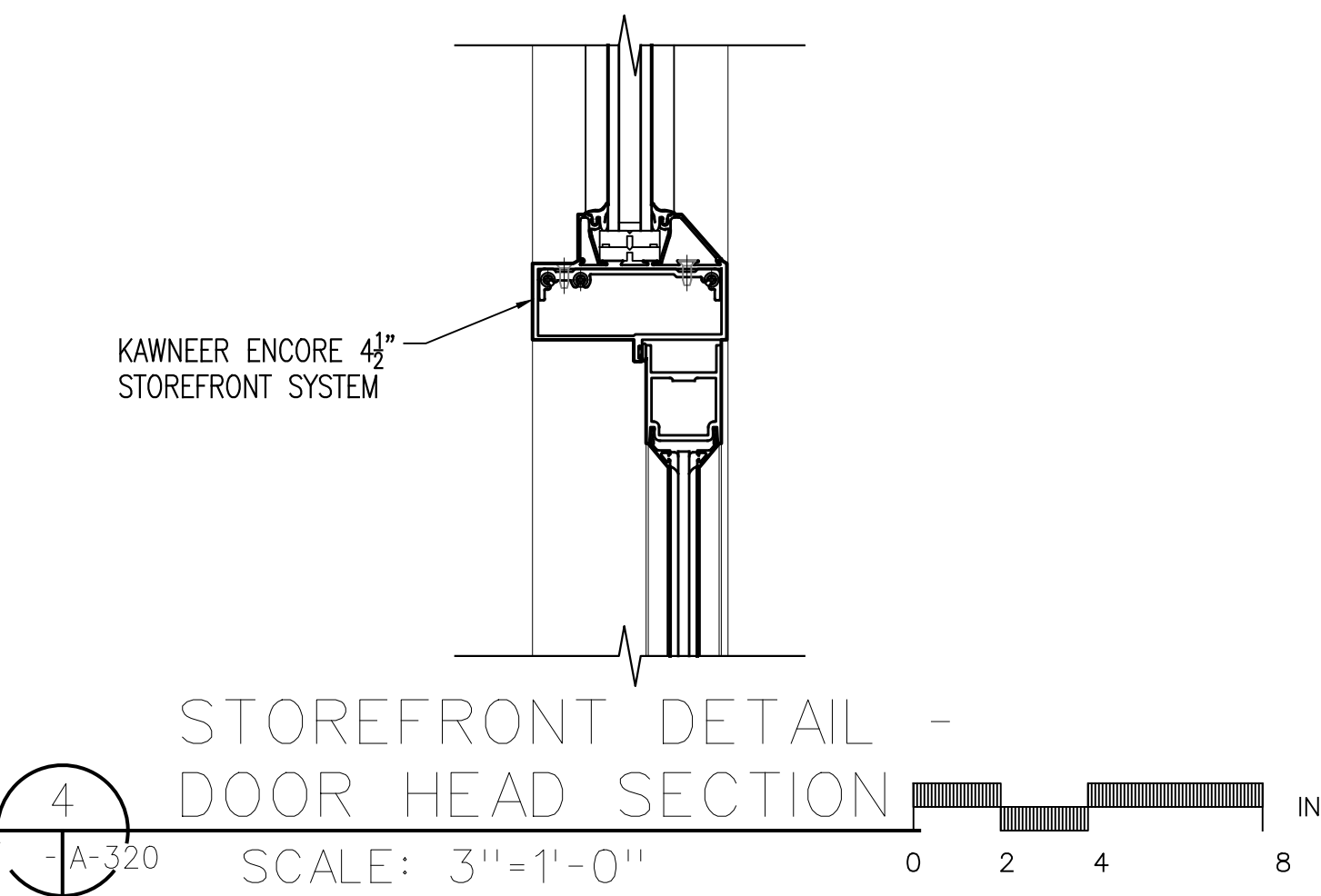
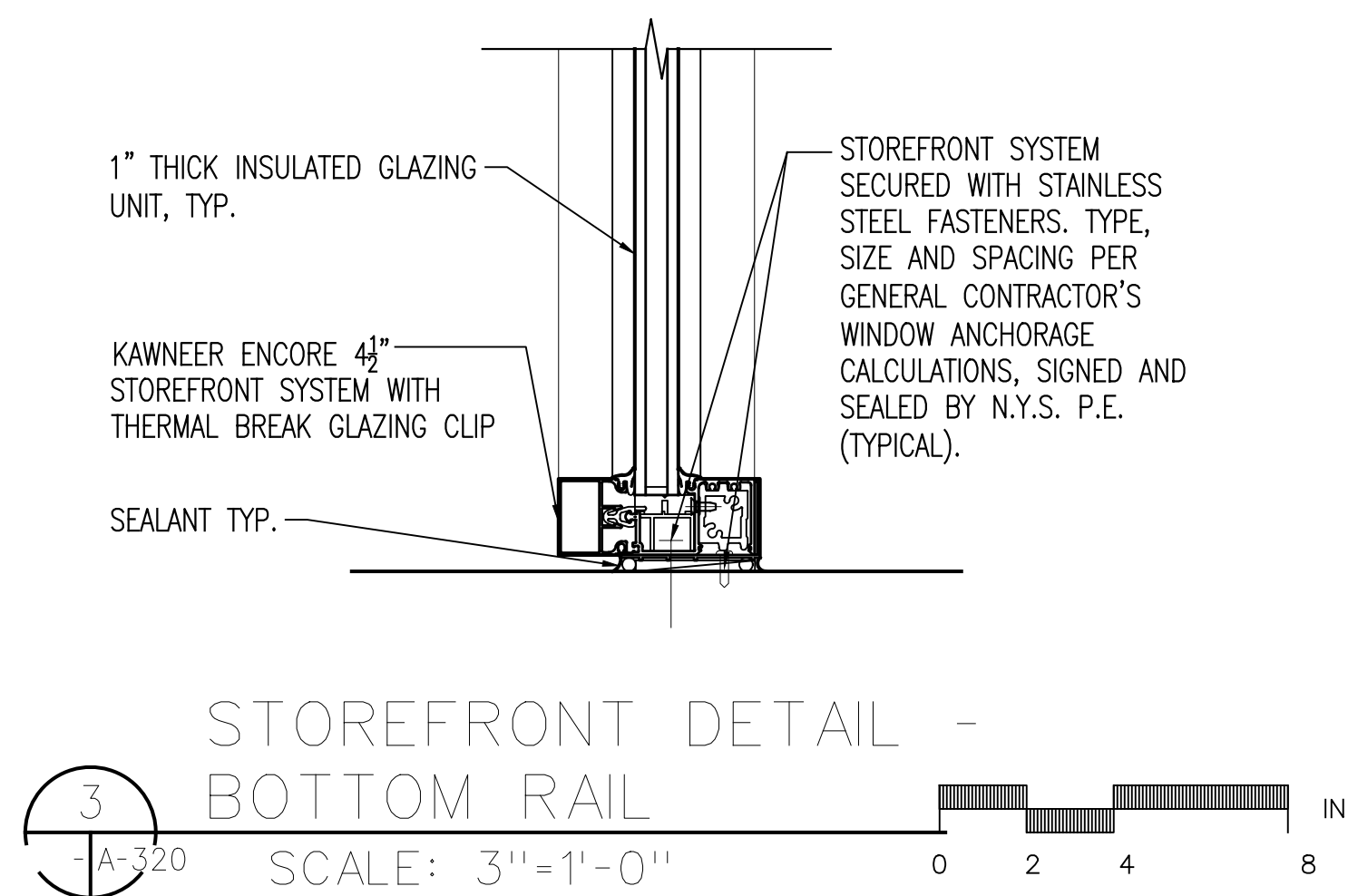
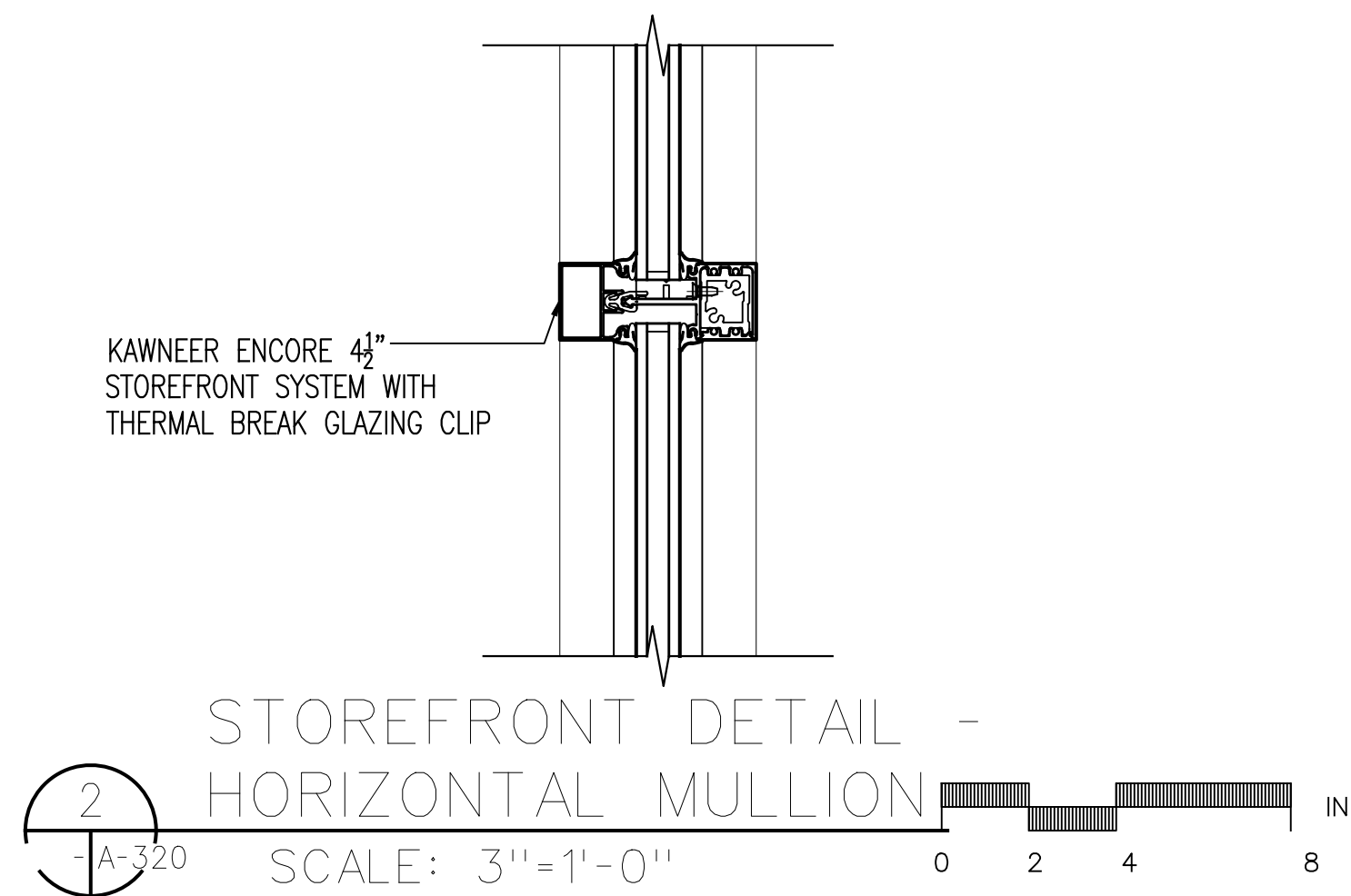
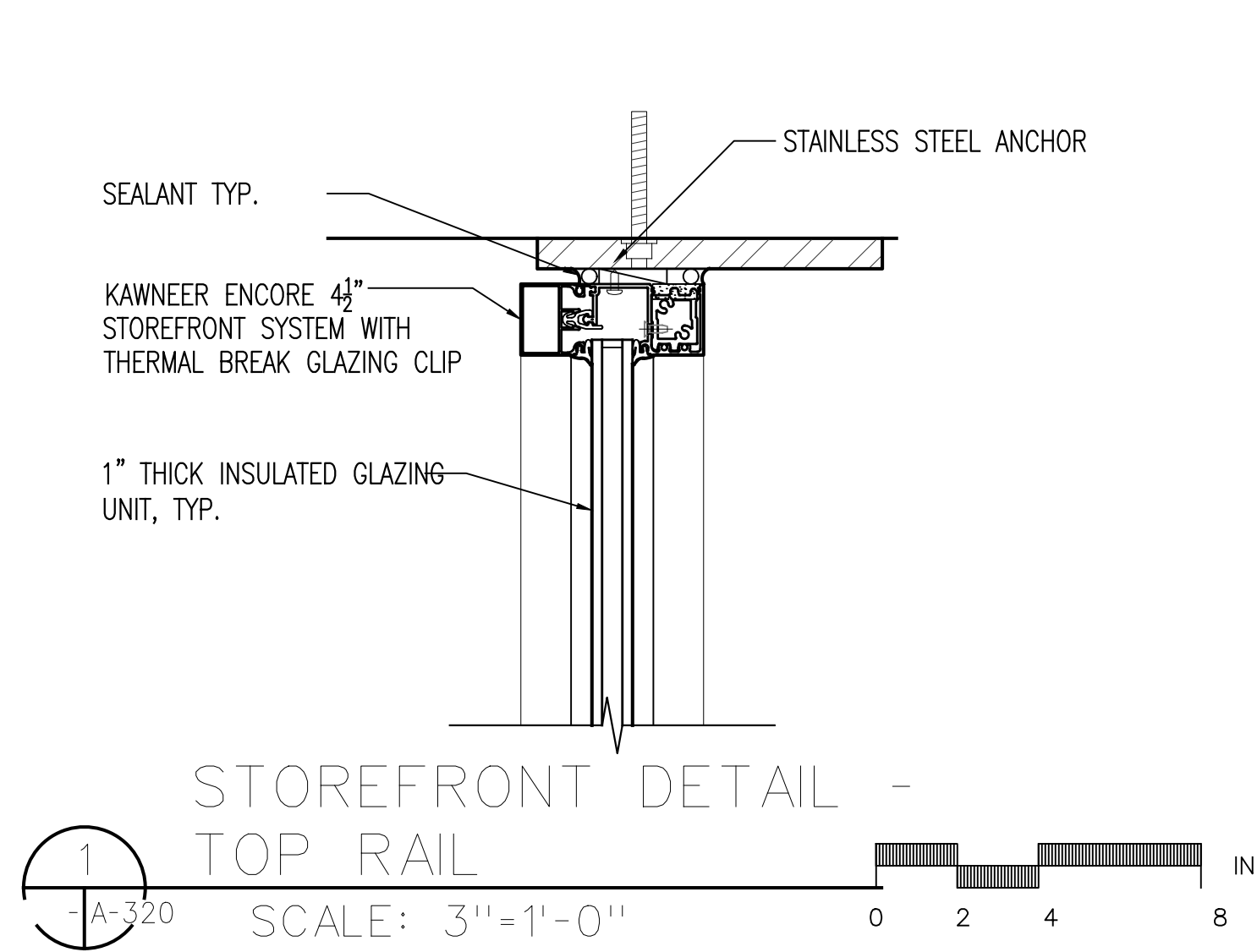
REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
-	ISSUED FOR CONSTRUCTION	11.30.21

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CHECKED BY :	D. TOBAR, R.A.
APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE :
**TYPICAL COAL TAR
MEMBRANE SYSTEM**

DWG NUMBER :

A-313



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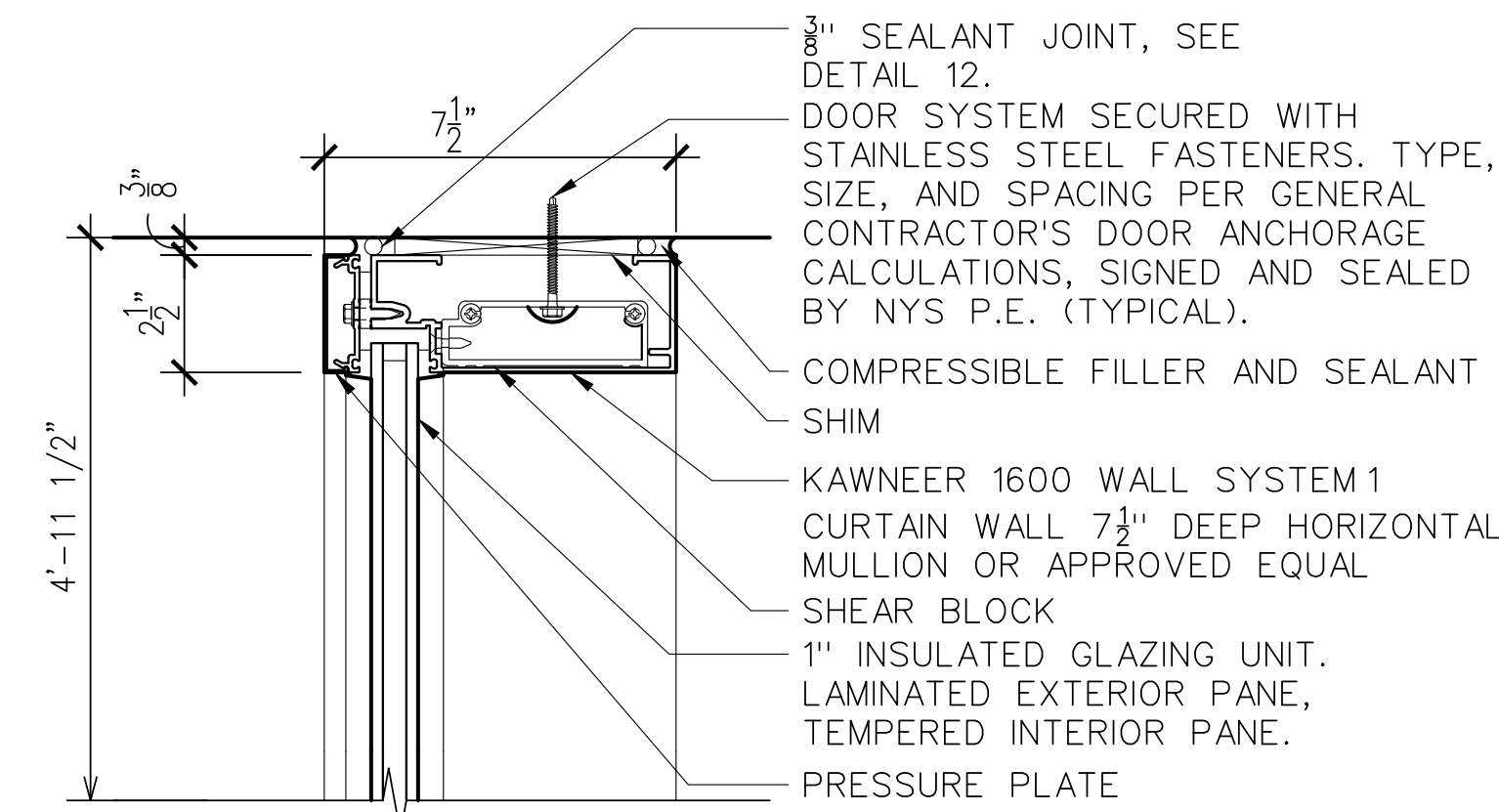
DRAWN BY:	S. WOO
CHECKED BY:	D. TOBAR, R.A.
APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:

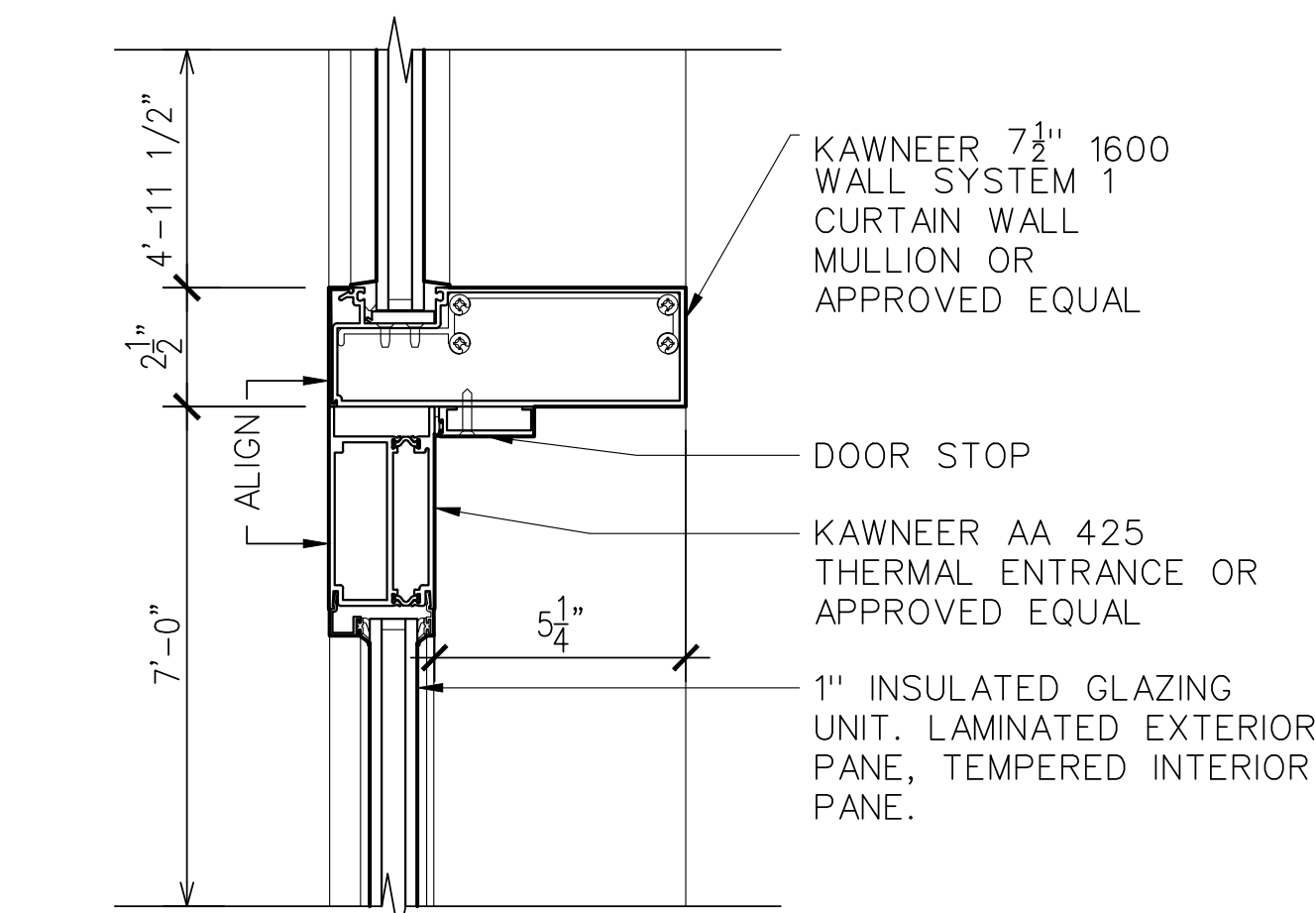
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DWG NUMBER:

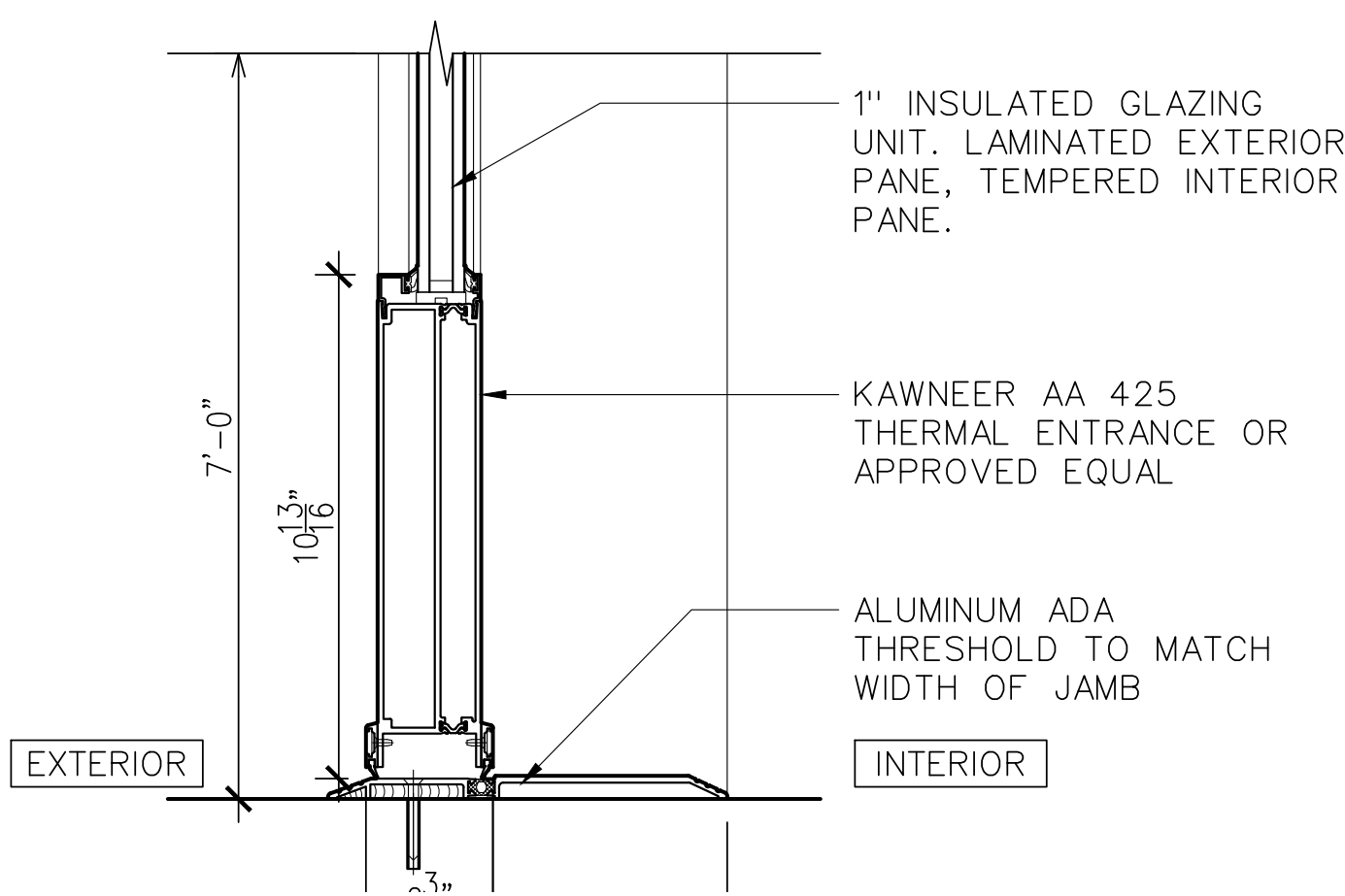
A-320



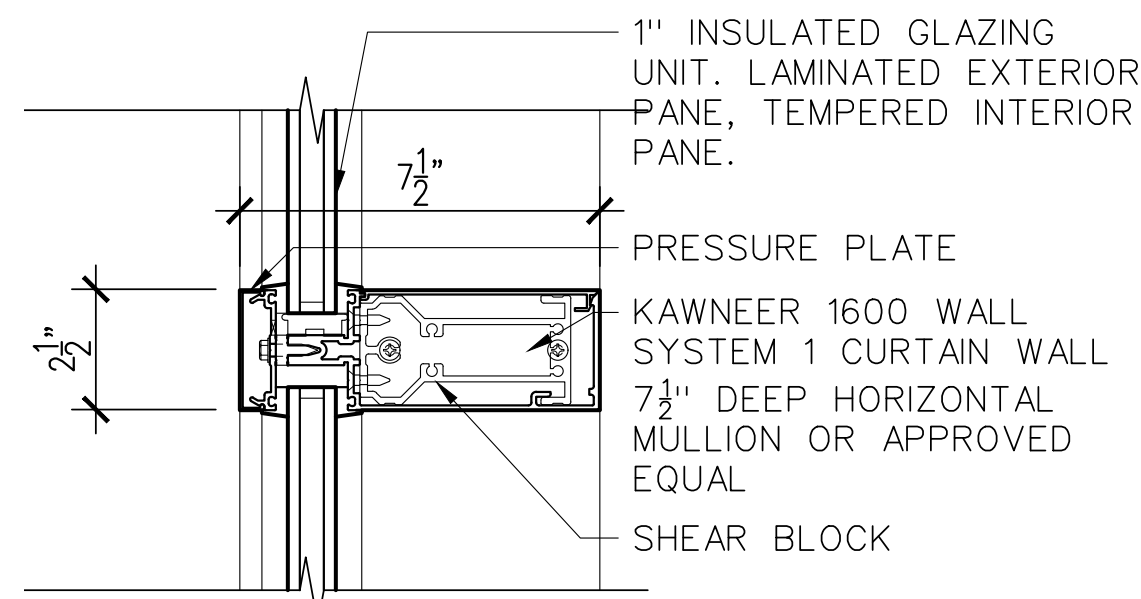
1 CURTAIN WALL DETAIL - TOP RAIL
SCALE: 3"=1'-0"



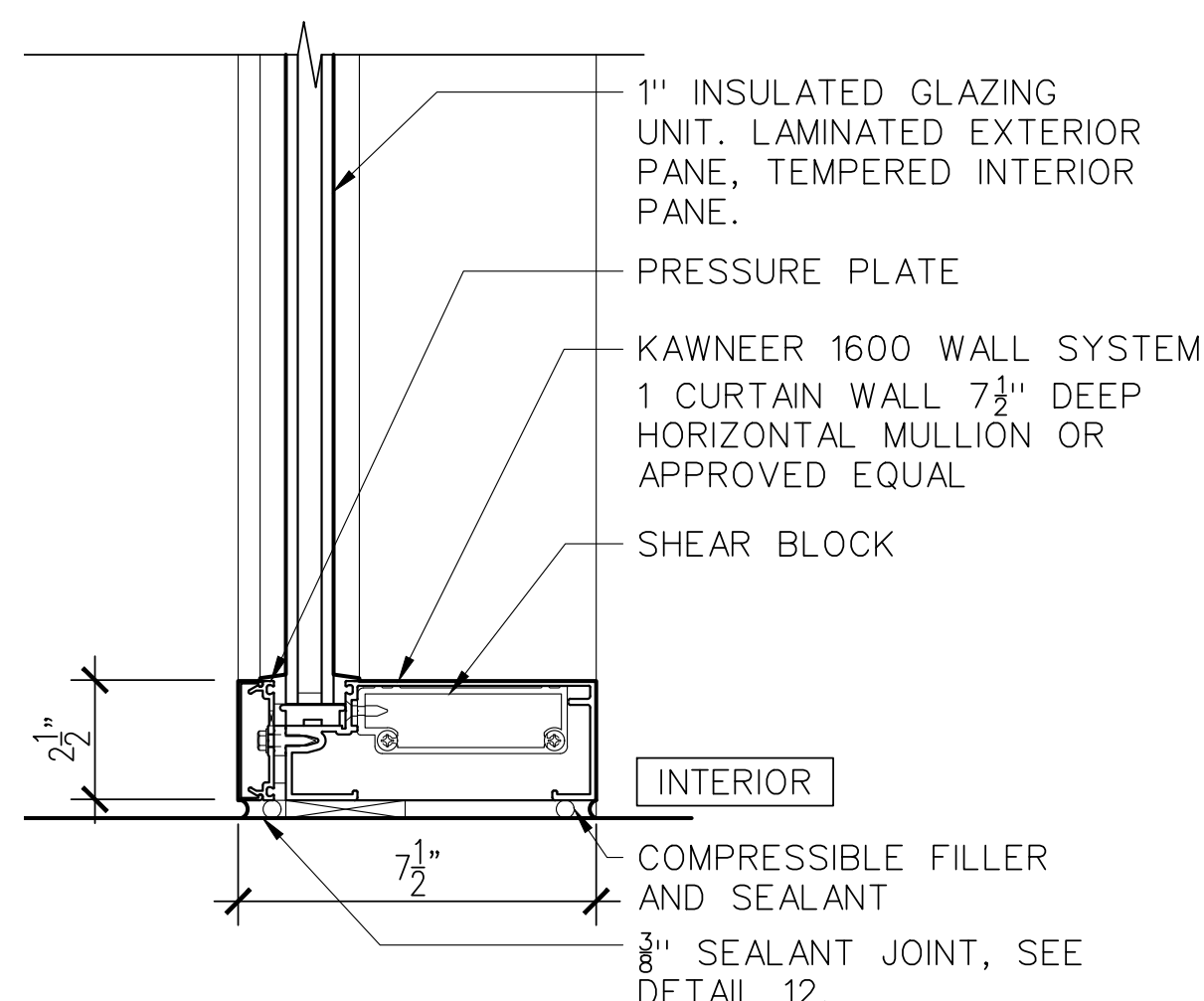
2 CURTAIN WALL DETAIL - DOOR HEAD
SCALE: 3"=1'-0"



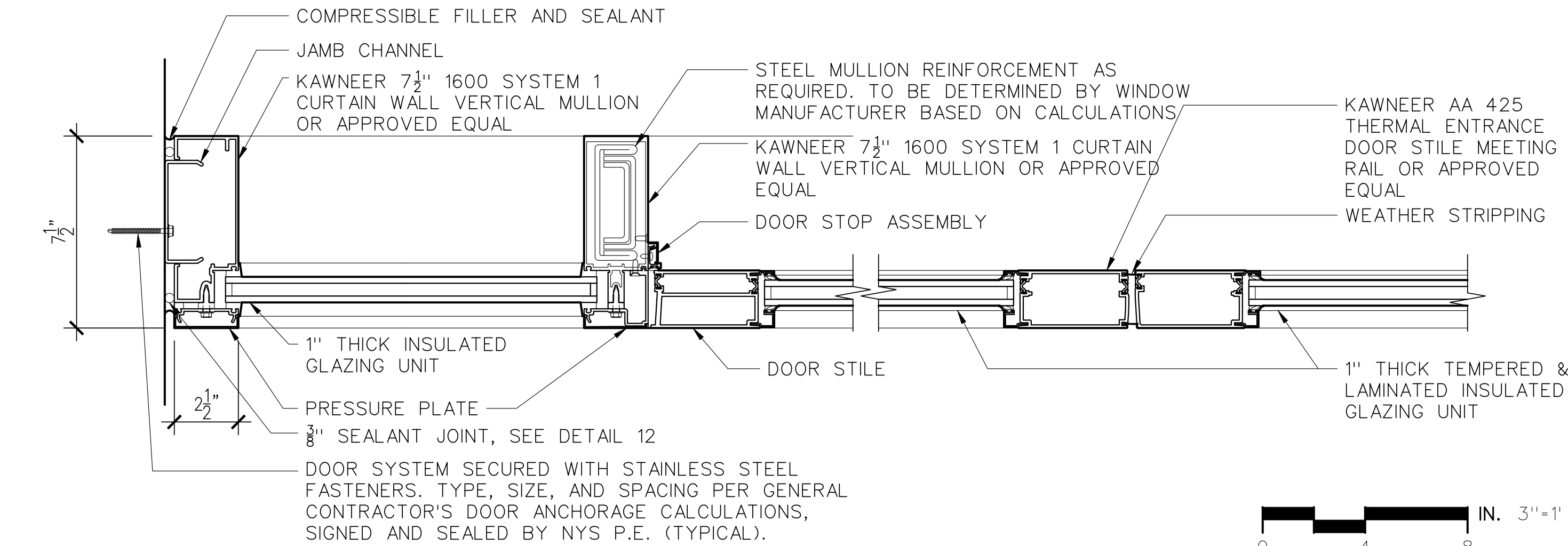
3 CURTAIN WALL DETAIL - DOOR SILL
SCALE: 3"=1'-0"



4 CURTAIN WALL DETAIL - HORIZONTAL MULLION
SCALE: 3"=1'-0"



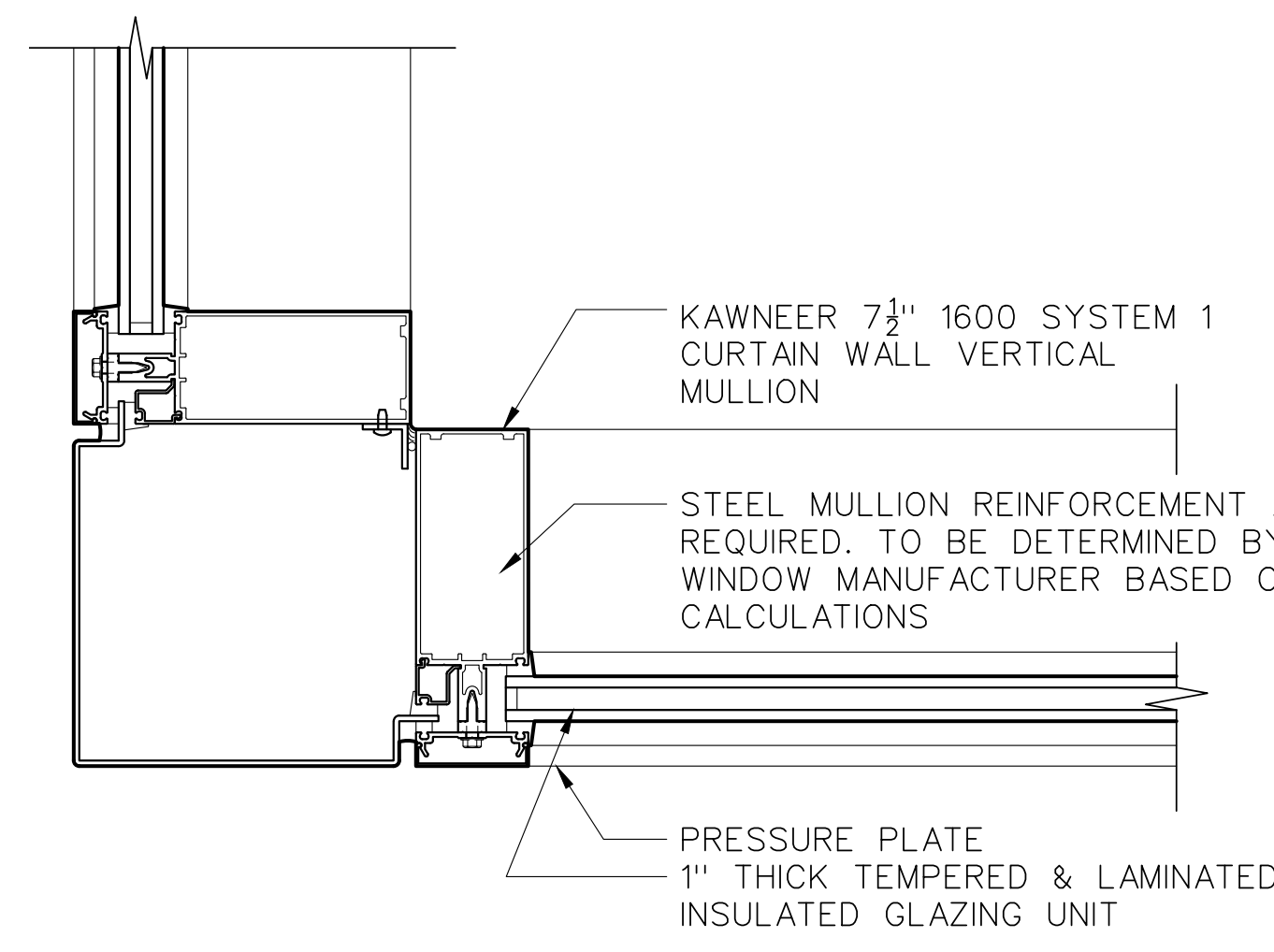
5 CURTAIN WALL DETAIL - BOTTOM RAIL
SCALE: 3"=1'-0"



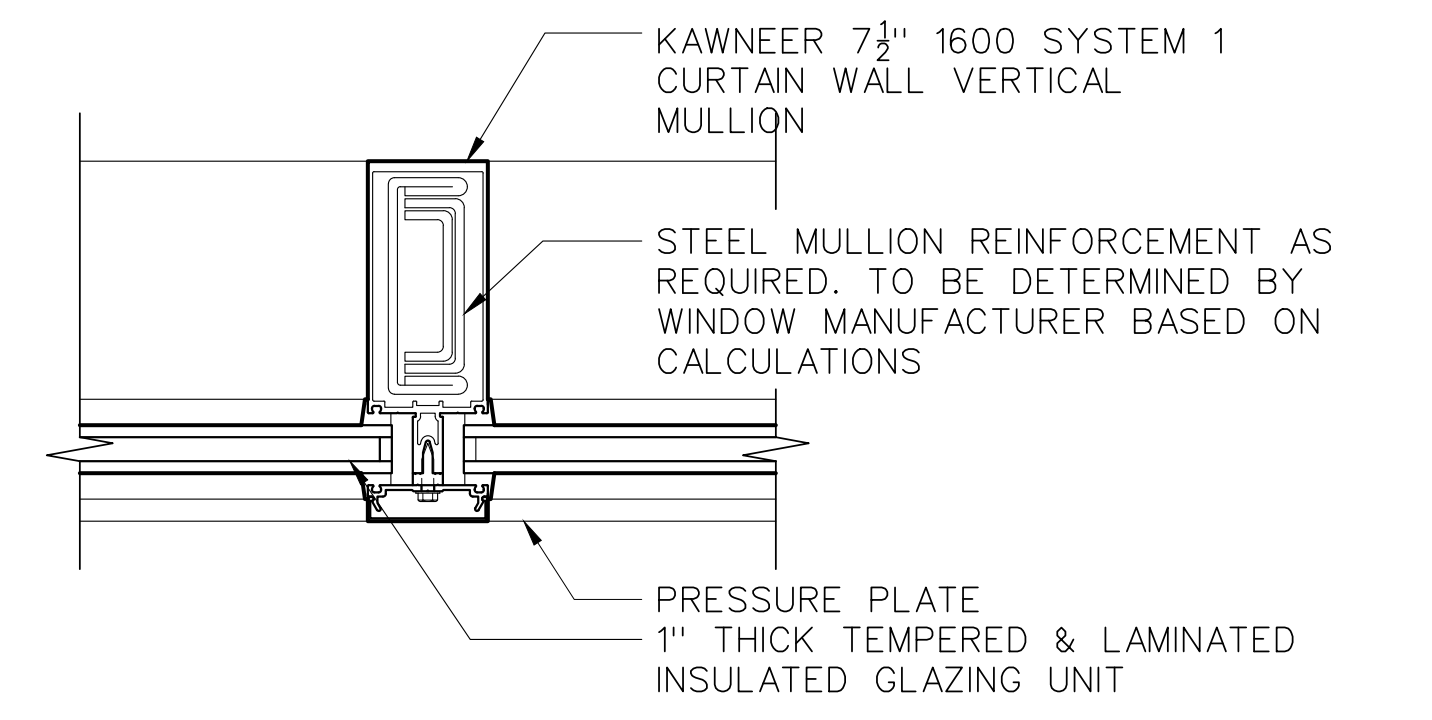
6 CURTAIN WALL DETAIL - JAMB
SCALE: 3"=1'-0"

7 CURTAIN WALL DETAIL - DOOR JAMB
SCALE: 3"=1'-0"

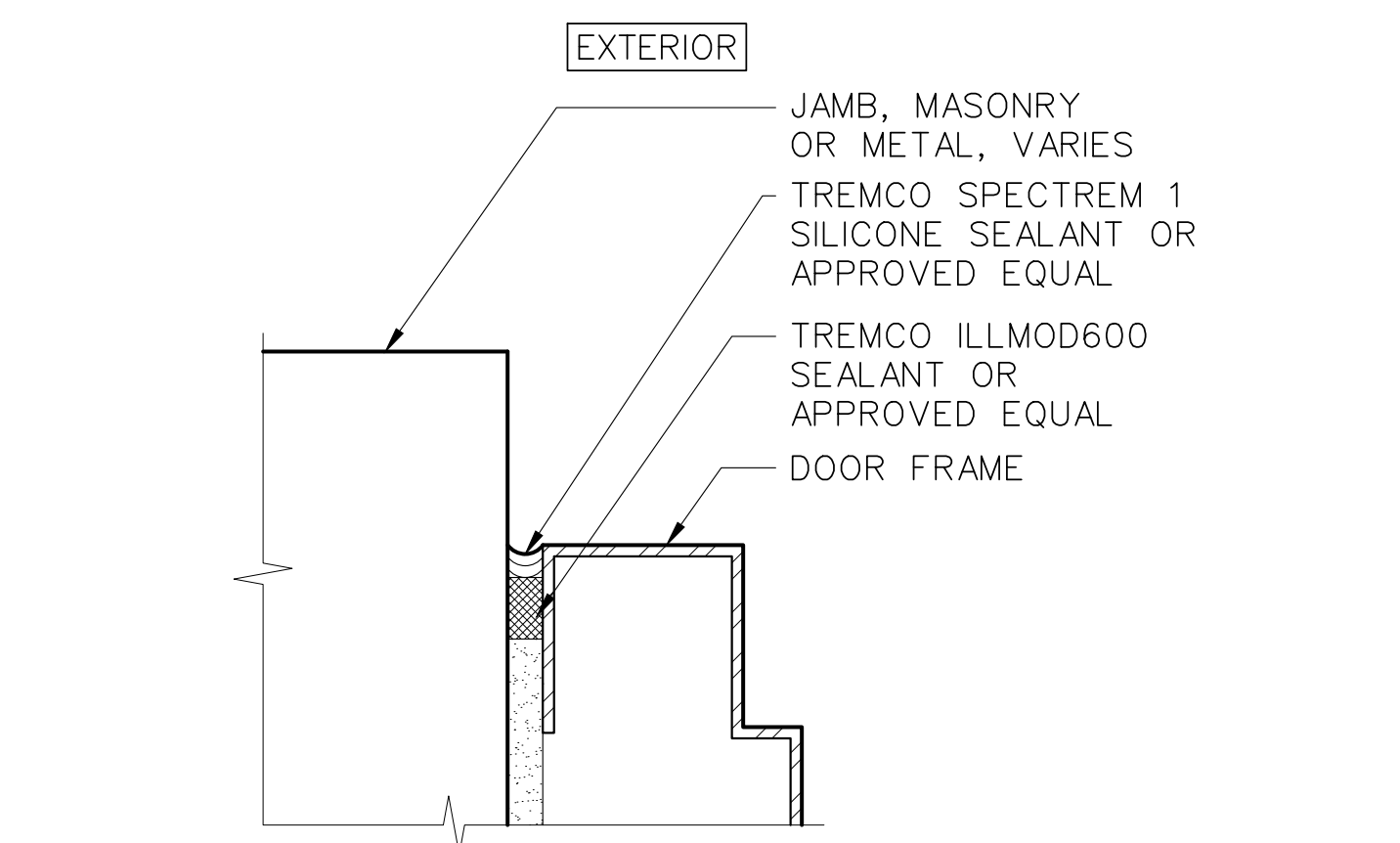
8 CURTAIN WALL DETAIL - DOOR MEETING STILES
SCALE: 3"=1'-0"



10 CURTAIN WALL DETAIL - CORNER MULLION
SCALE: 3"=1'-0"



11 CURTAIN WALL DETAIL - VERTICAL MULLION
SCALE: 3"=1'-0"



12 CURTAIN WALL DETAIL - DOOR SEALANT
SCALE: 6"=1'-0"

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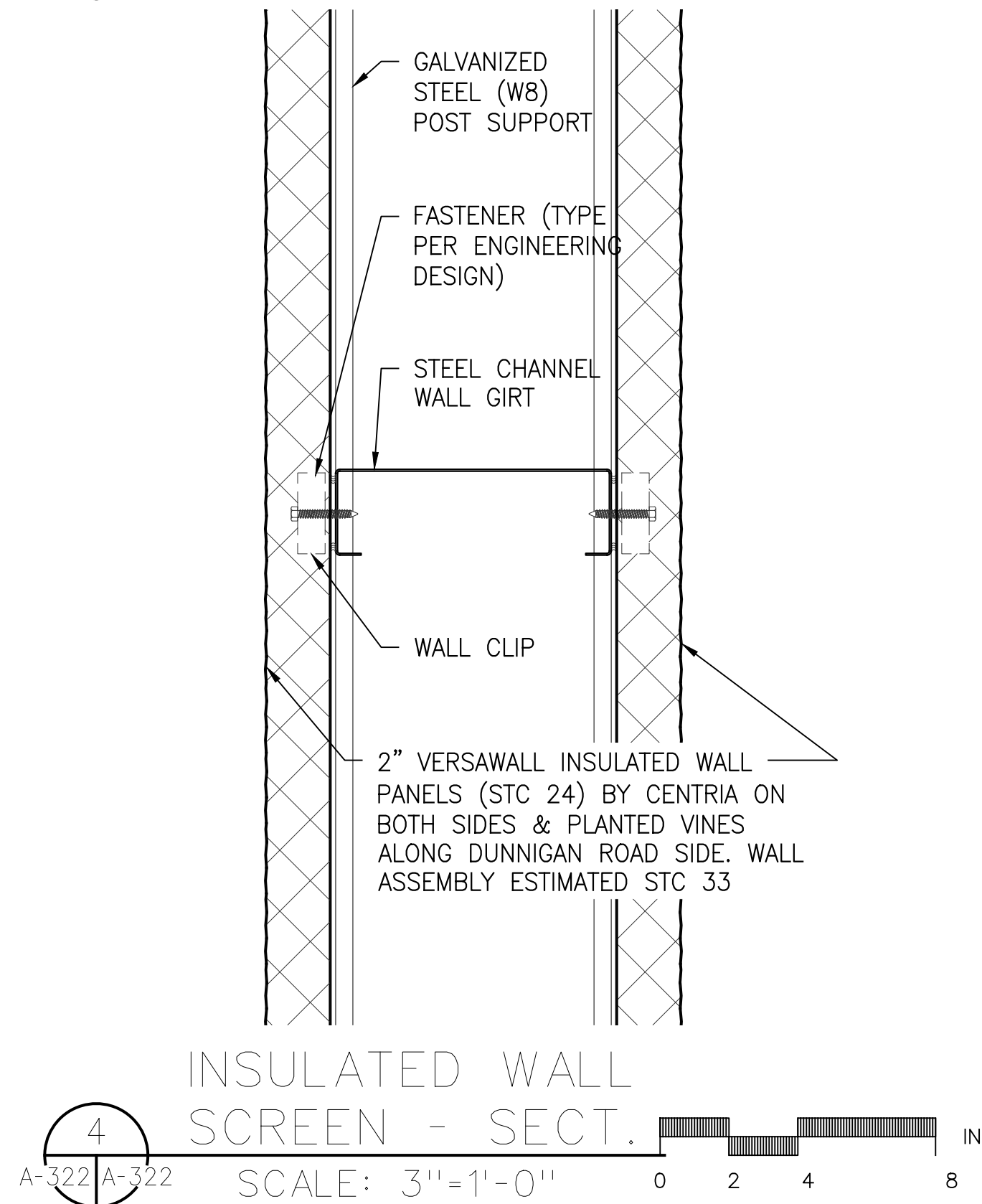
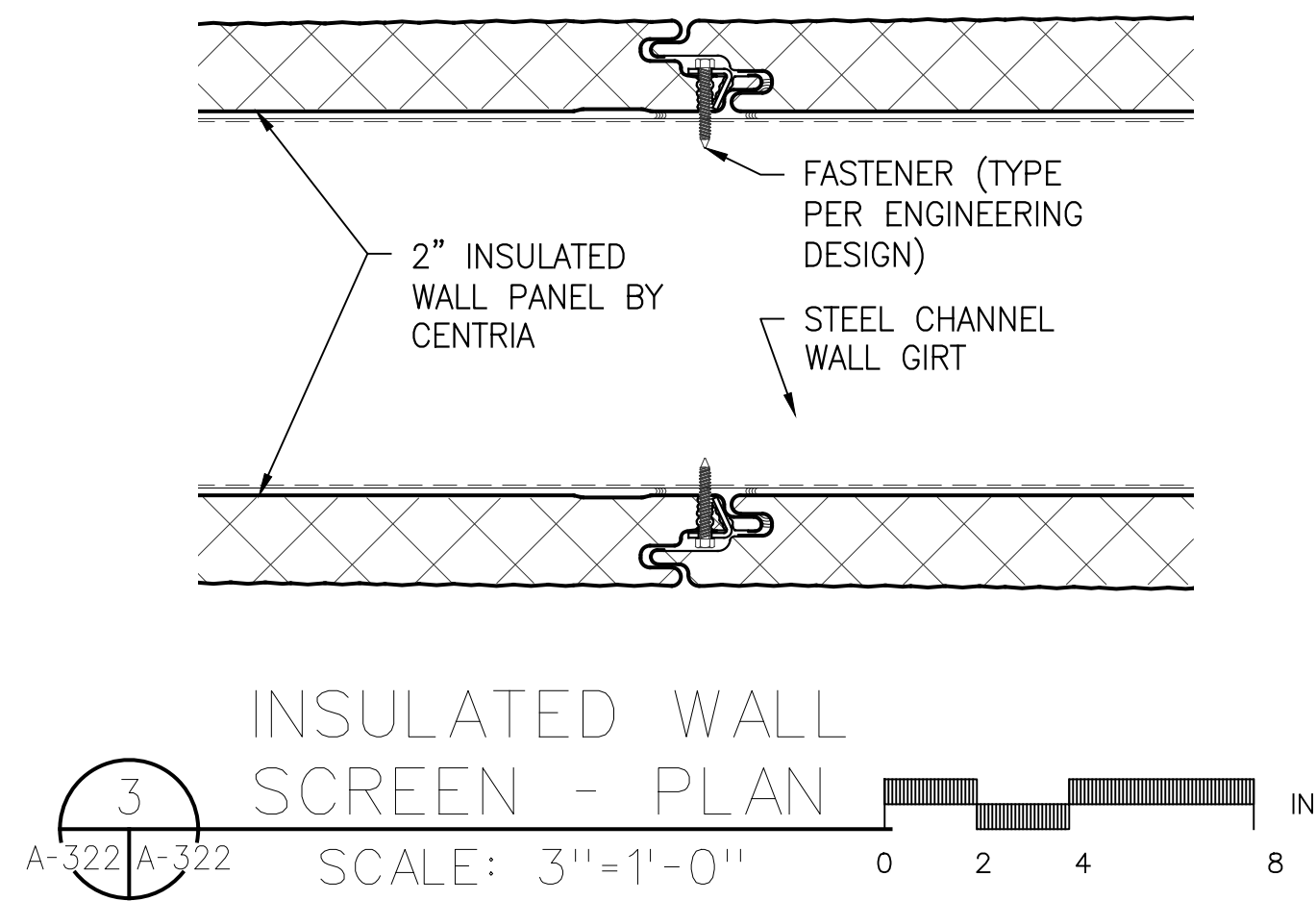
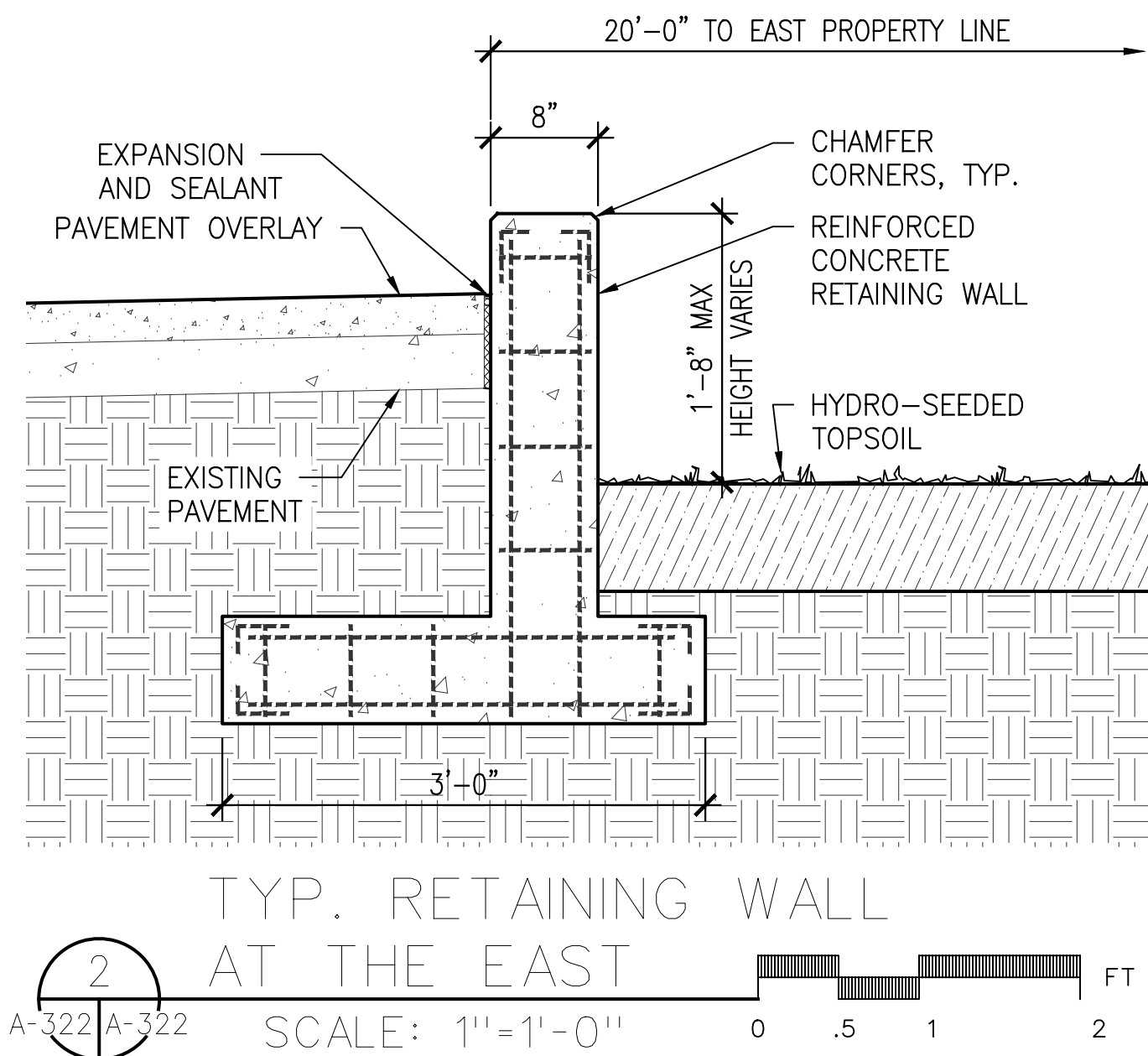
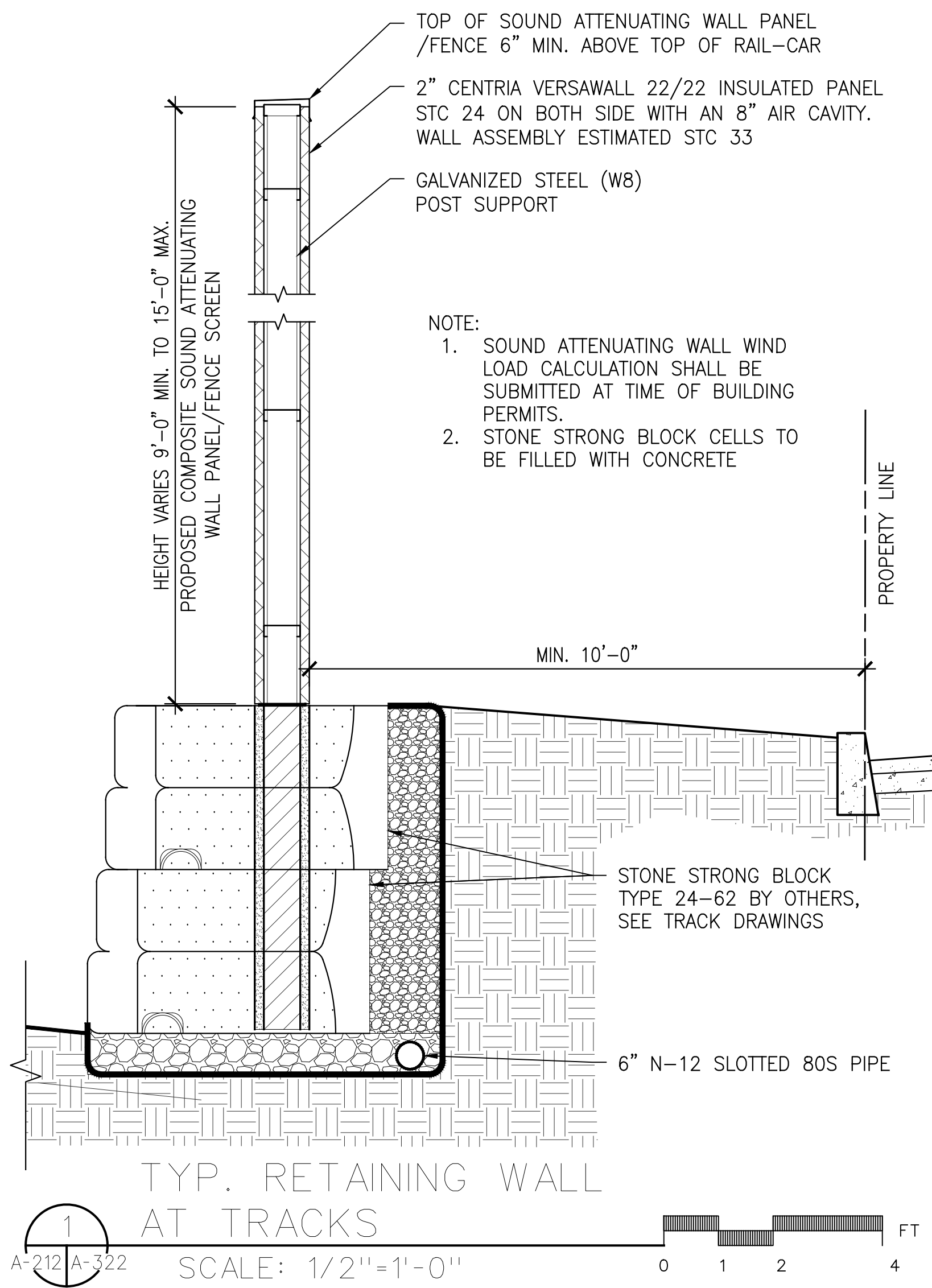
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CHECKED BY: D. TOBAR, R.A.
APPROVED BY: A. BERGER, R.A.
DATE: 07.30.2021
SCALE: AS NOTED

DRAWING TITLE:

CURTAIN WALL SYSTEM

DWG NUMBER:

A-321



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DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE :

SITE DETAILS

DWG NUMBER :

A-322

PLATFORM CONNECTION DTL
@ ASRS WAREHOUSE

5

A-323 A-323

SCALE: 1-1/2"=1'-0"

0 4 8 16 IN

6 PLATFORM EDGE DETAIL
A-323 A-323
SCALE: 1-1/2" = 1'-0"
0 4 8 16 IN

SLAB DETAIL @
INFILL TRAIN TRACK BED

A-101E
A-201

4

A-323

SCALE: 3/4" = 1'-0"

0 6 12 24 IN

1 PLATFORM CANOPY DETAIL
A-212 A-323 SCALE: 3/4"=1'-0"
0 6 12 24 IN

2 PLATFORM DETAIL
A-212 A-323 SCALE: 3/4"=1'-0"

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CHECKED BY : D. TOBAR, R.A.

APPROVED BY : A. BERGER, R.A.

DATE :	07.30.2021
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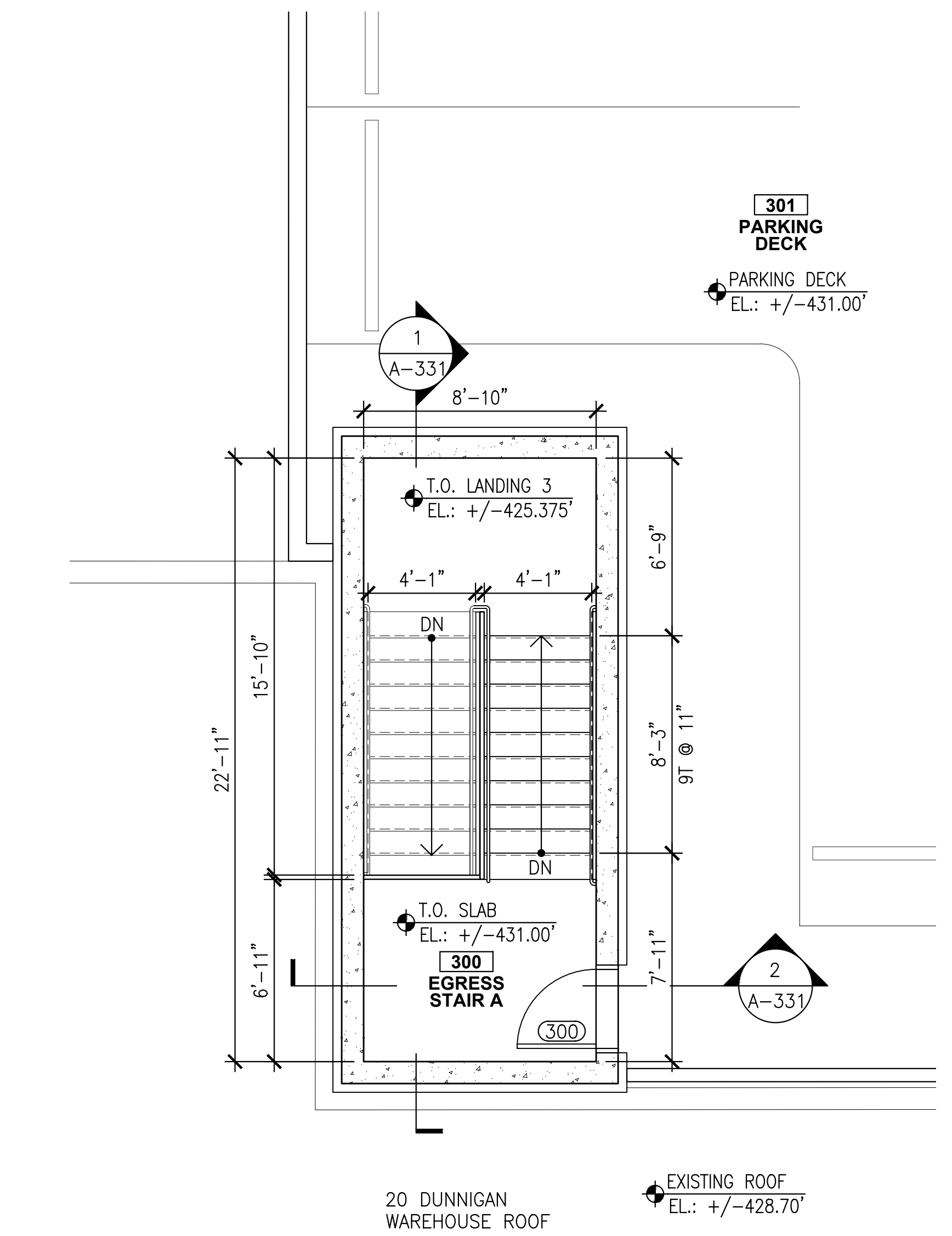
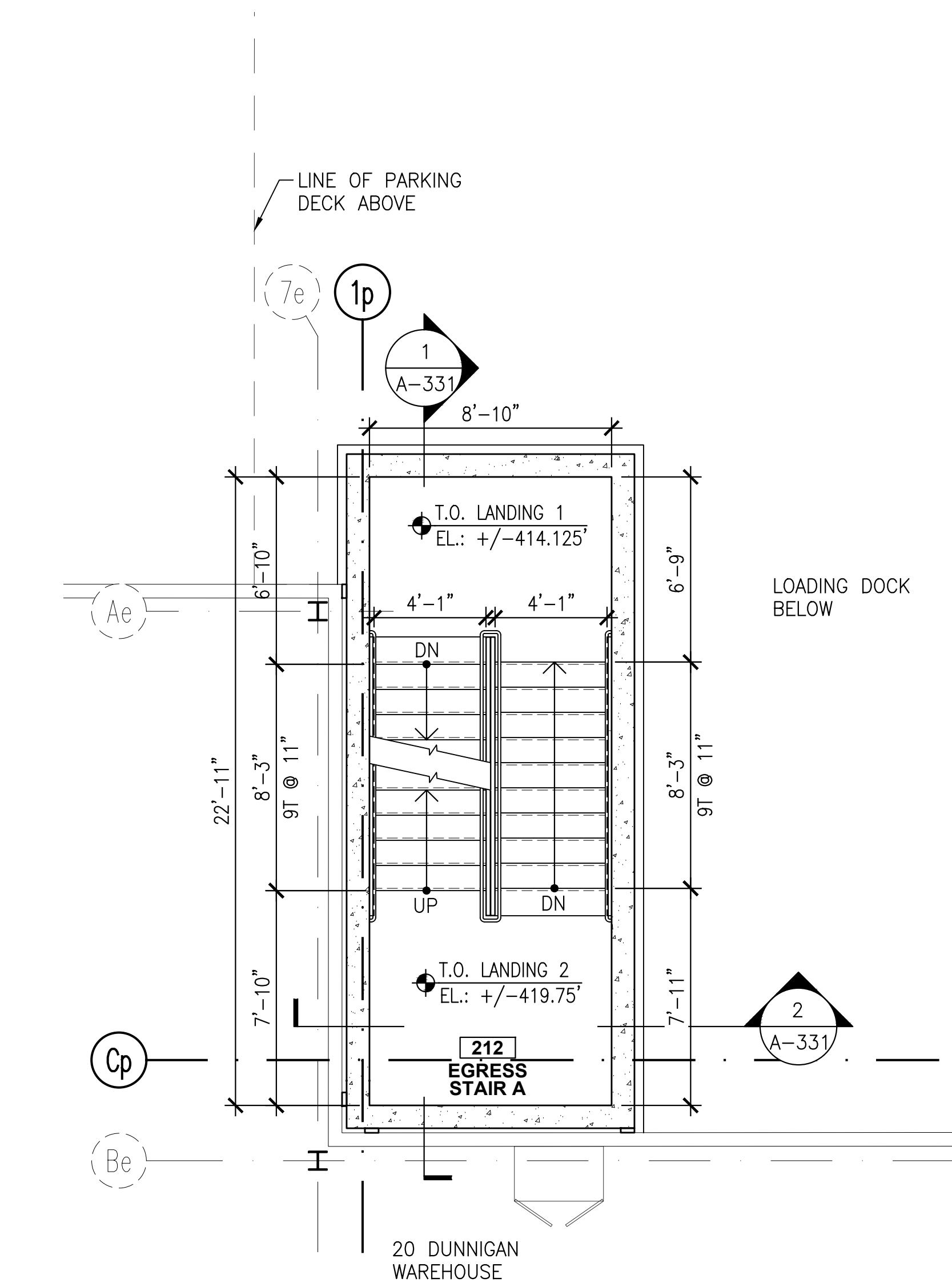
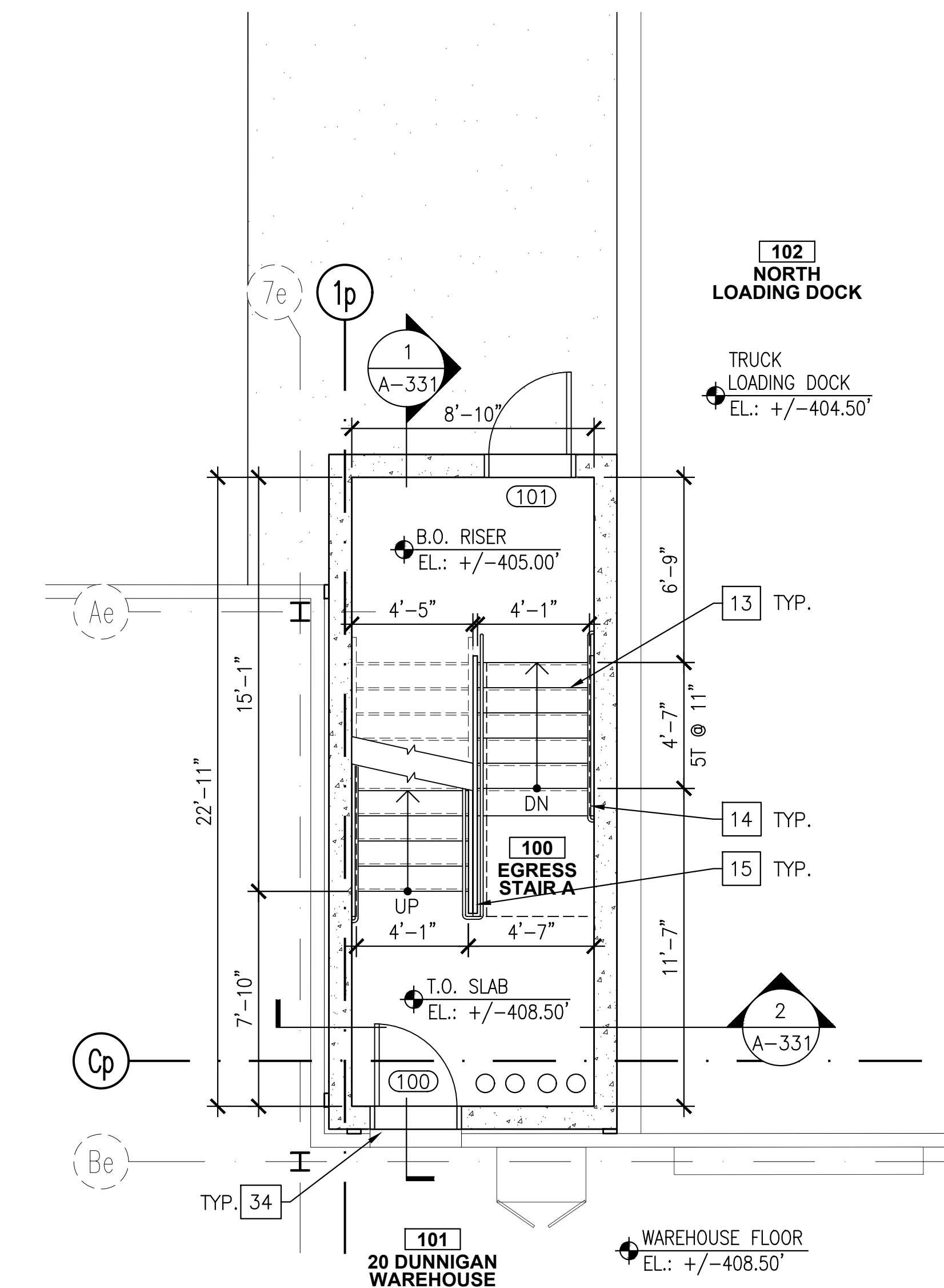
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DRAWING TITLE:

PLATFORM DETAILS

DWG NUMBER :

A-323



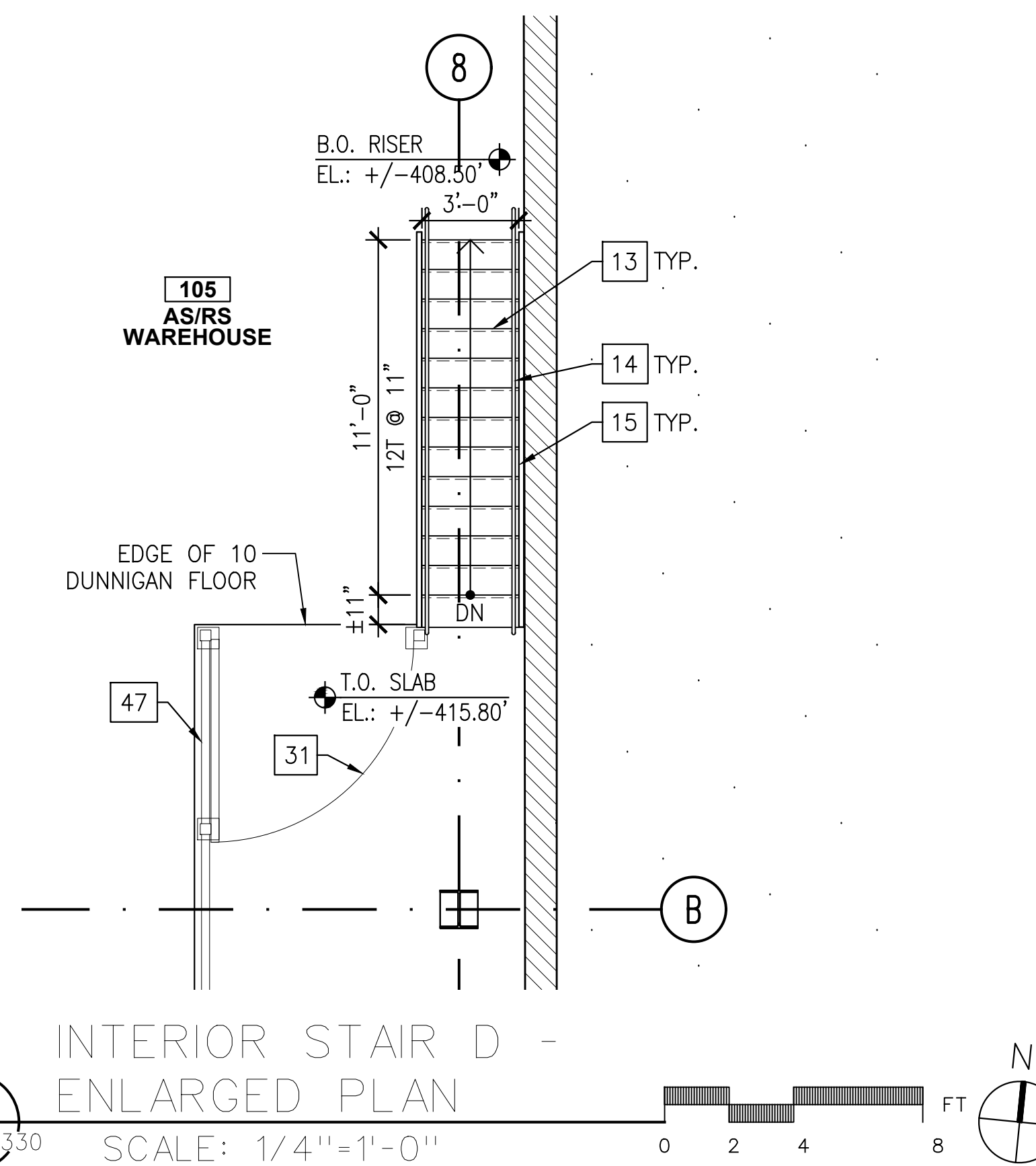
STAIR A - ENLARGED PLAN
WAREHOUSE LEVEL
SCALE: 1/4"=1'-0"

STAIR A - ENLARGED PLAN
INTERMEDIATE LEVEL
SCALE: 1/4"=1'-0"

STAIR A - ENLARGED PLAN
PARKING DECK LEVEL
SCALE: 1/4"=1'-0"

STAIR NOTES:

1. REFER TO SHEET A-001 FOR SYMBOLS, LEGEND, AND ABBREVIATIONS.
2. REFER TO SHEET A-004 FOR KEY NOTES.
3. SEE STRUCTURAL DRAWINGS FOR CONCRETE REINFORCING REQUIREMENTS.
4. PROVIDE EQUAL RISERS 7" MAXIMUM (TYPICAL) AND EQUAL TREADS 11" MINIMUM (TYPICAL).
5. SLOPE TREAD 1% MAXIMUM TO OUTSIDE EDGE (TYPICAL).



INTERIOR STAIR D -
ENLARGED PLAN
SCALE: 1/4"=1'-0"

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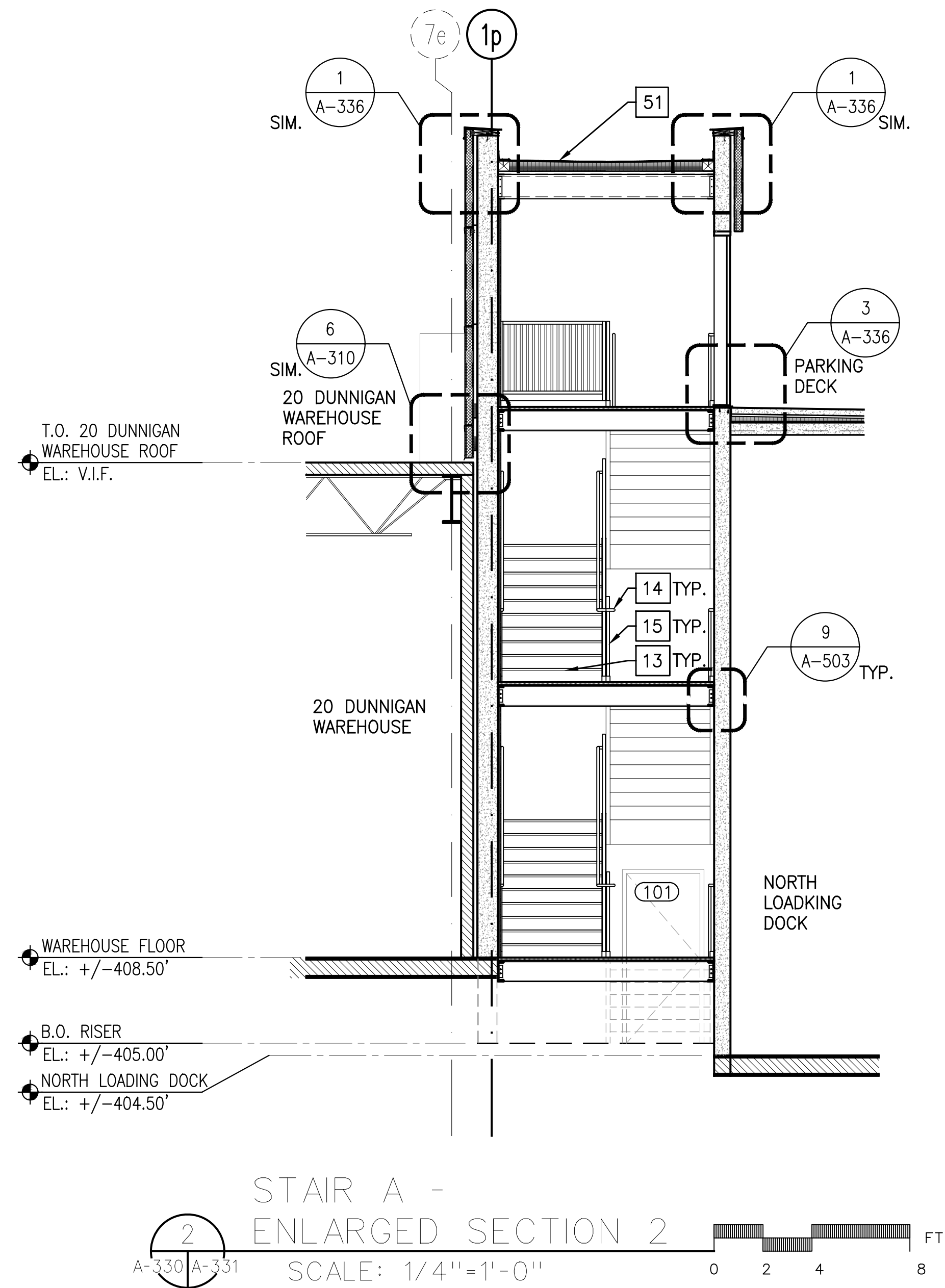
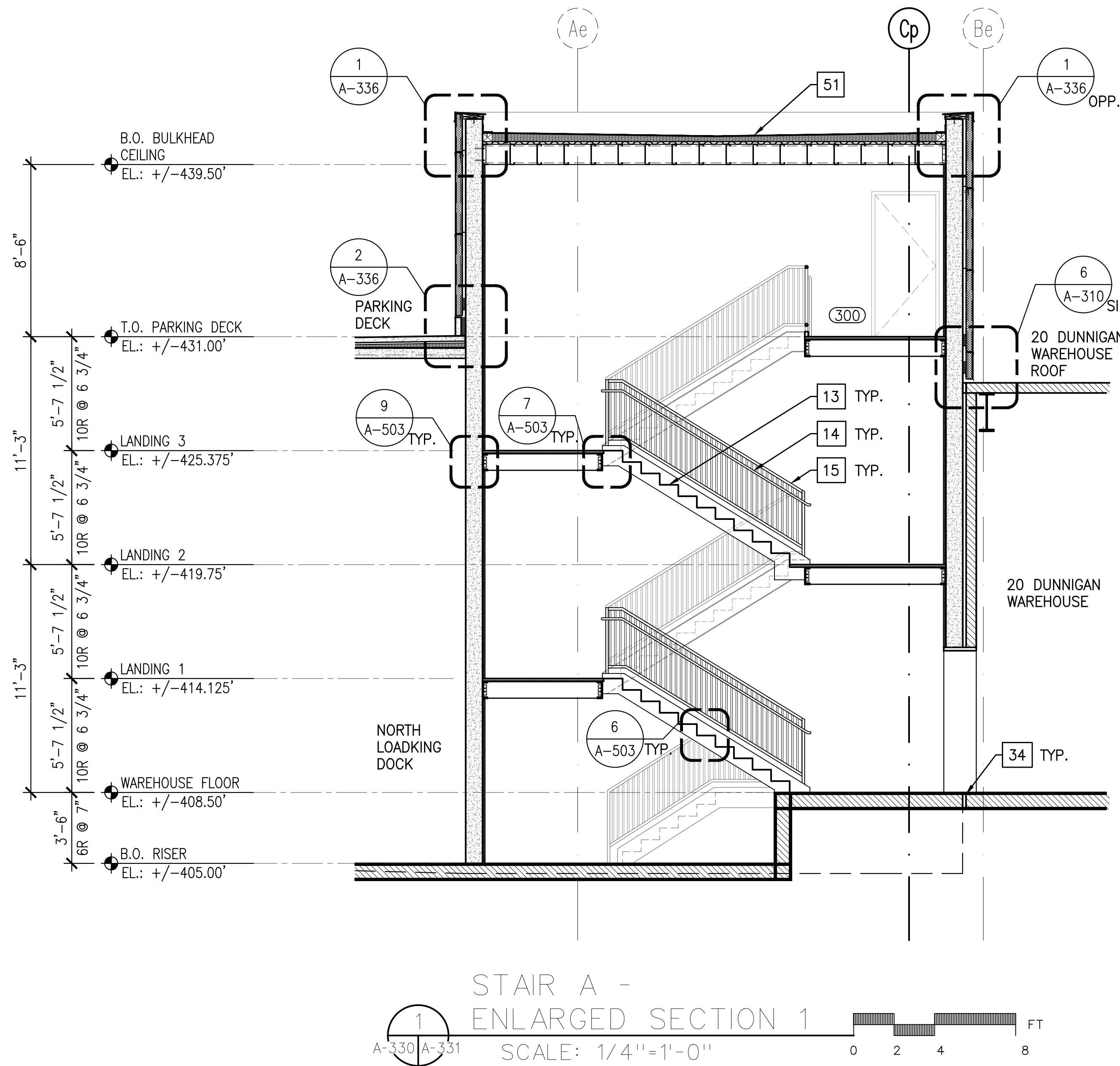
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APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
**STAIR A AND STAIR D -
ENLARGED PLANS**

DWG NUMBER:
A-330



STAIR NOTES:

1. REFER TO SHEET A-001 FOR SYMBOLS, LEGEND, AND ABBREVIATIONS.
2. REFER TO SHEET A-004 FOR KEY NOTES.
3. SEE STRUCTURAL DRAWINGS FOR CONCRETE REINFORCING REQUIREMENTS.
4. PROVIDE EQUAL RISERS 7" MAXIMUM (TYPICAL) AND EQUAL TREADS 11" MINIMUM (TYPICAL).
5. SLOPE TREAD 1% MAXIMUM TO OUTSIDE EDGE (TYPICAL).

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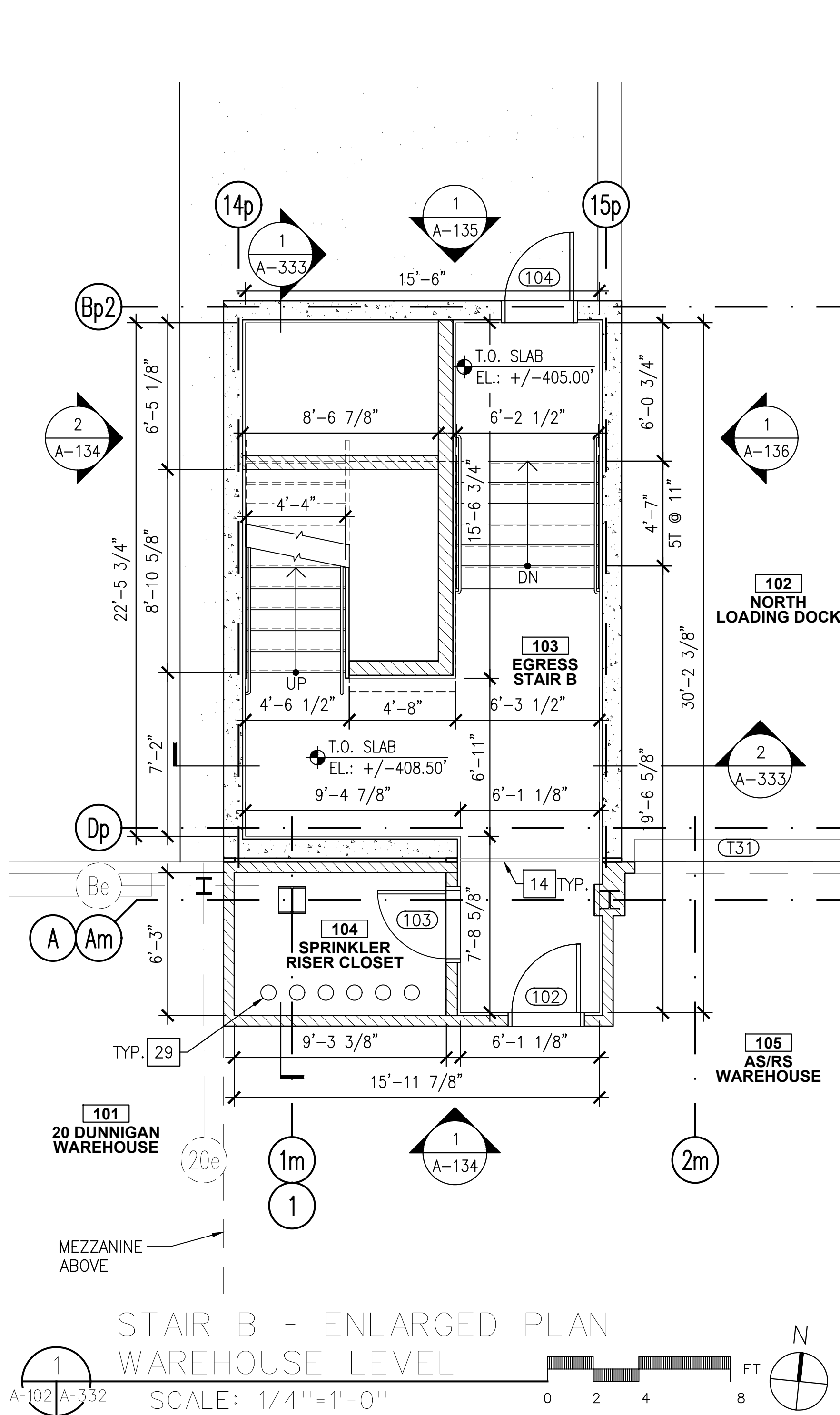
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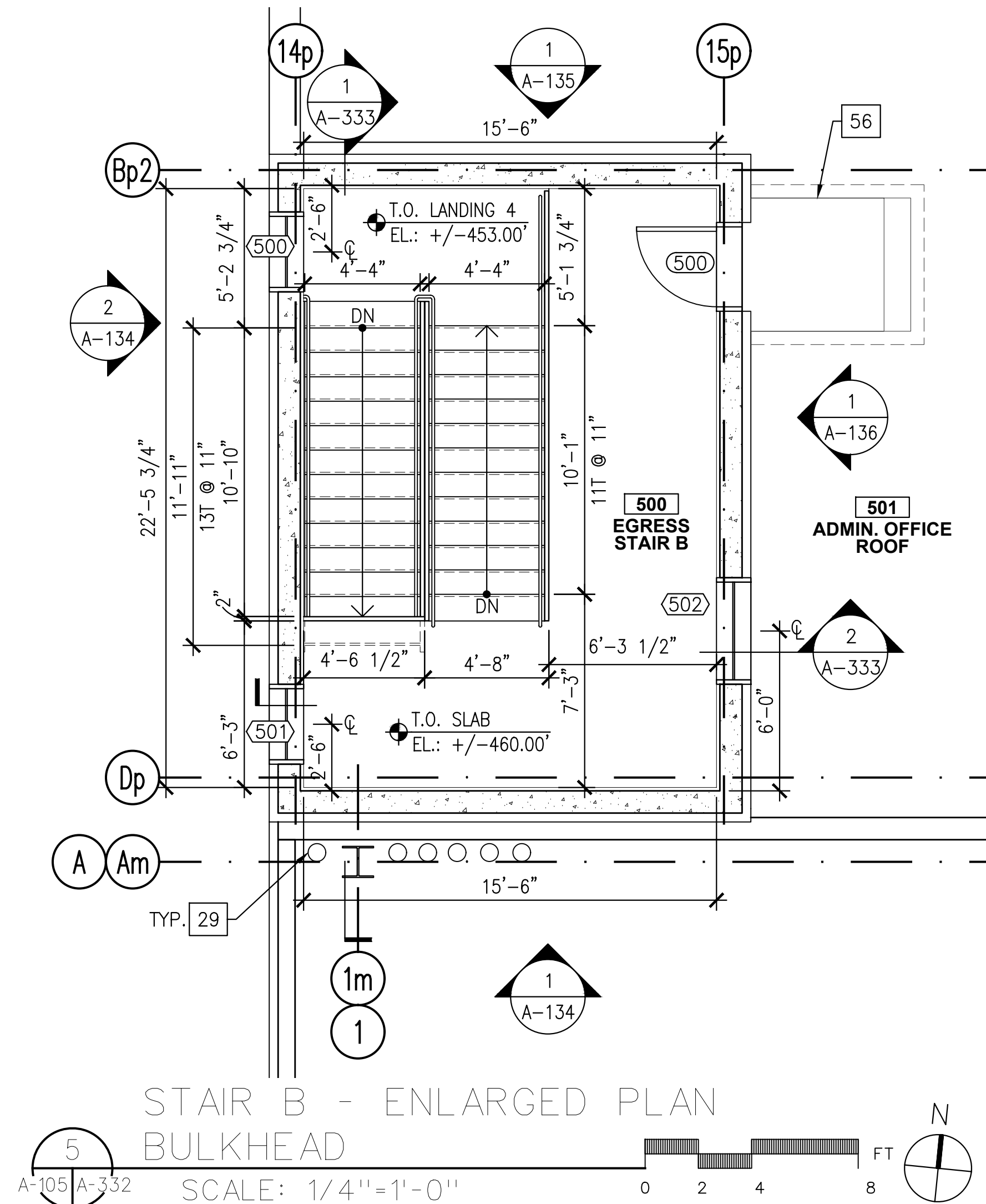
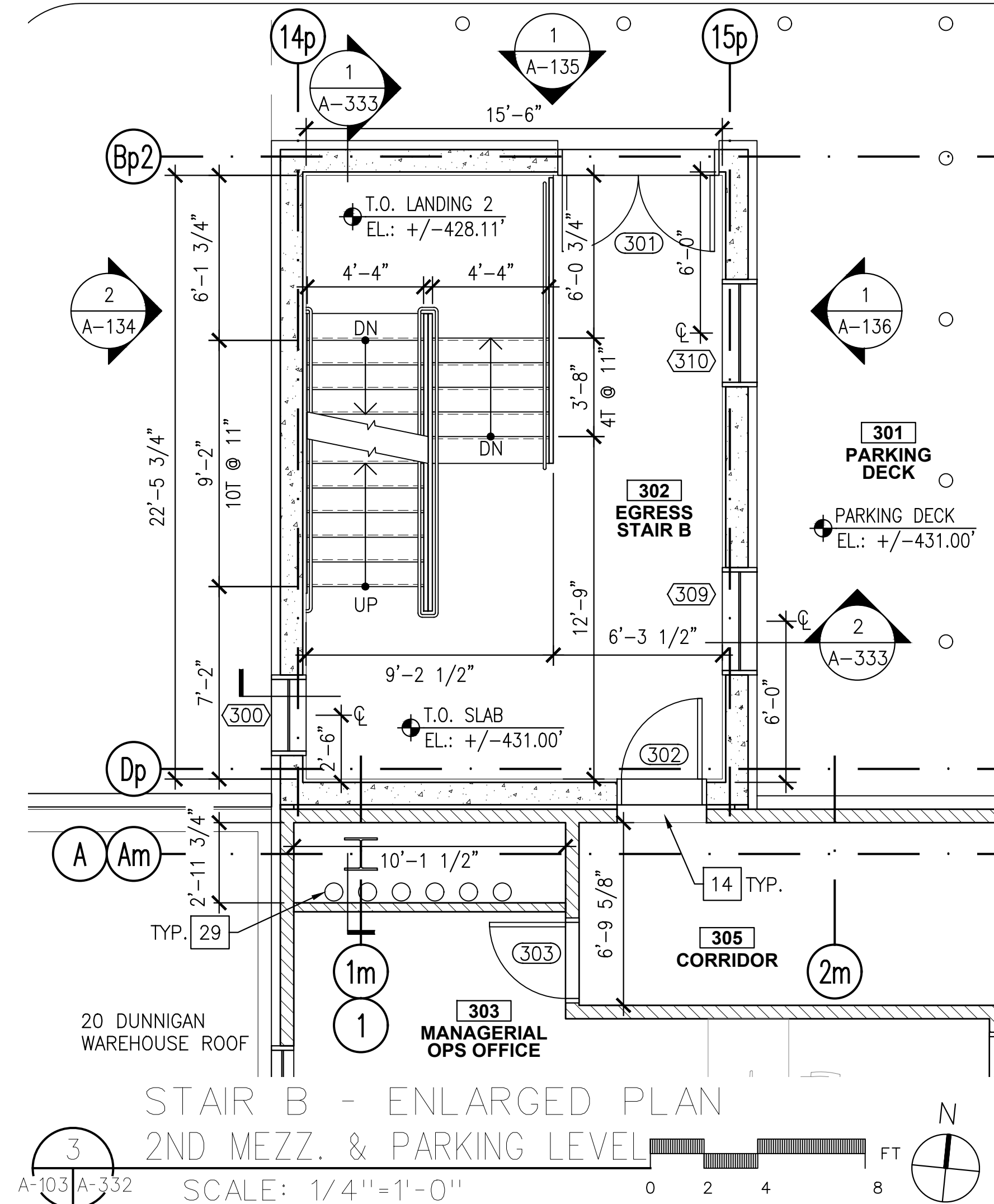
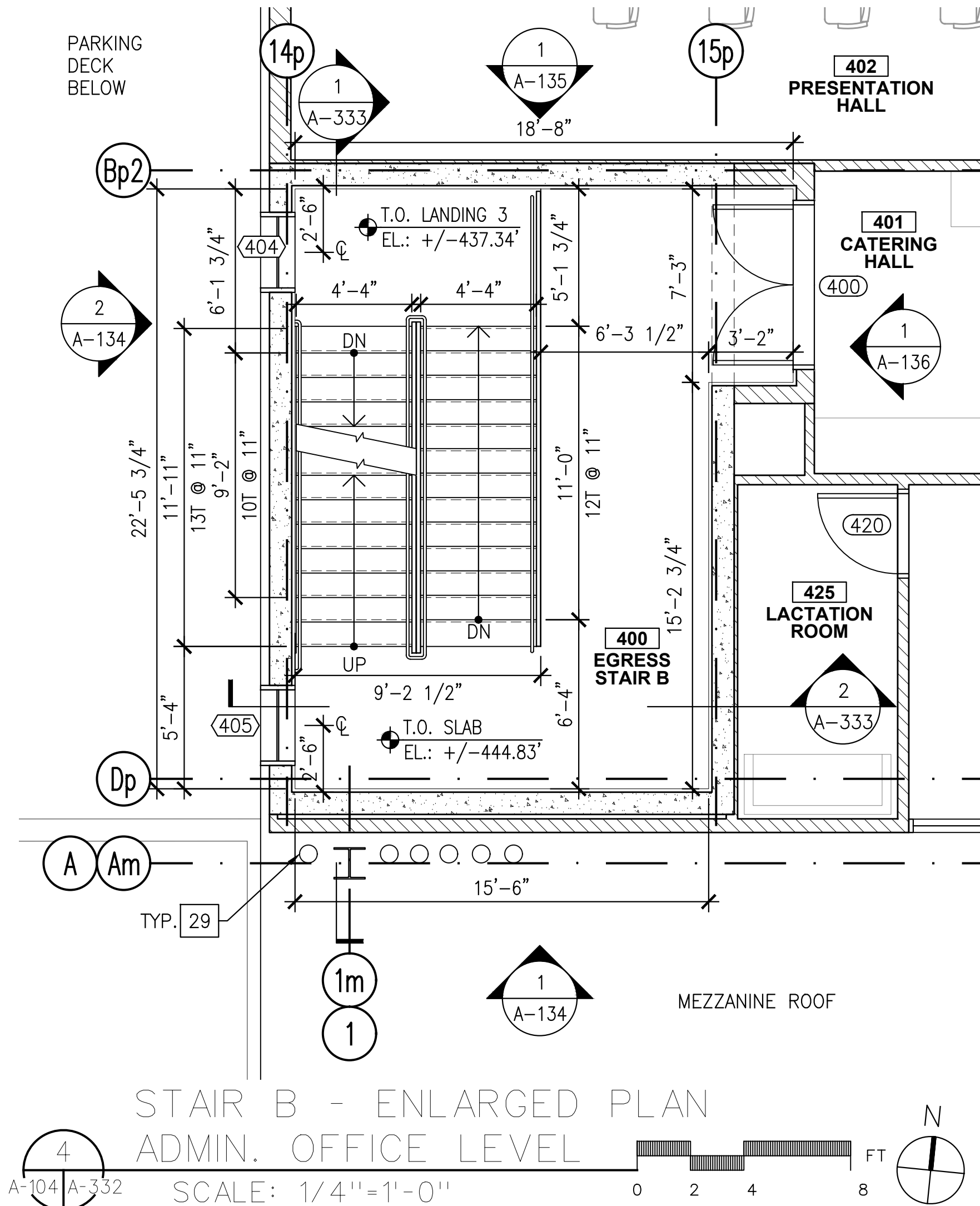
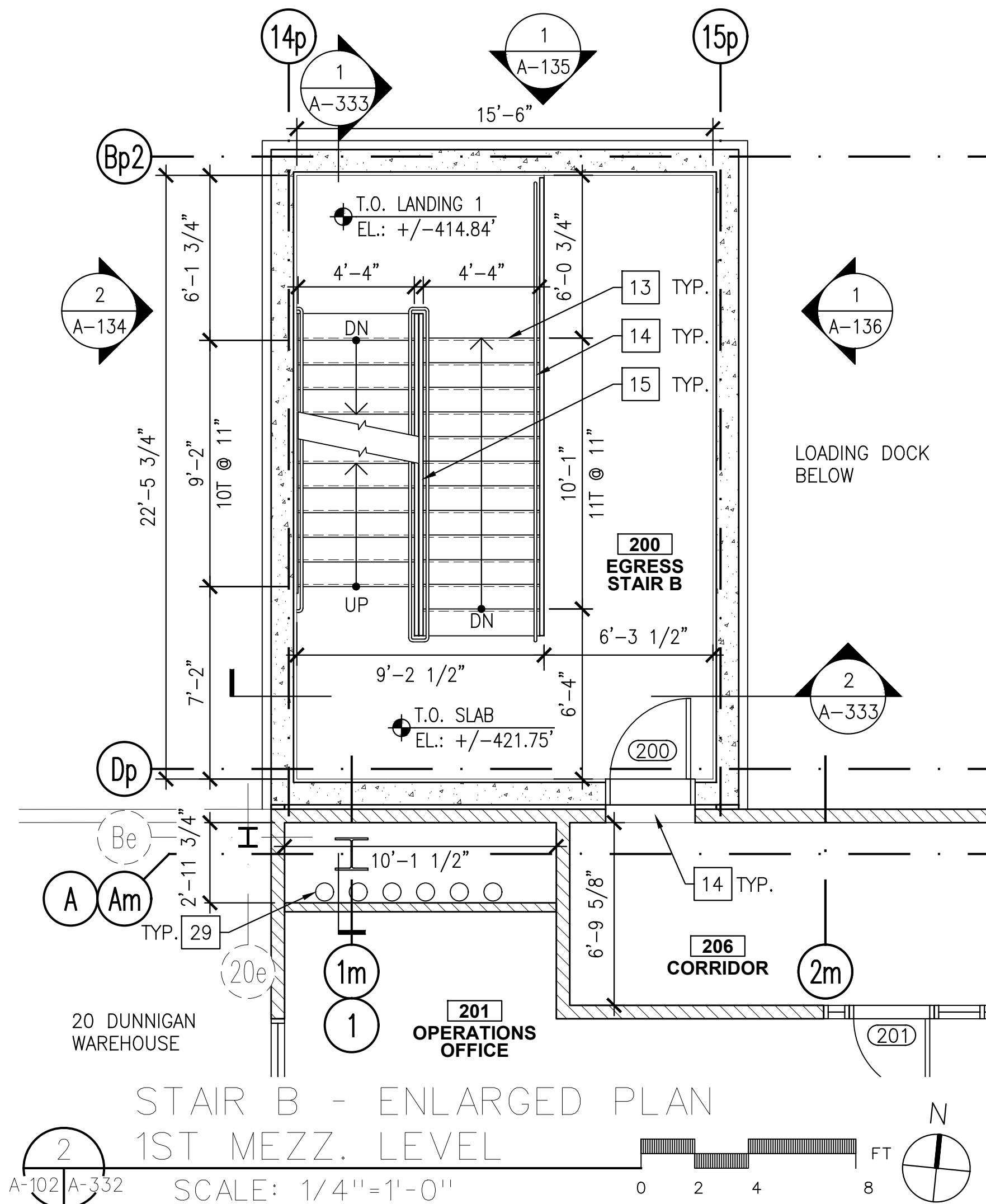
DRAWING TITLE:
**STAIR A -
ENLARGED SECTIONS**

DWG NUMBER:
A-331



STAIR NOTES:

1. REFER TO SHEET A-001 FOR SYMBOLS, LEGEND, AND ABBREVIATIONS.
2. REFER TO SHEET A-004 FOR KEY NOTES.
3. SEE STRUCTURAL DRAWINGS FOR CONCRETE REINFORCING REQUIREMENTS.
4. PROVIDE EQUAL RISERS 7" MAXIMUM (TYPICAL) AND EQUAL TREADS 11" MINIMUM (TYPICAL).
5. SLOPE TREAD 1% MAXIMUM TO OUTSIDE EDGE (TYPICAL).



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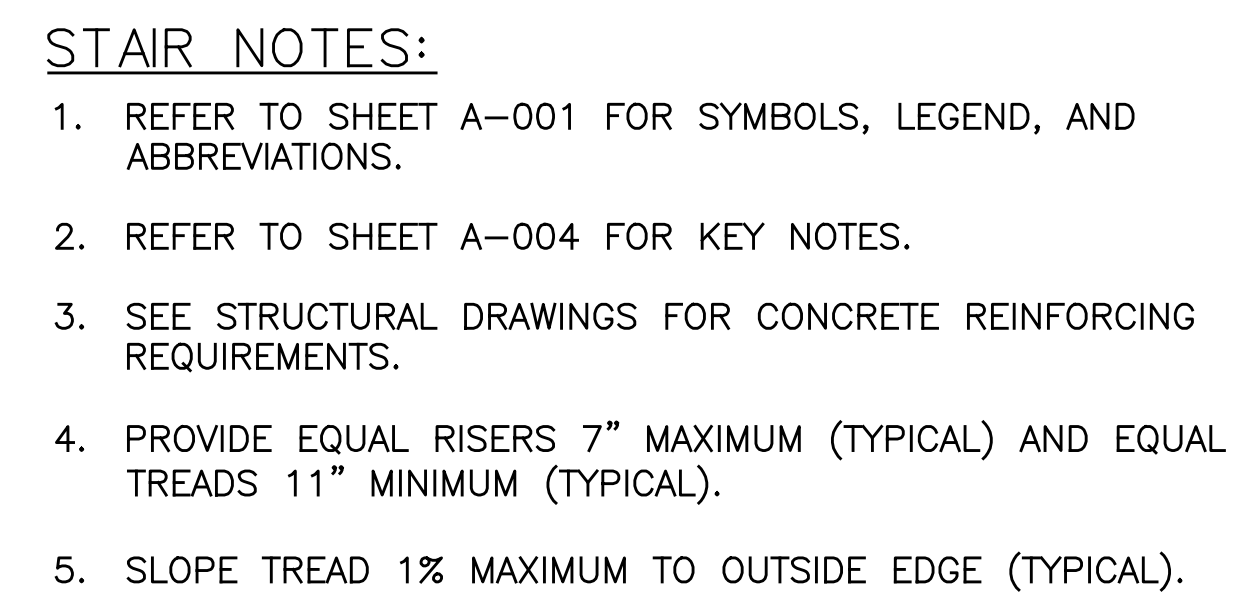
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APPROVED BY: A. BERGER, R.A.
DATE: 07.30.2021
SCALE: AS NOTED

DRAWING TITLE:

STAIR B -
ENLARGED PLANS

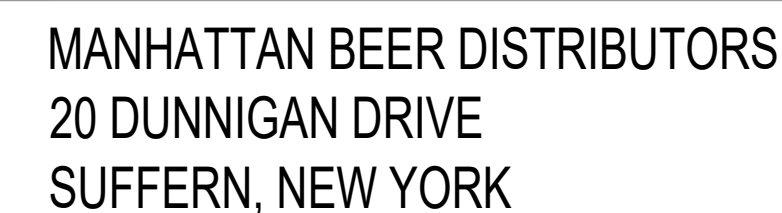
DWG NUMBER:

A-332



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—	ISSUED FOR CONSTRUCTION	11.30.2

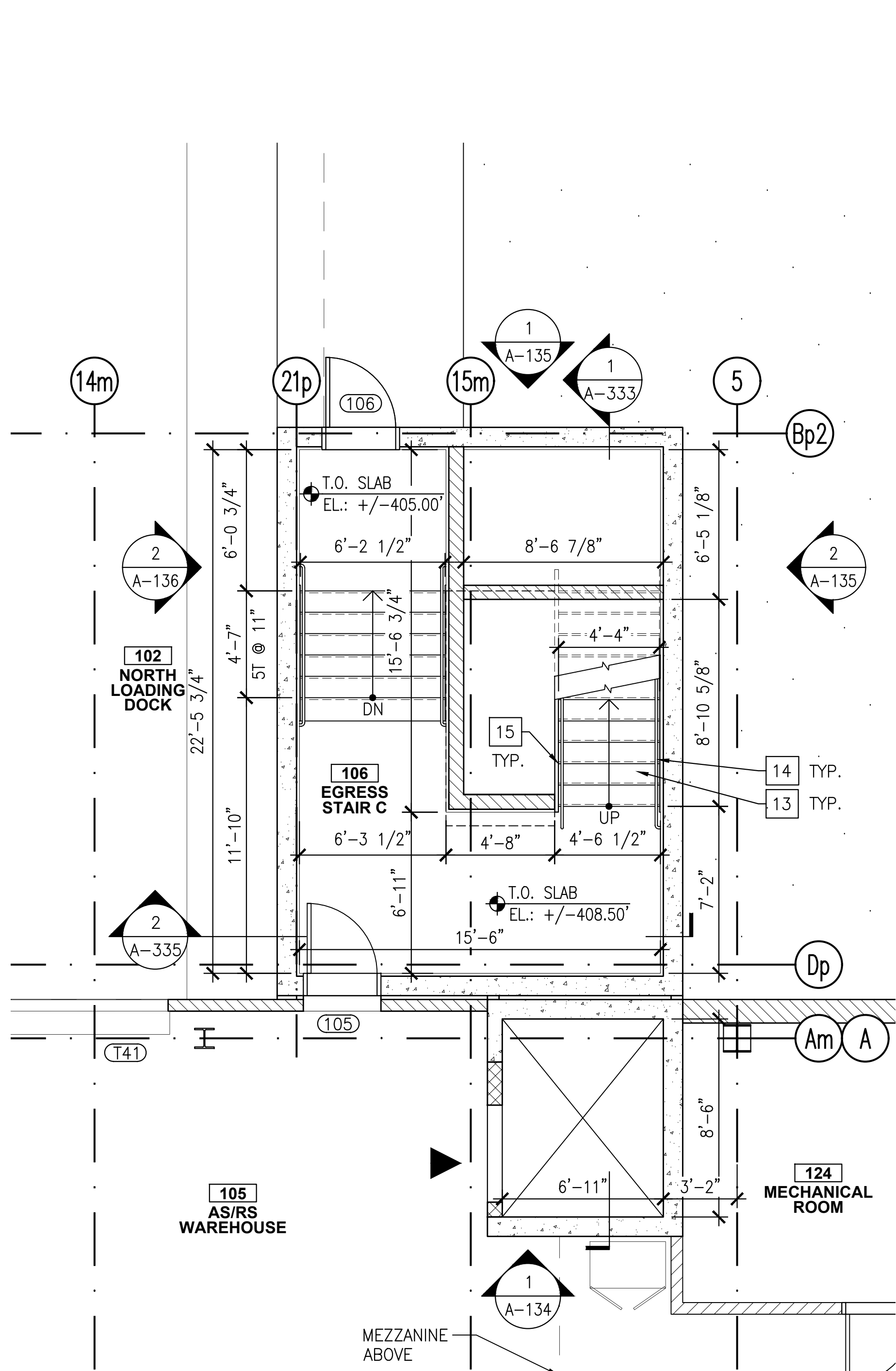
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CHECKED BY :	D. TOBAR, R.A.
APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE

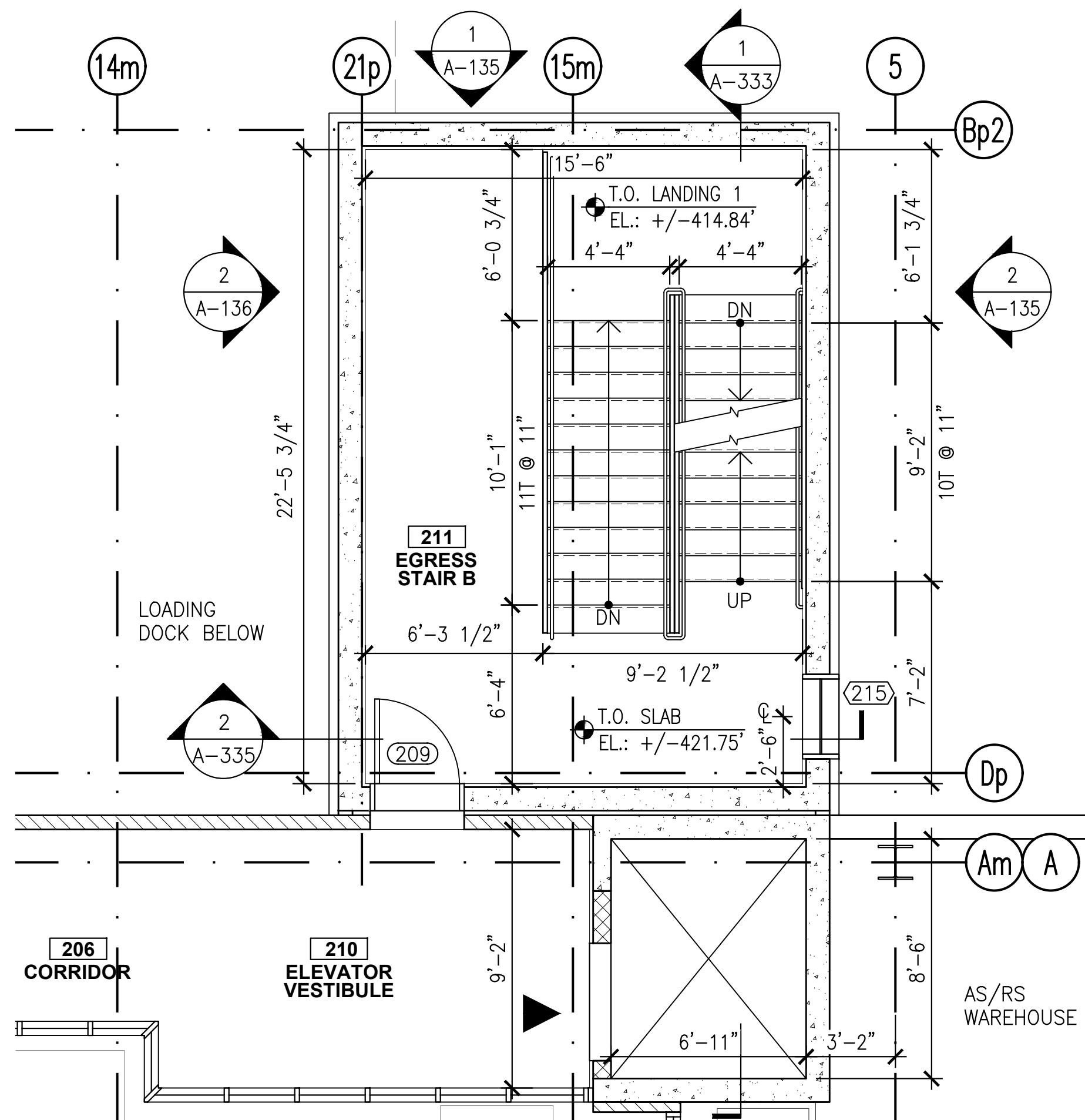
STAIR B -
ENLARGED SECTIONS

DWG NUMBER :

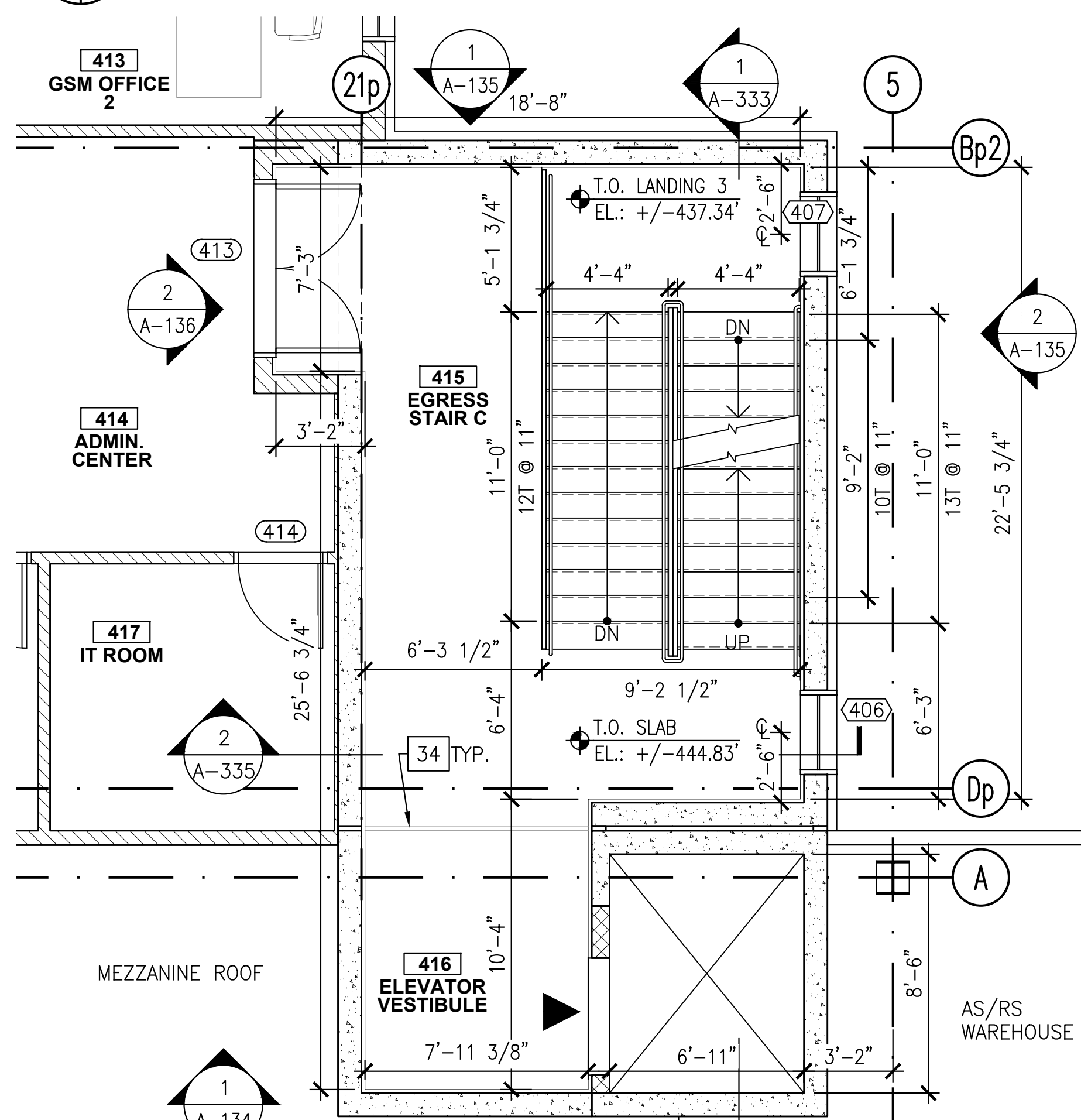
A-333



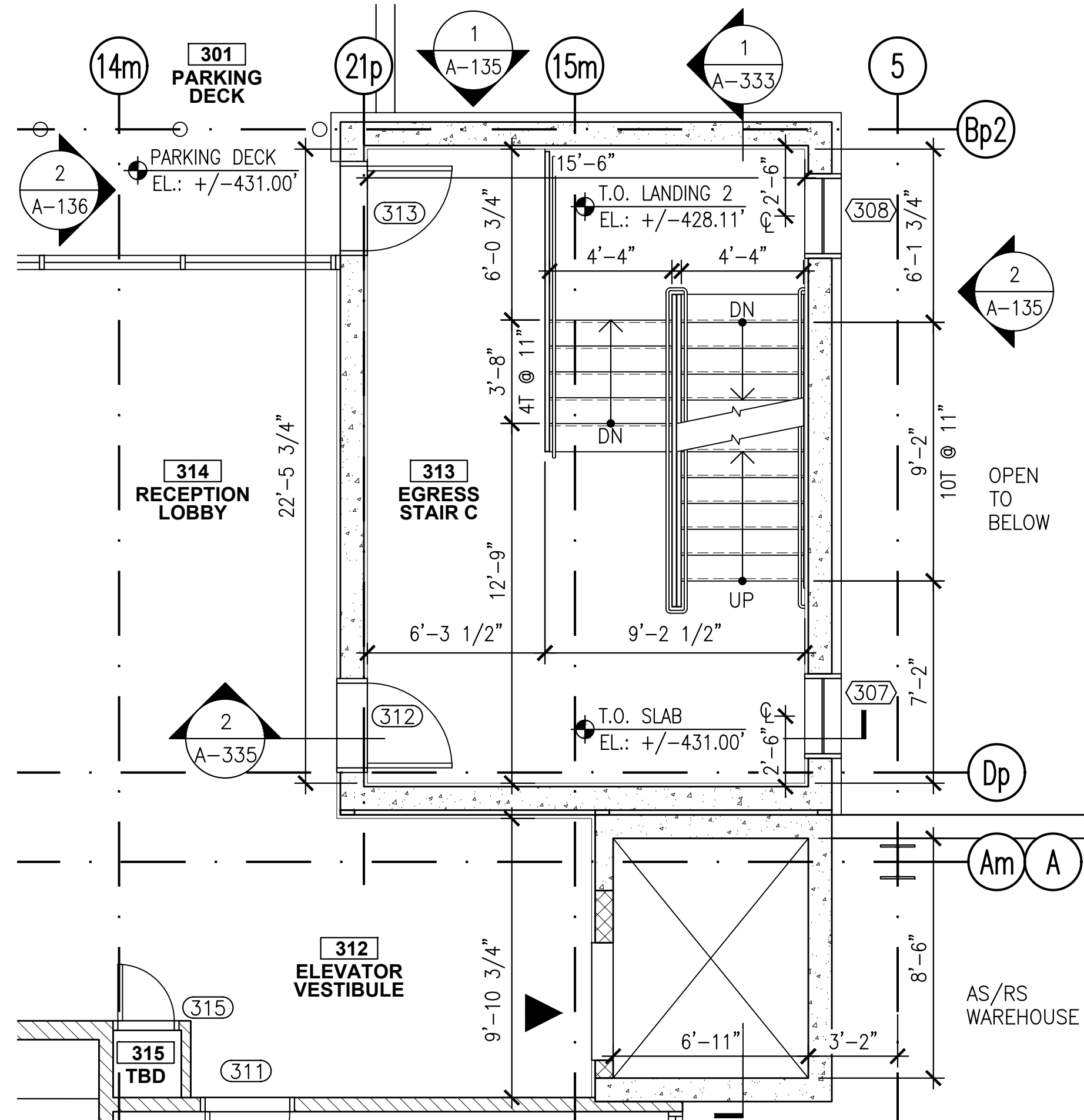
STAIR C - ENLARGED PLAN
WAREHOUSE LEVEL
A-102 A-334 SCALE: 1/4"=1'-0"



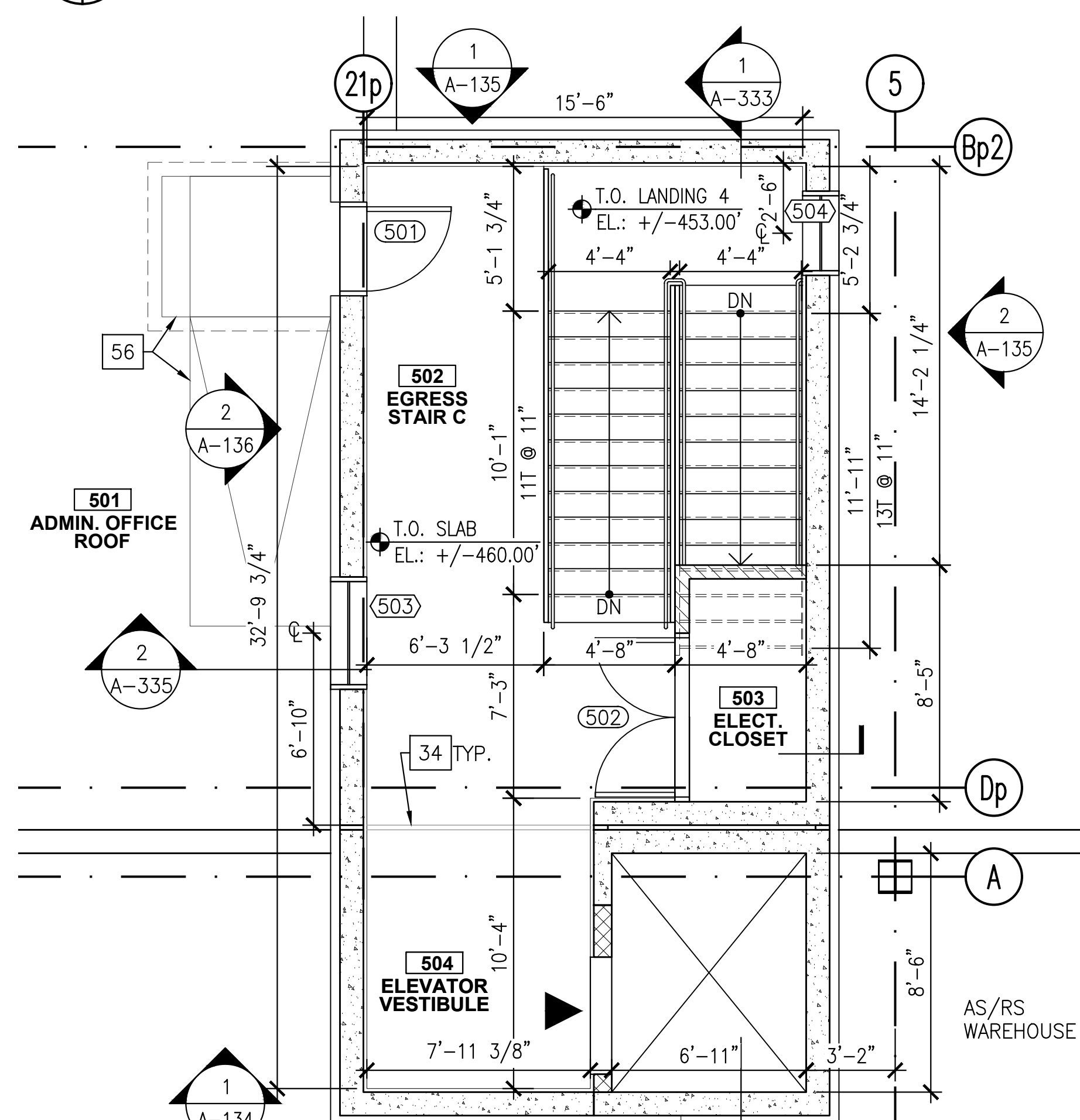
STAIR C - ENLARGED PLAN
1ST MEZZ. LEVEL
A-102 A-334 SCALE: 1/4"=1'-0"



STAIR C - ENLARGED PLAN
ADMIN. OFFICE LEVEL
A-104 A-334 SCALE: 1/4"=1'-0"



STAIR C - ENLARGED PLAN
2ND MEZZ. & PARKING LEVEL
A-103 A-334 SCALE: 1/4"=1'-0"



STAIR C - ENLARGED PLAN
BULKHEAD
A-105 A-334 SCALE: 1/4"=1'-0"

- STAIR NOTES:
1. REFER TO SHEET A-001 FOR SYMBOLS, LEGEND, AND ABBREVIATIONS.
 2. REFER TO SHEET A-004 FOR KEY NOTES.
 3. SEE STRUCTURAL DRAWINGS FOR CONCRETE REINFORCING REQUIREMENTS.
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 5. SLOPE TREAD 1% MAXIMUM TO OUTSIDE EDGE (TYPICAL).

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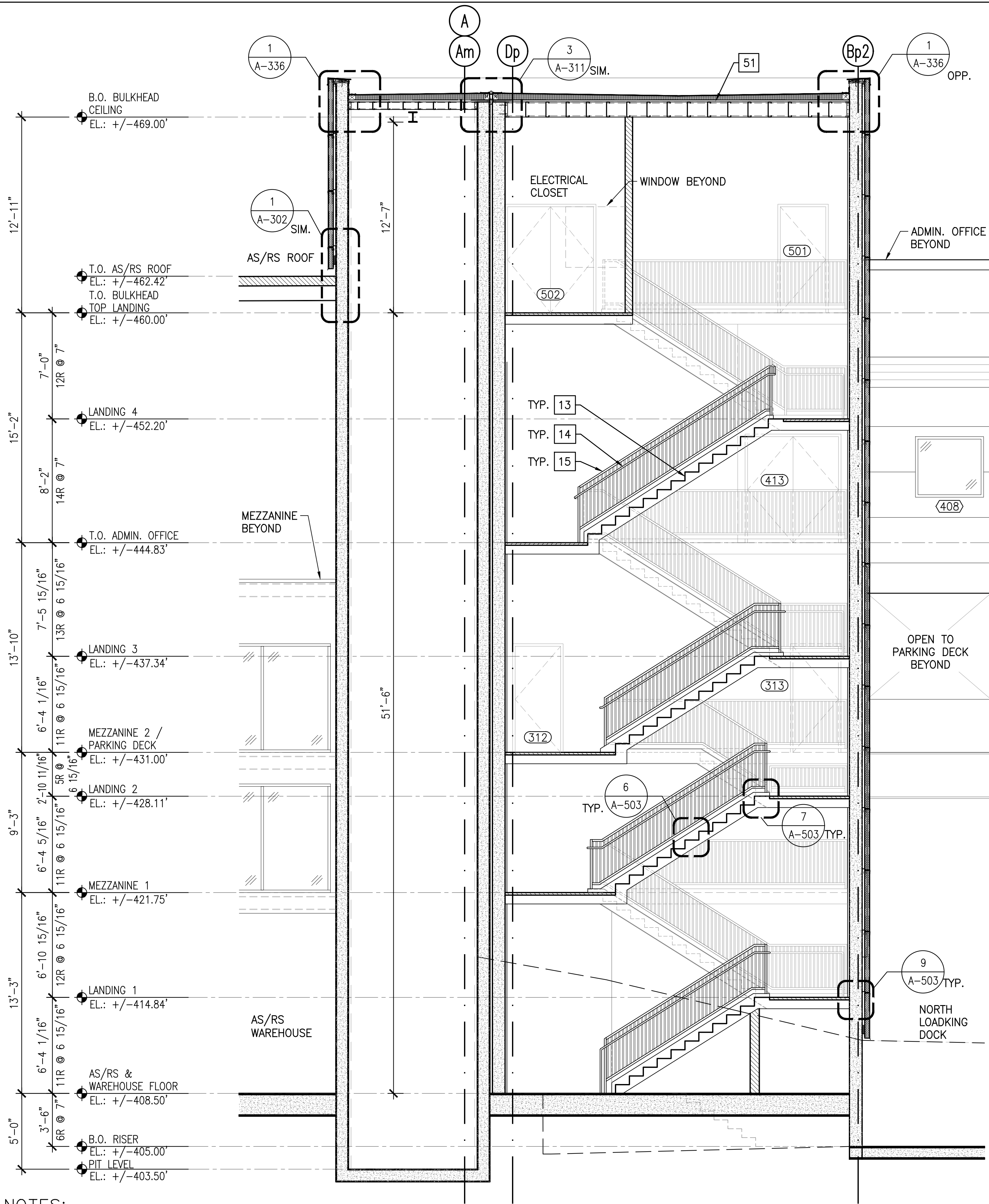
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CHECKED BY: D. TOBAR, R.A.
APPROVED BY: A. BERGER, R.A.
DATE: 07.30.2021
SCALE: AS NOTED

DRAWING TITLE:

STAIR C - ENLARGED PLANS

DWG NUMBER:

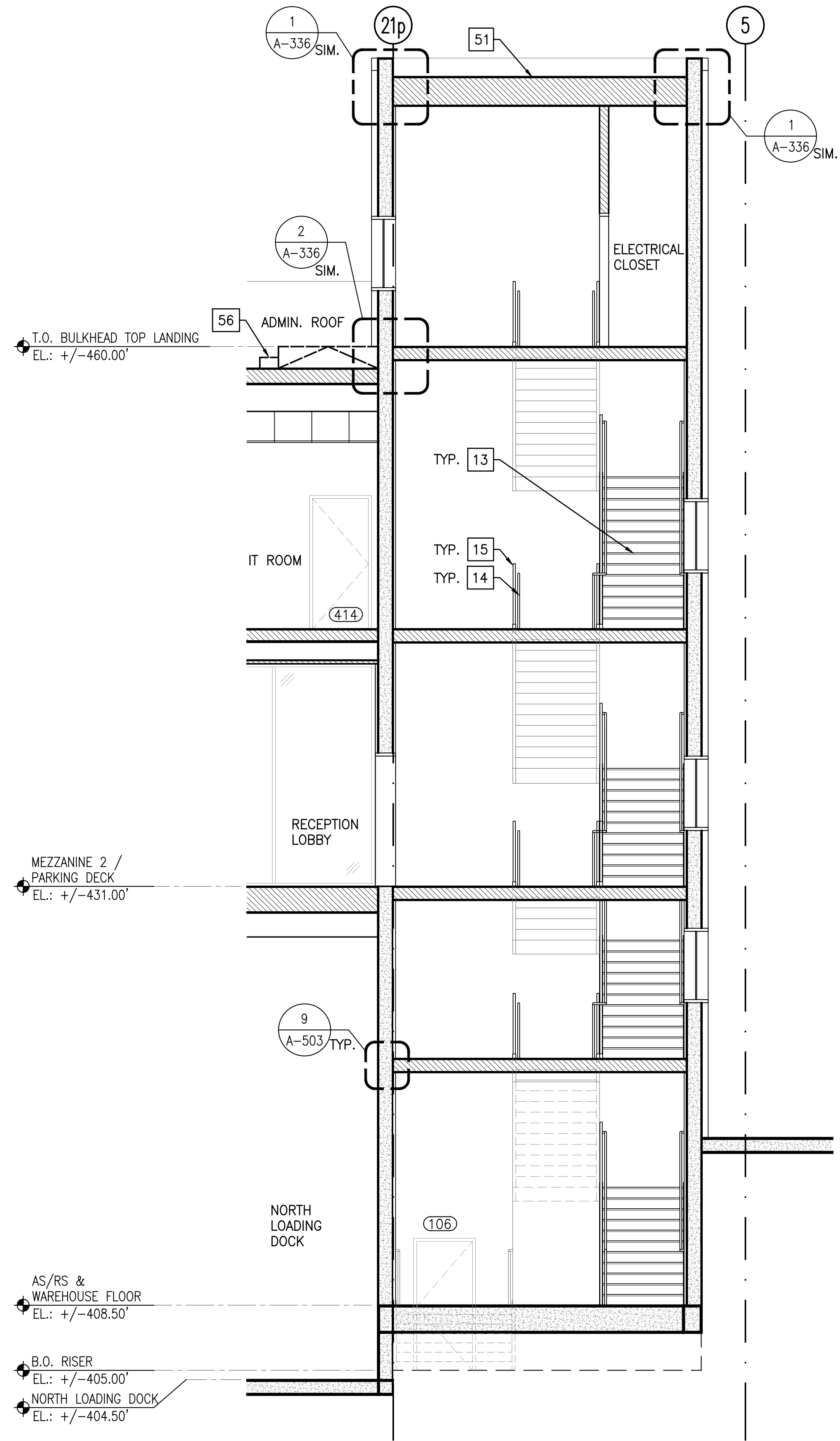
A-334



STAIR NOTES:

1. REFER TO SHEET A-001 FOR SYMBOLS, LEGEND, AND ABBREVIATIONS.
2. REFER TO SHEET A-004 FOR KEY NOTES.
3. SEE STRUCTURAL DRAWINGS FOR CONCRETE REINFORCING REQUIREMENTS.
4. PROVIDE EQUAL RISERS 7" MAXIMUM (TYPICAL) AND EQUAL TREADS 11" MINIMUM (TYPICAL).
5. SLOPE TREAD 1% MAXIMUM TO OUTSIDE EDGE (TYPICAL).

STAIR C -
ENLARGED SECTION 1
SCALE: 1/4"=1'-0"



STAIR C -
ENLARGED SECTION 2
SCALE: 1/4"=1'-0"

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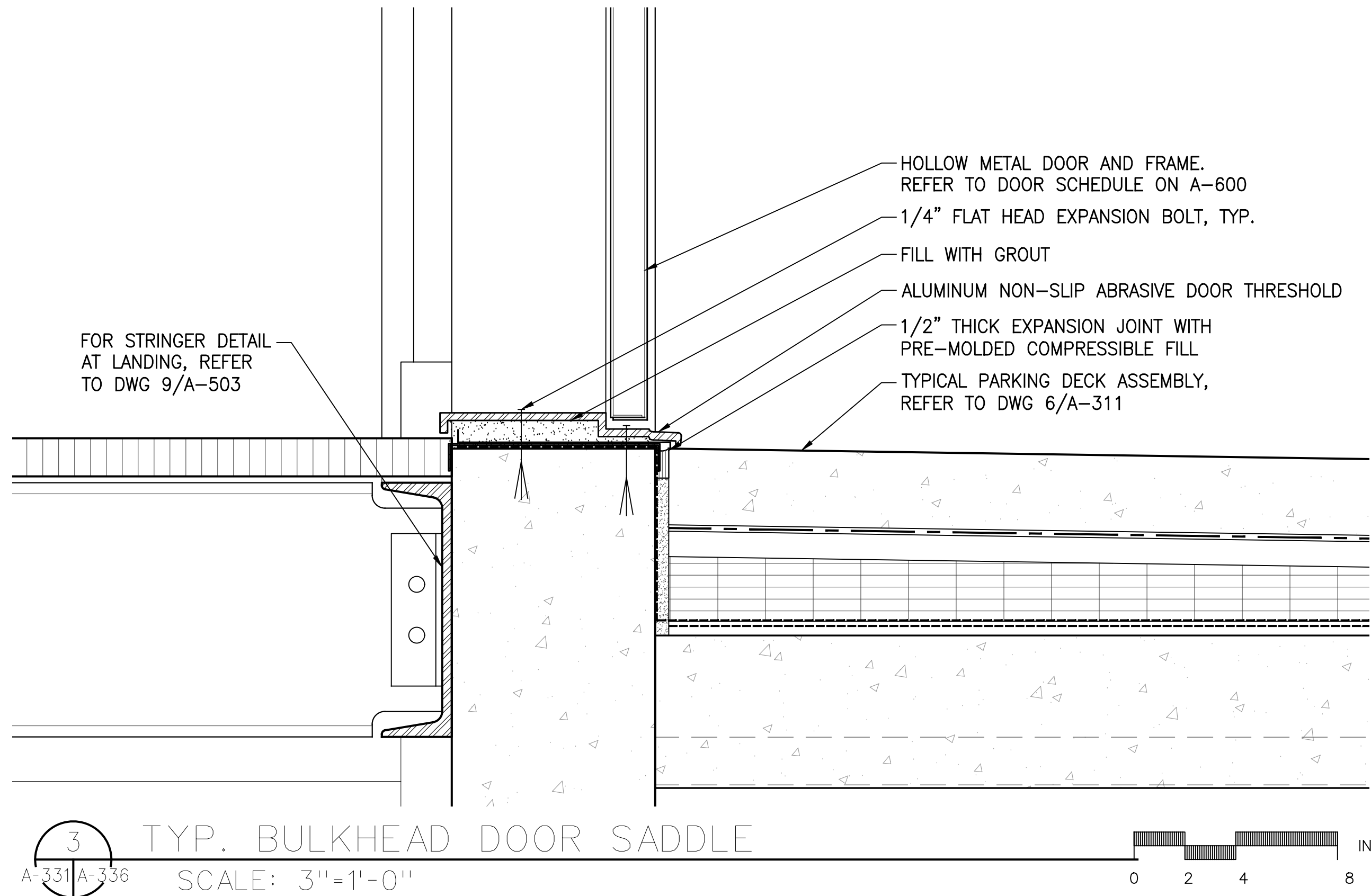
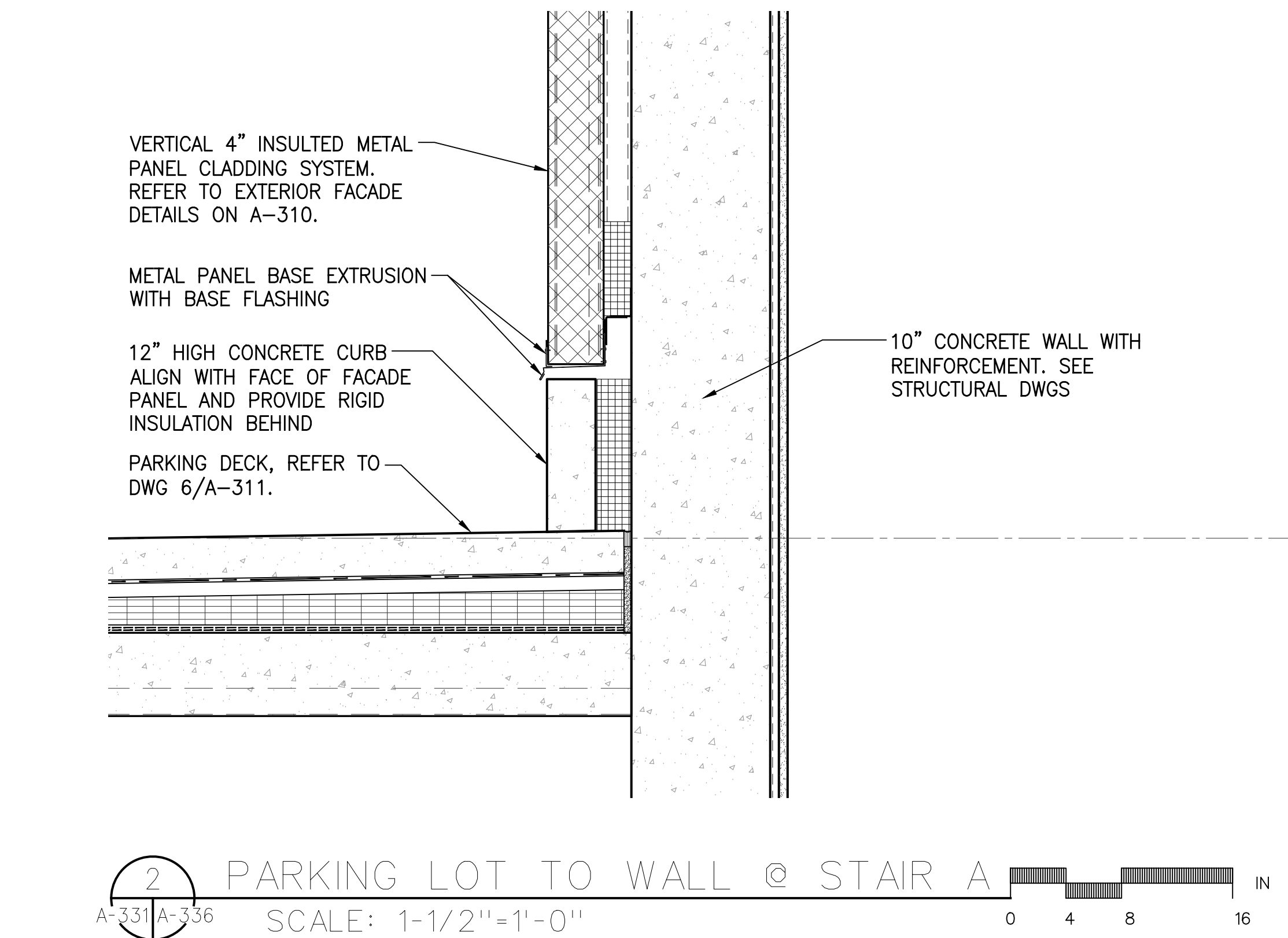
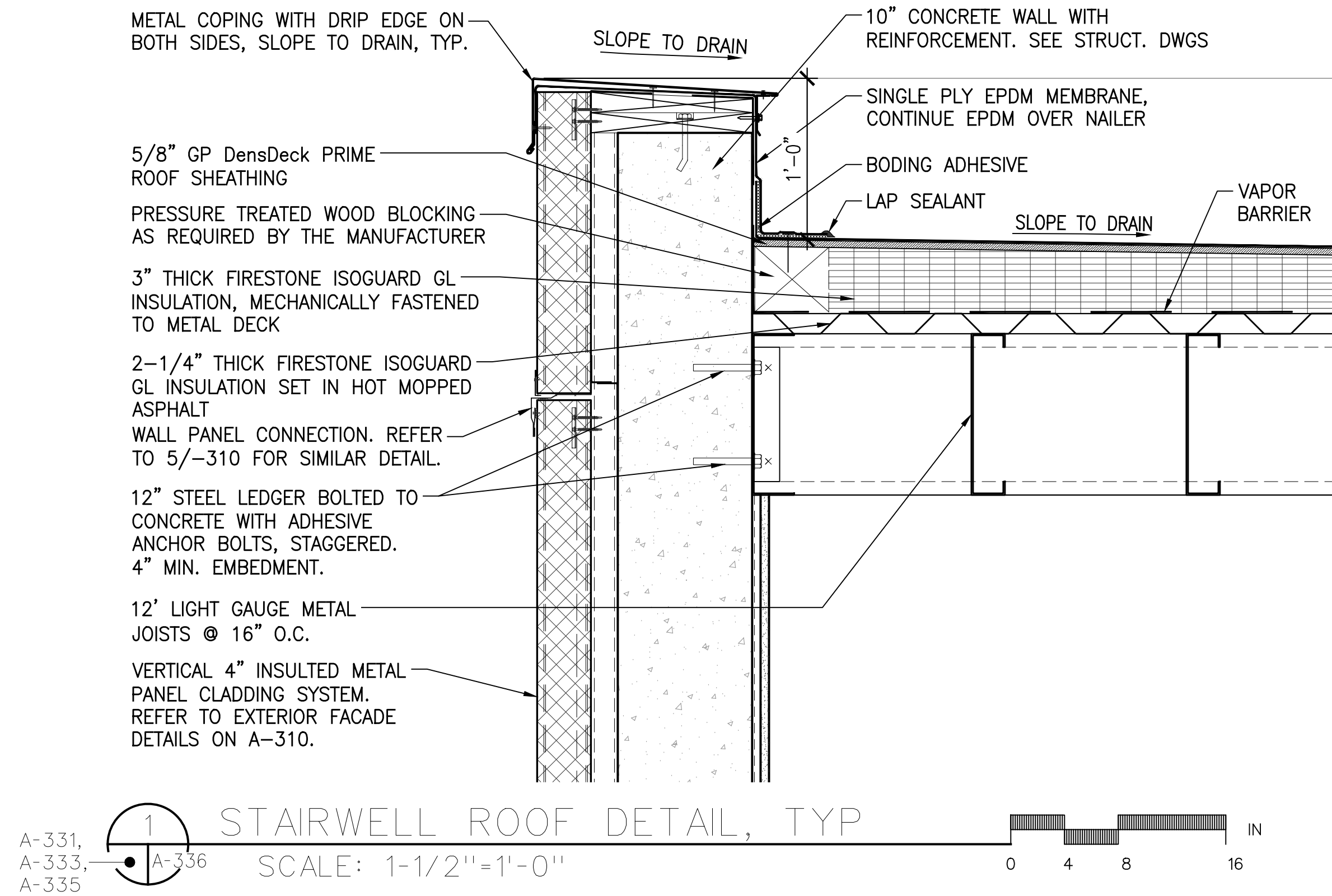
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DRAWING TITLE:

STAIR C -
ENLARGED SECTIONS

DWG NUMBER:

A-335



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DRAWING TITLE :
**TYPICAL
STAIR AND ELEVATOR
ROOF DETAILS**

DWG NUMBER :

A-336

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GEI  **Consultants**

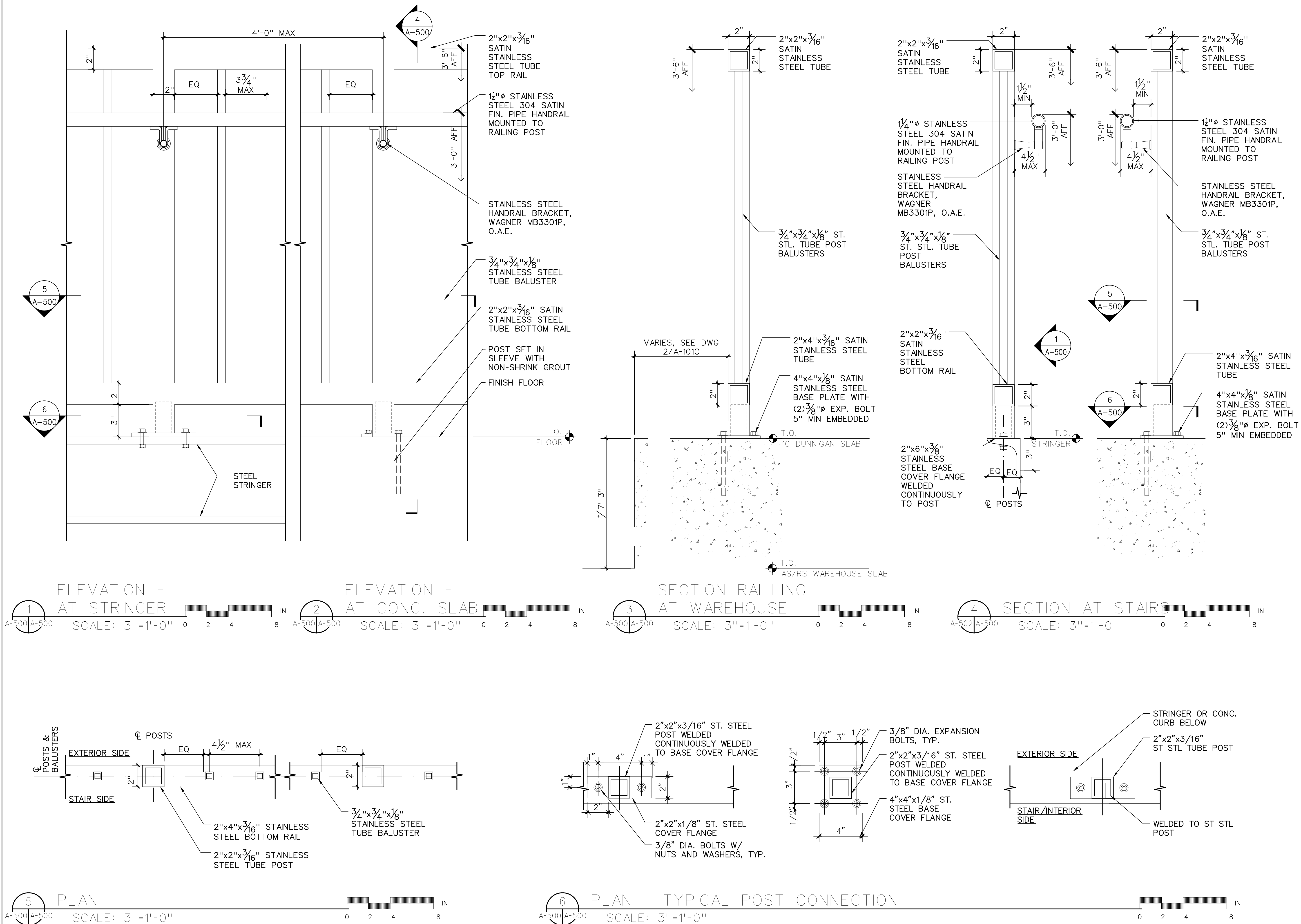
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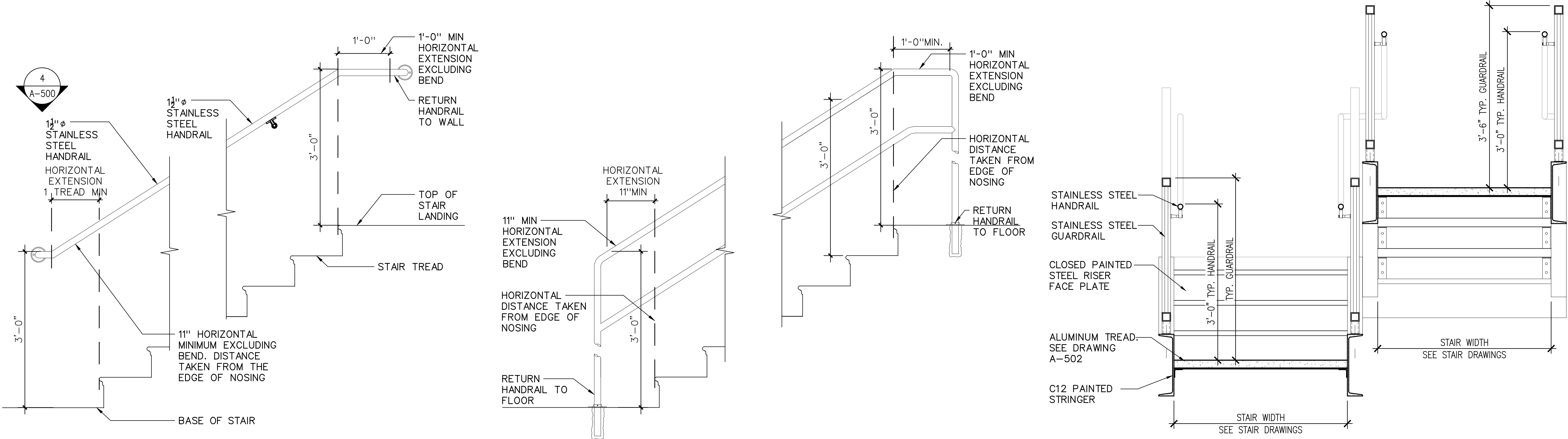
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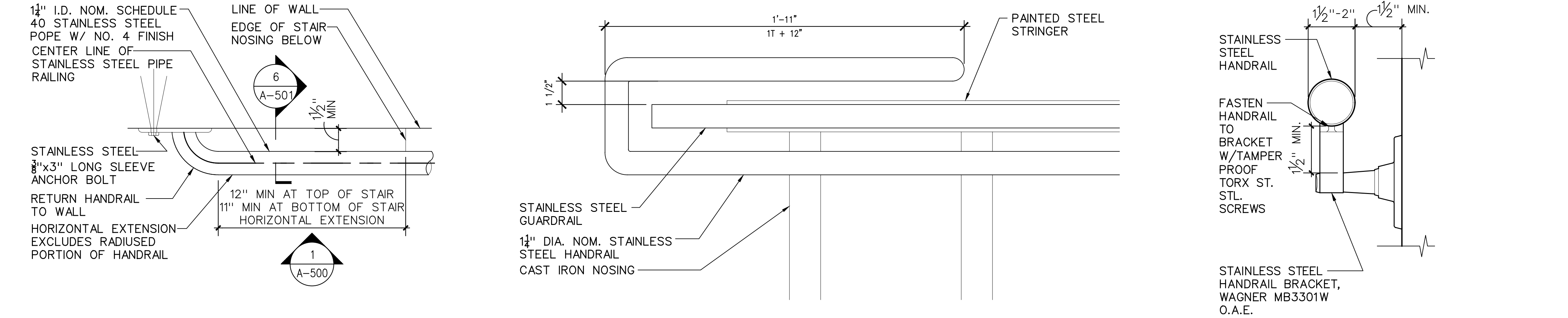
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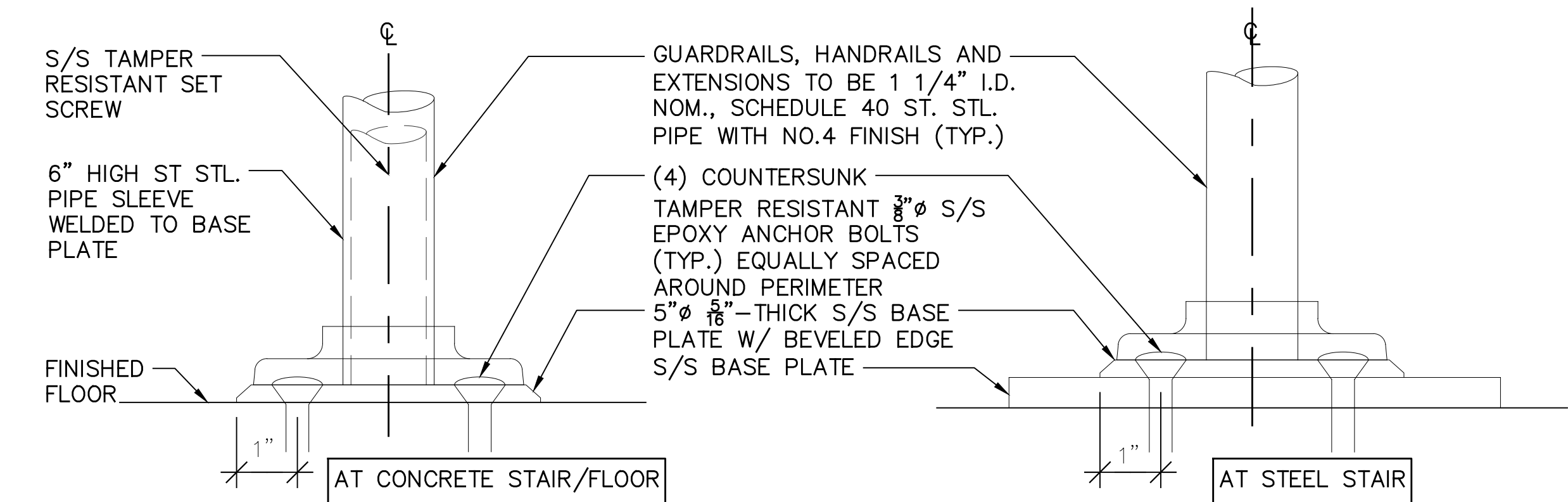




1 HANDRAIL DETAIL WALL RETURN AT TOP & BOTTOM OF STAIR SCALE: 1"=1'-0" 2 HANDRAIL DETAIL FLOOR RETURN AT TOP & BOTTOM OF STAIR SCALE: 1"=1'-0" 3 TYPICAL STAIR CROSS SECTION SCALE: 1"=1'-0"



4 PLAN - WALL RETURN SCALE: 3"=1'-0" 5 PLAN - RETURN SCALE: 3"=1'-0" 6 HANDRAIL DETAIL SCALE: 6"=1'-0"



7 SECTION - FLOOR RETURN SCALE: 3"=1'-0"

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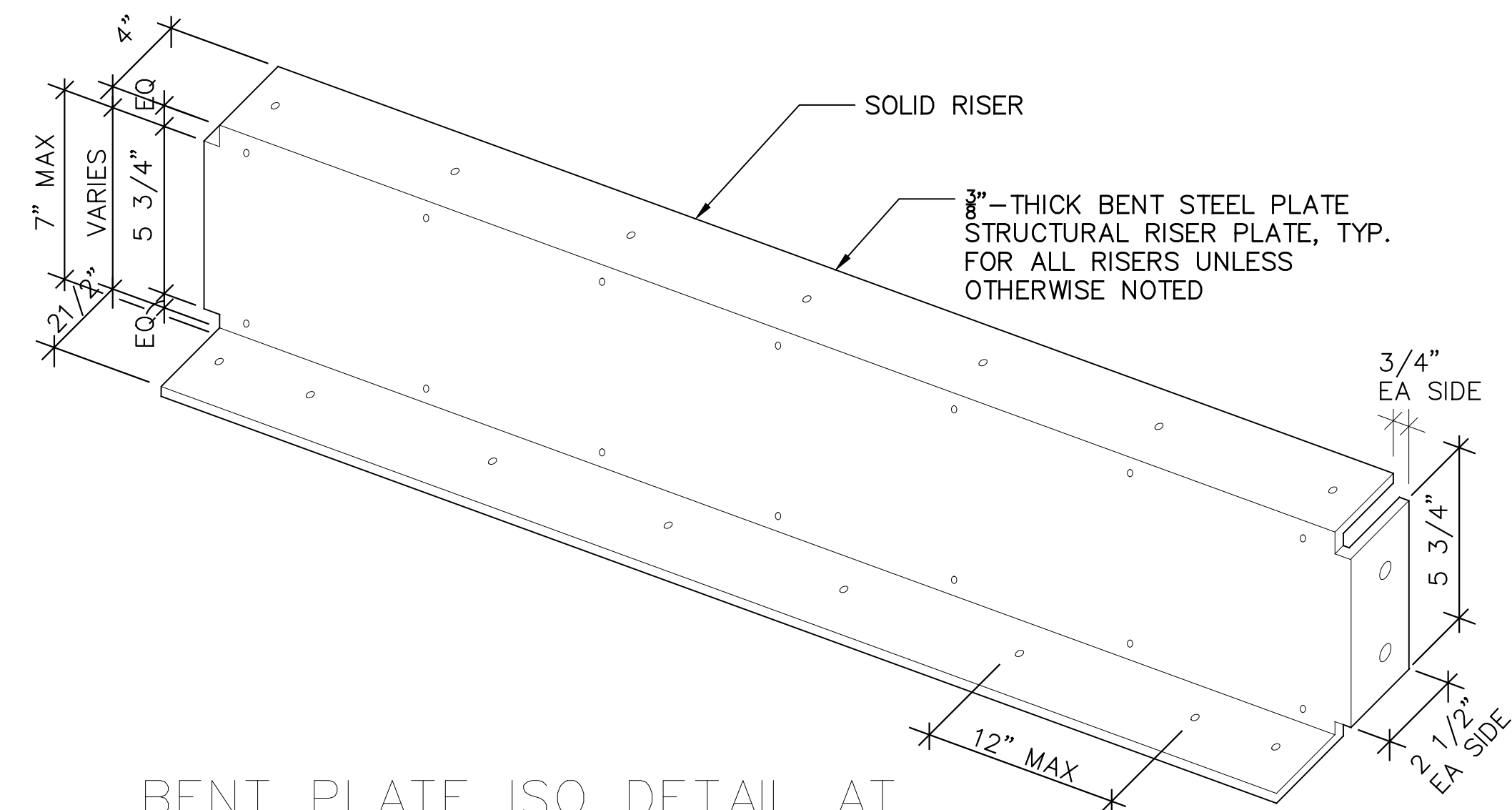
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DRAWING TITLE:

HANDRAIL DETAILS

DWG NUMBER:

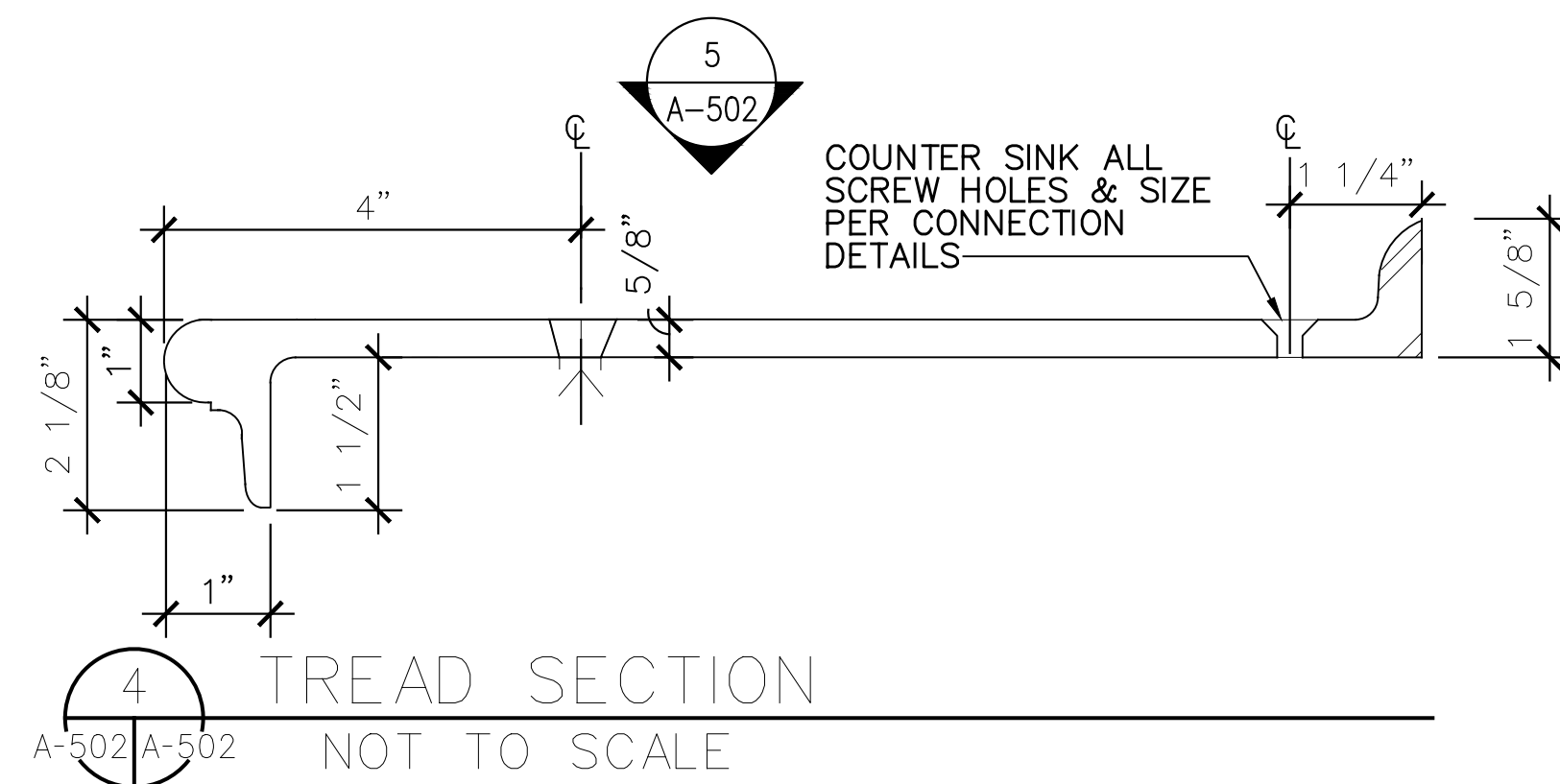
A-501



BENT PLATE ISO DETAIL AT
TOP & BOTTOM, OR STRUCTURAL RISER

6
A-502 A-502

NOT TO SCALE



Technical drawing of a staircase railing system, showing side and front elevations with detailed callouts for materials and dimensions.

Callouts and Dimensions:

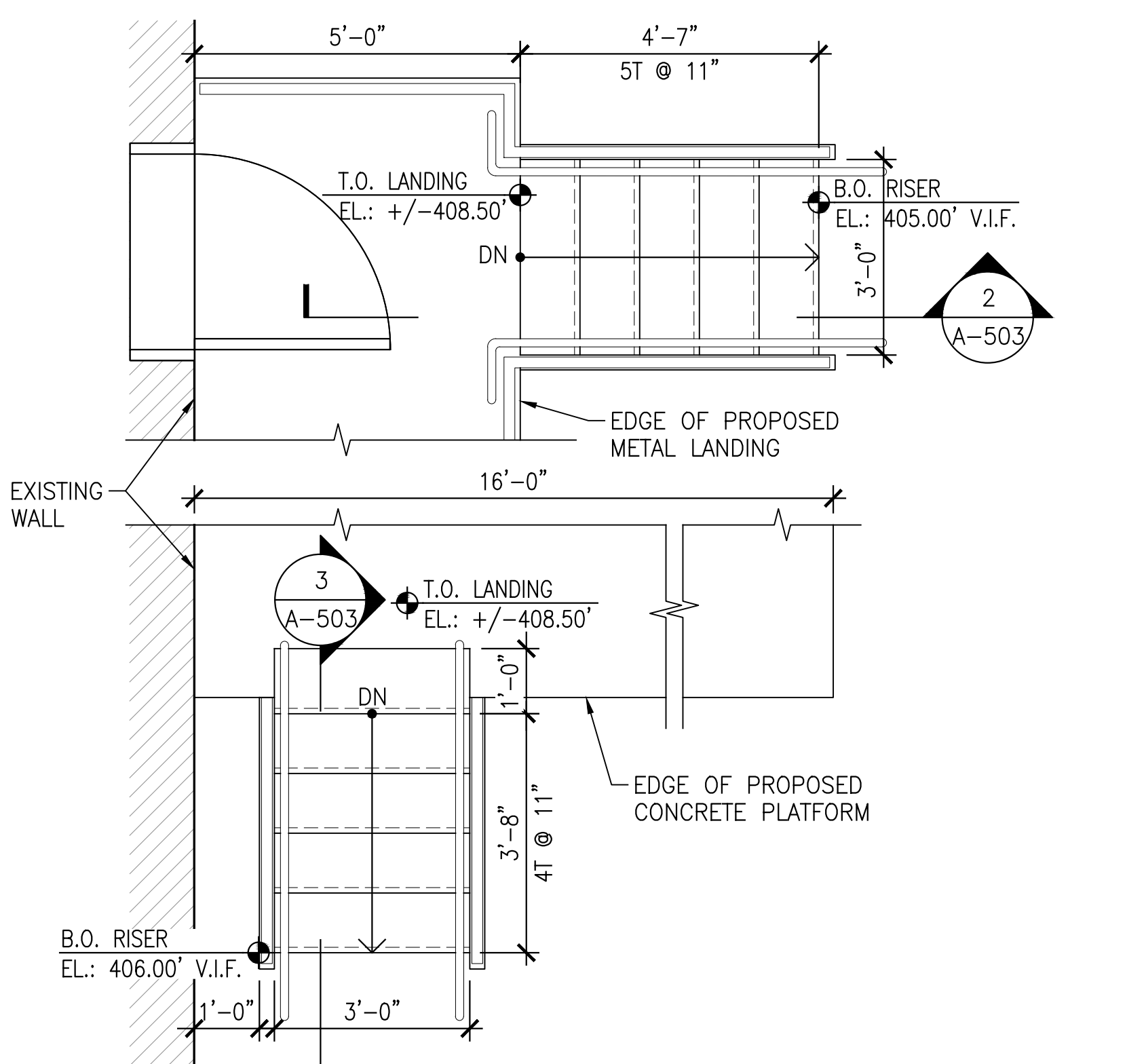
- 2" x 2" x 1/4" THICK STAINLESS STEEL TUBE BOTTOM**
- 2" x 2" x 1/4" THICK STAINLESS STEEL TUBE TOP RAIL**
- 2" x 2" x 1/4" THICK STAINLESS STEEL TUBE POST 4'-0" O.C. MAX. (TYP.)**
- 3/4" X 3/4" X 1/8" THICK SQUARE STAINLESS STEEL TUBE BALUSTERS TURNED 45 DEGREES**
- 4" MAX** (spacing between balusters)
- STAINLESS STEEL GUARDRAIL**
- STAINLESS STEEL HANDRAIL**
- 11" MIN BEFORE BEND**
- 3'-6"** (stair run dimension)
- 3'-0"** (stair run dimension)
- 2** (callout for detail A-502)
- STEEL BENT PLATE, TYP.**
- PTD. STEEL STAIR STRINGER**
- SOLID ST. STL. RISER FACE PLATE**
- 3** (callout for detail A-502)
- A-500** (detail callout)
- A-502** (detail callout)
- T.O. FIN. FLOOR**

7 TYPICAL STAIR SECTION
A-502 A-502 NOT TO SCALE

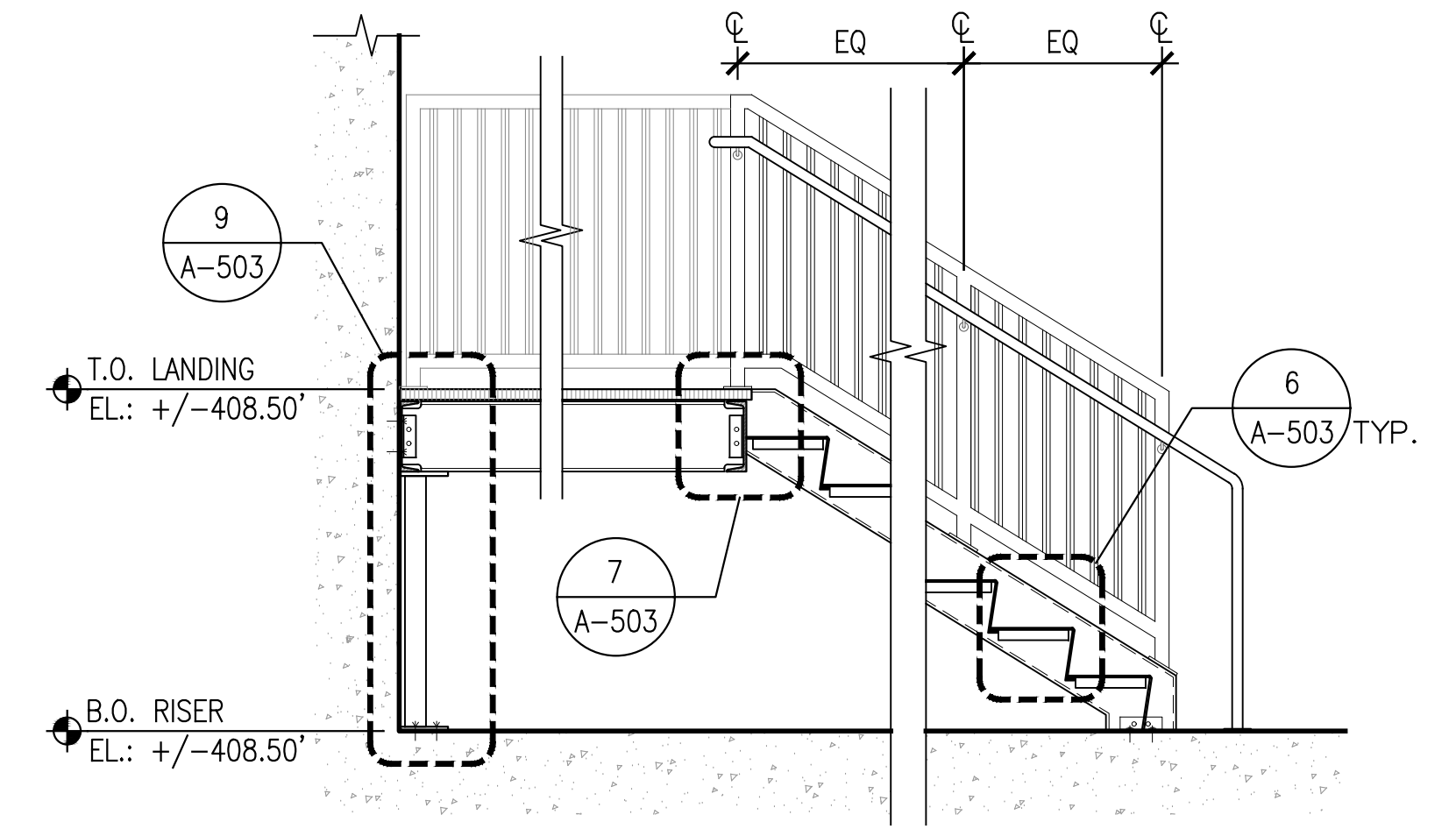


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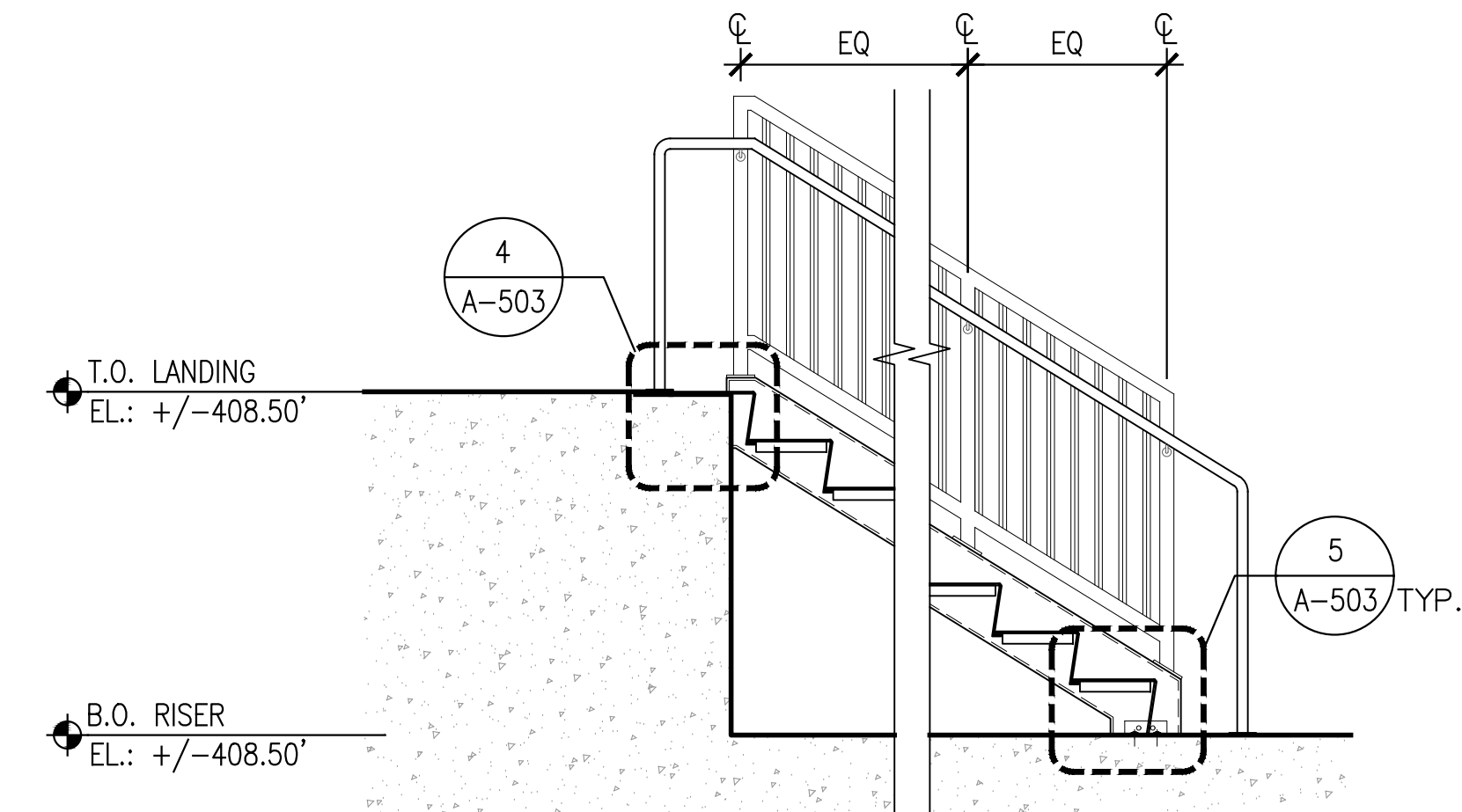
A-502



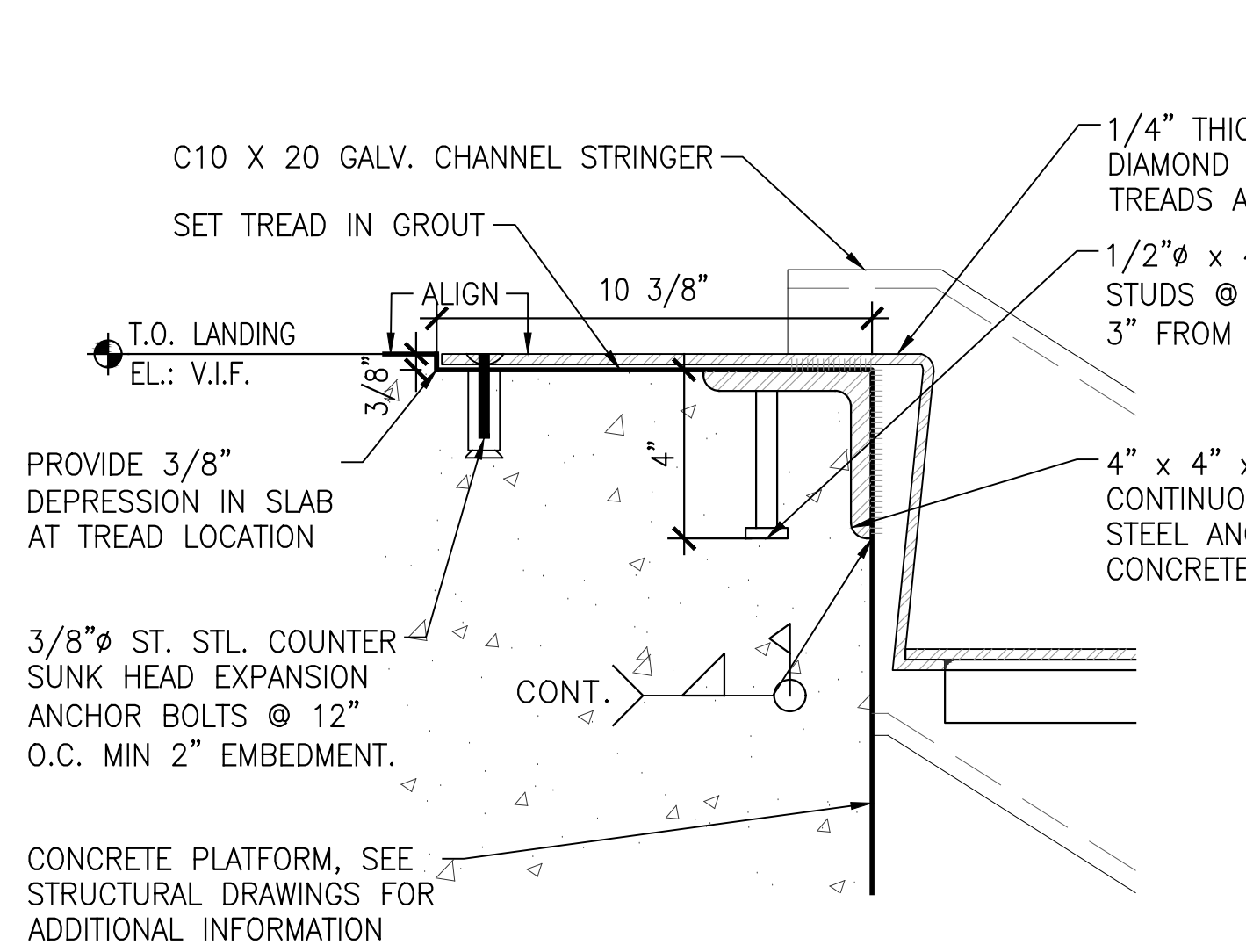
1 TYP. METAL STAIR PLAN
A-503 A-503
SCALE: 1/2"=1'-0"



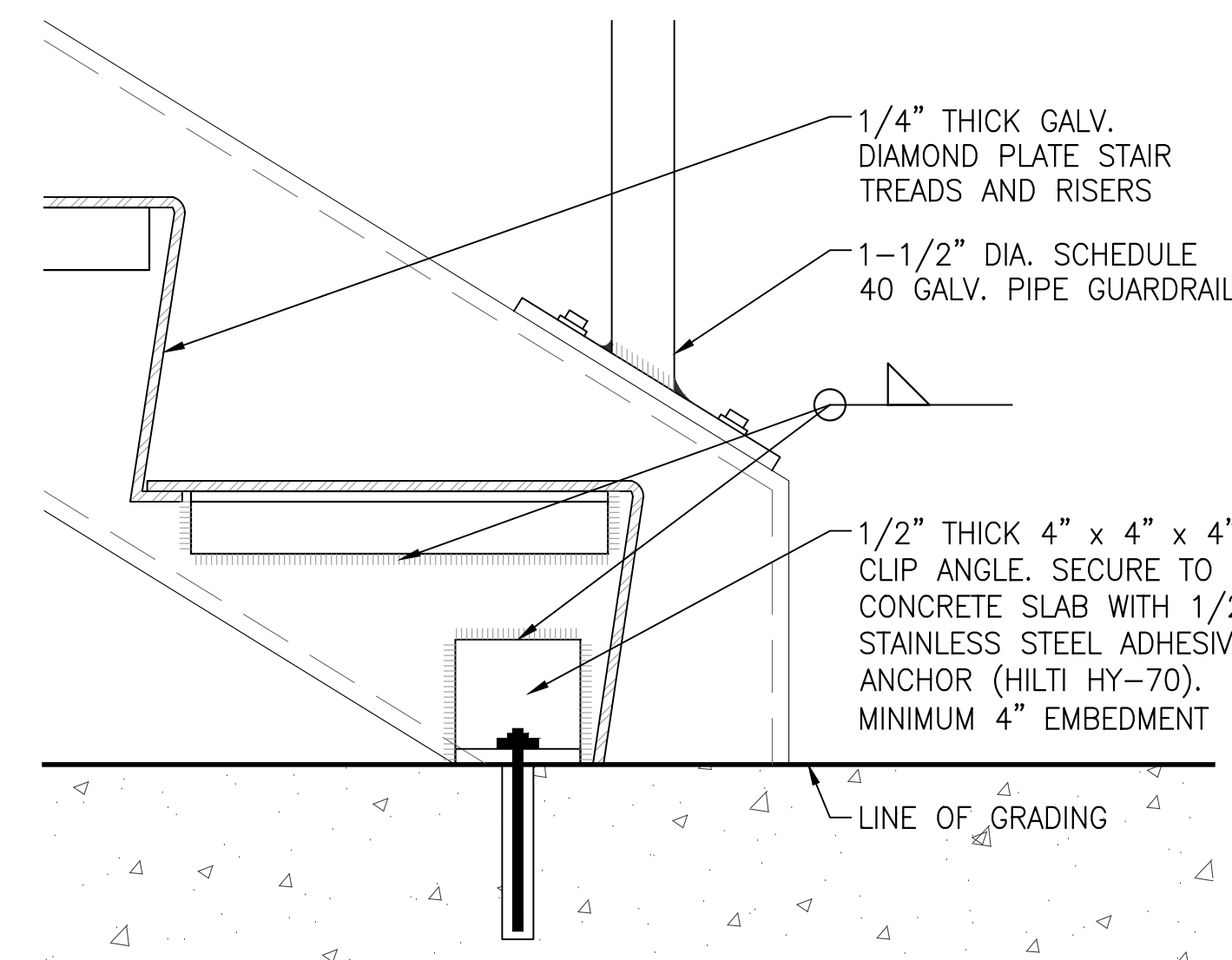
9 TYP. METAL STAIR SECTION AT LANDING
A-503 A-503
SCALE: 1/2"=1'-0"



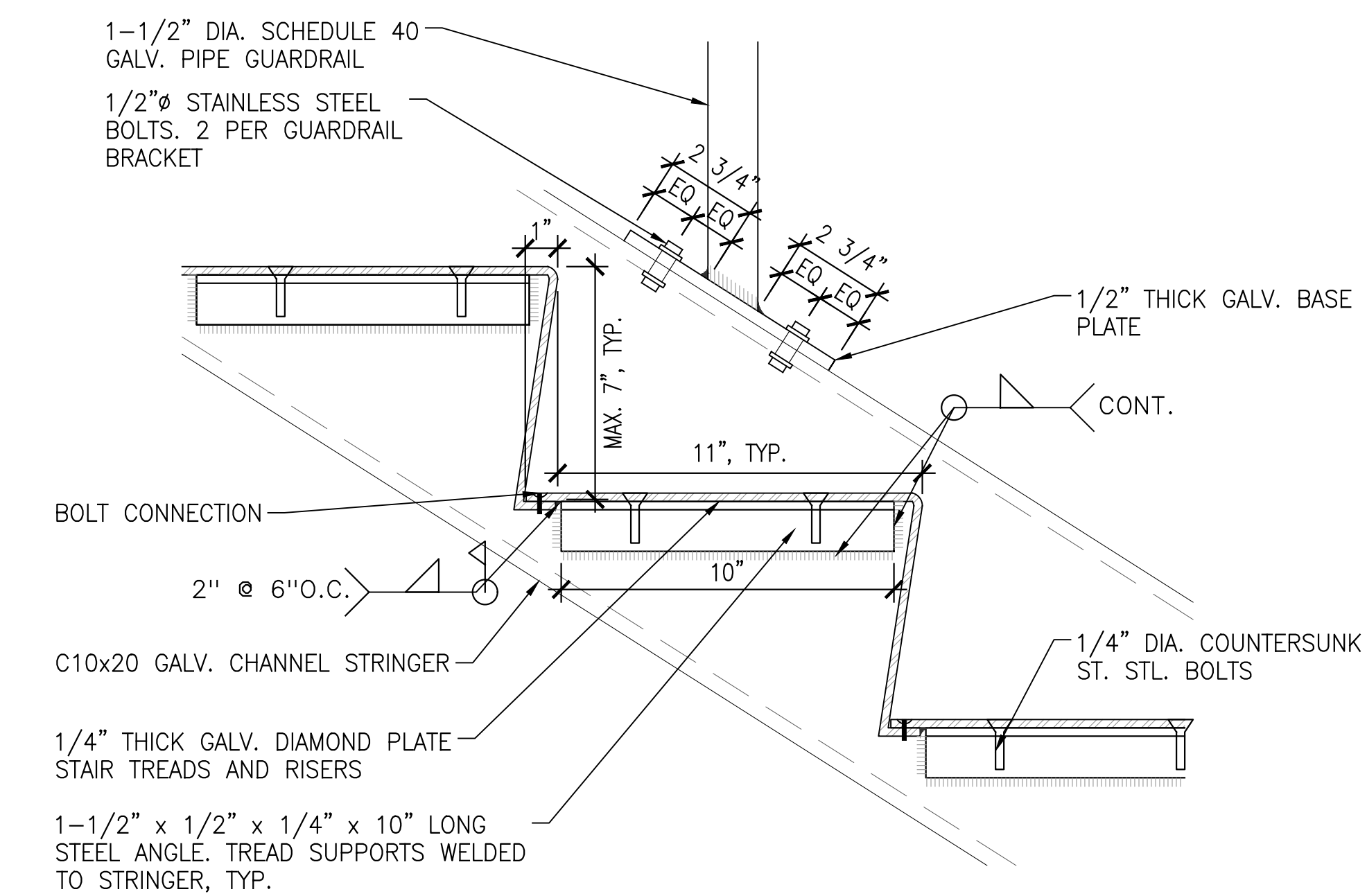
4 TYP. METAL STAIR SECTION AT END OF PLATFORM
A-503 A-503
SCALE: 1/2"=1'-0"



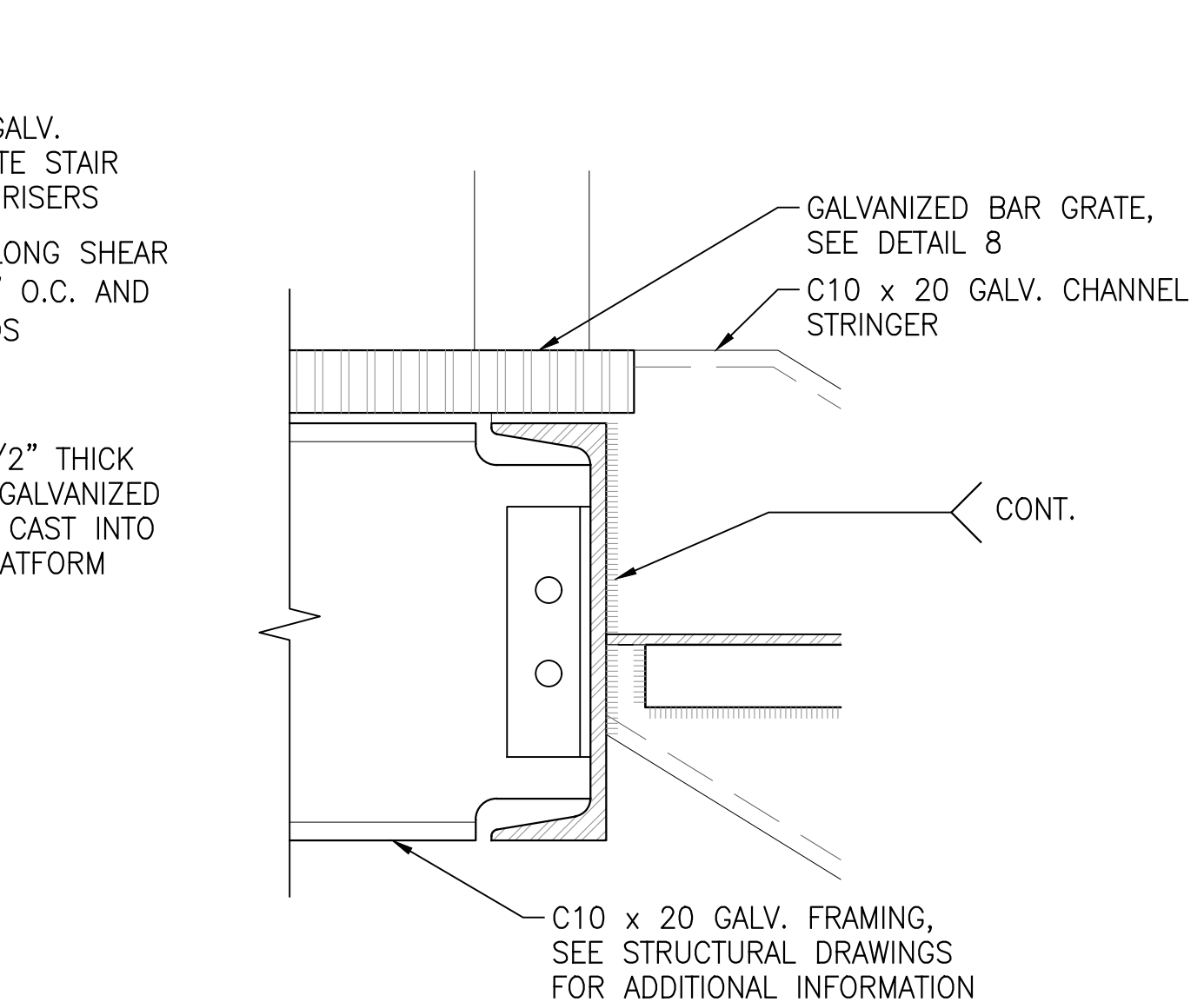
4 STEEL SECTION DETAIL AT TREAD
A-503 A-503
SCALE: 3"=1'-0"



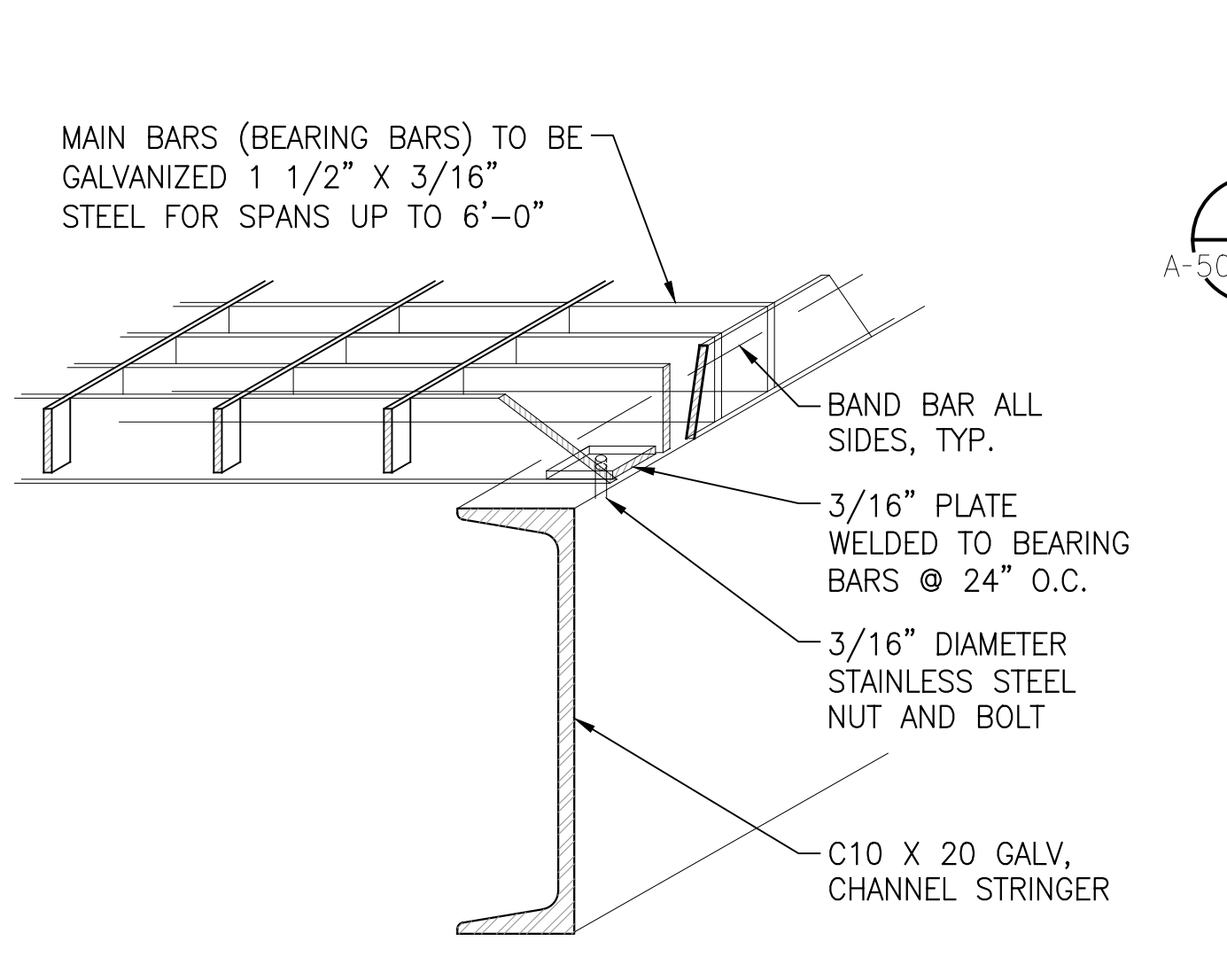
5 STRINGER DETAIL AT FLOOR
A-503 A-503
SCALE: 3"=1'-0"



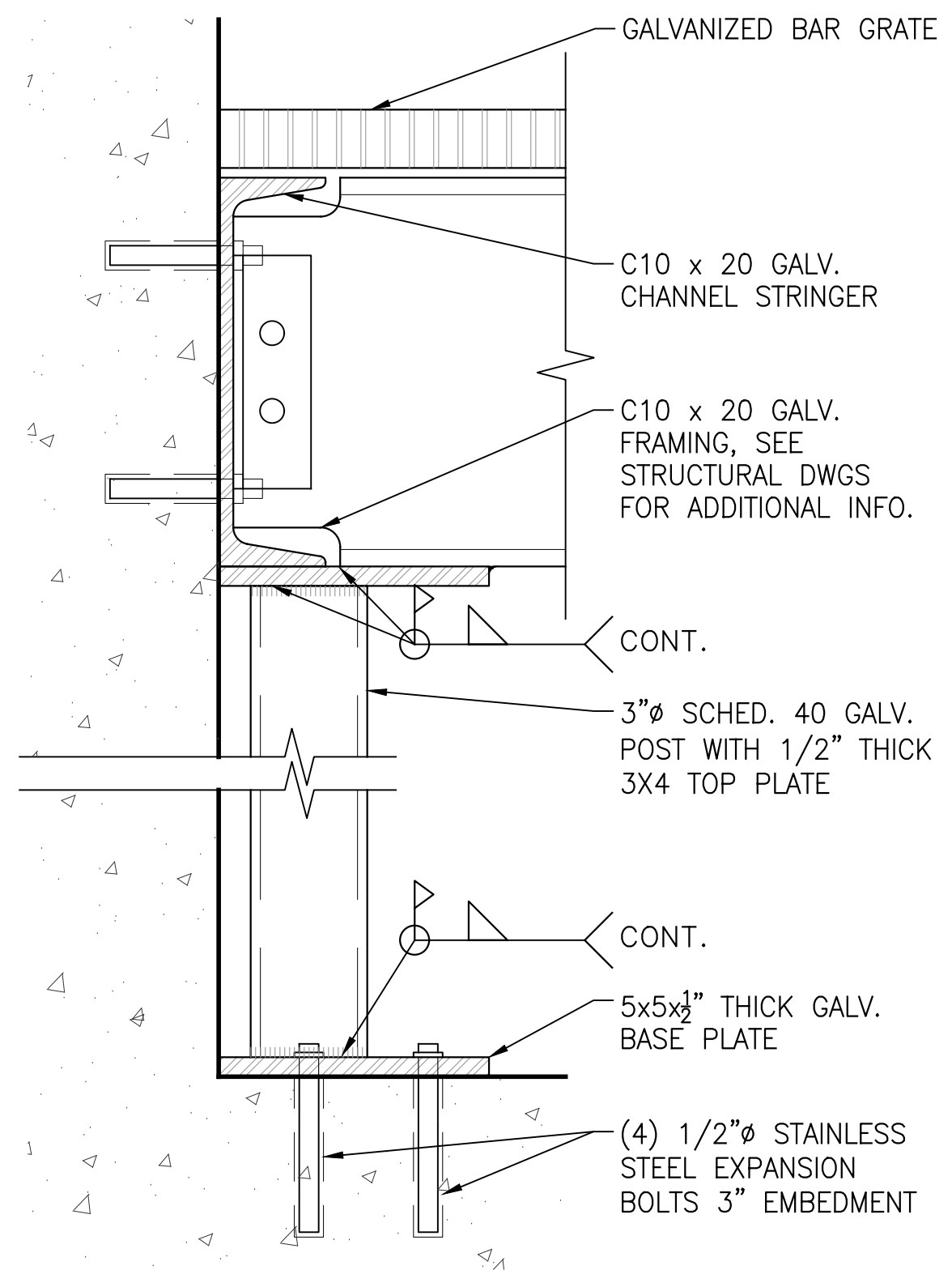
6 TYP. STAIR NOSING DETAIL
A-503 A-503
SCALE: 3"=1'-0"



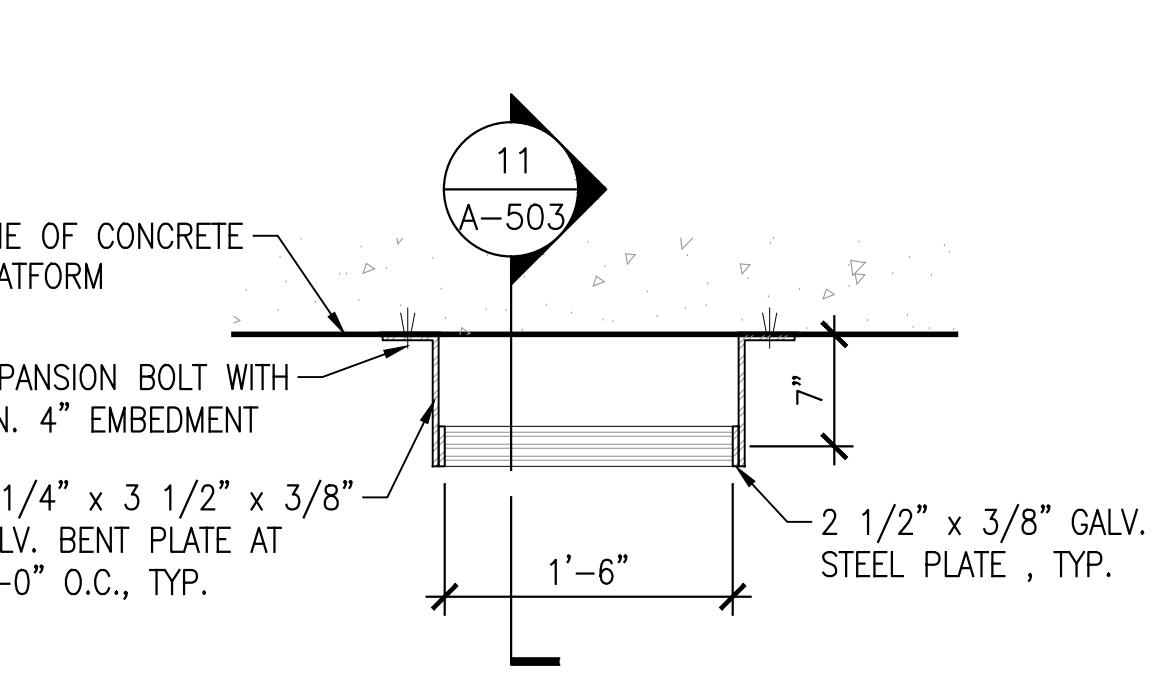
7 STRINGER DETAIL AT LANDING
A-503 A-503
SCALE: 3"=1'-0"



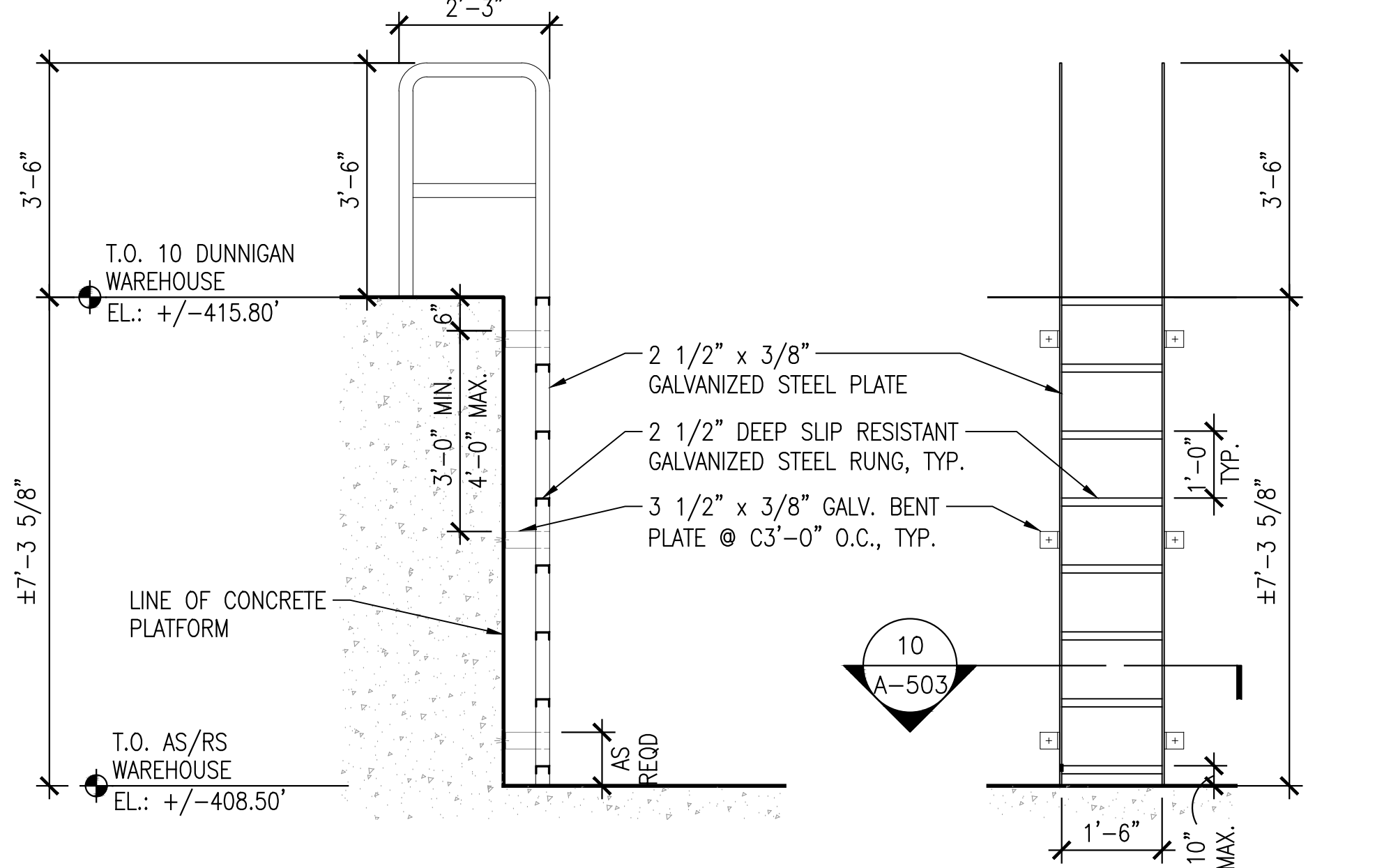
8 BAR GRATING ISOMETRIC
A-503 A-503
N.T.S.



9 STRINGER DETAIL AT LANDING
A-503 A-503
SCALE: 3"=1'-0"



10 FIXED LADDER PLAN DETAIL
A-503 A-503
SCALE: 1"=1'-0"



11 LADDER SECTION & ELEVATION
A-503 A-503
SCALE: 1/2"=1'-0"

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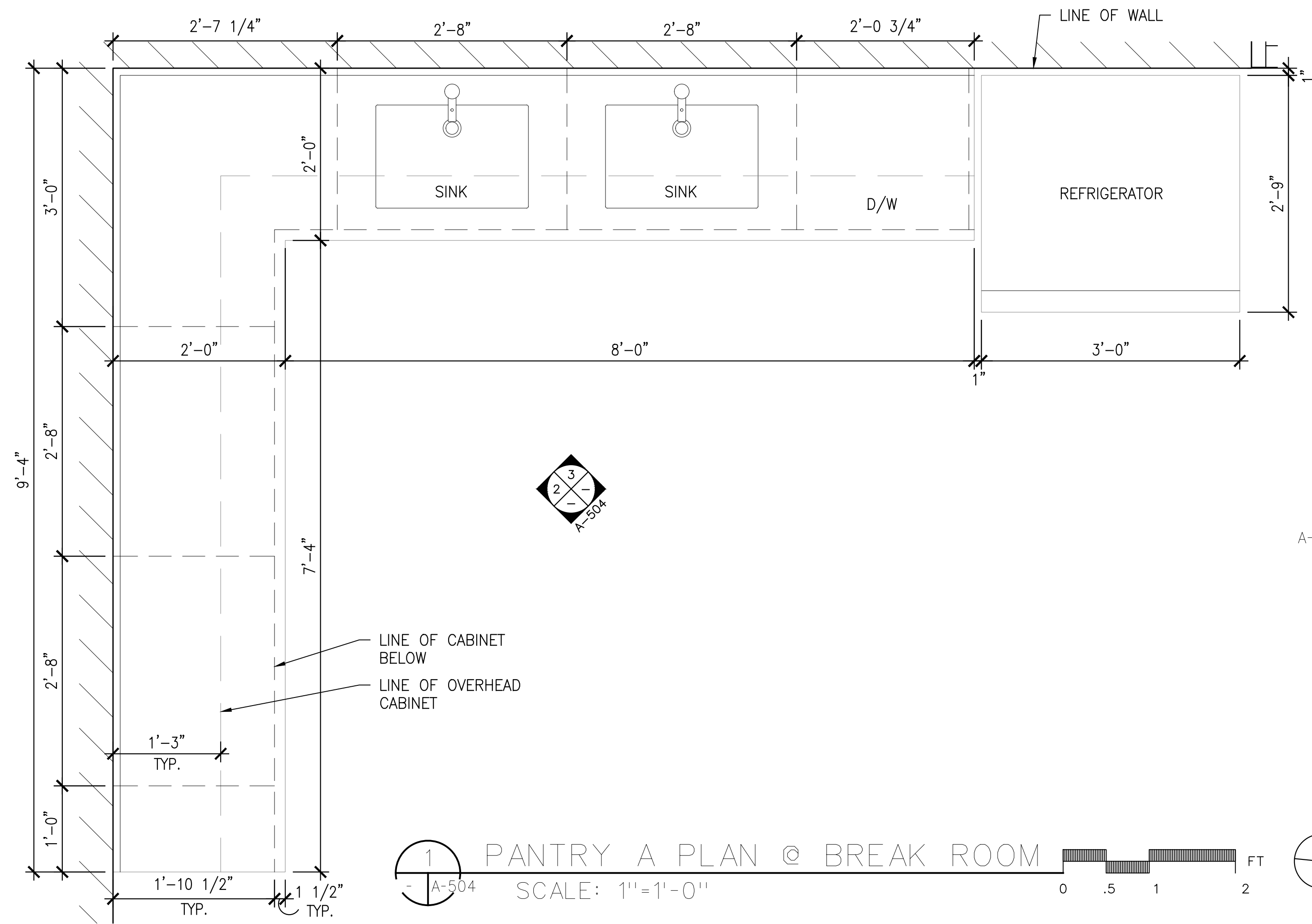
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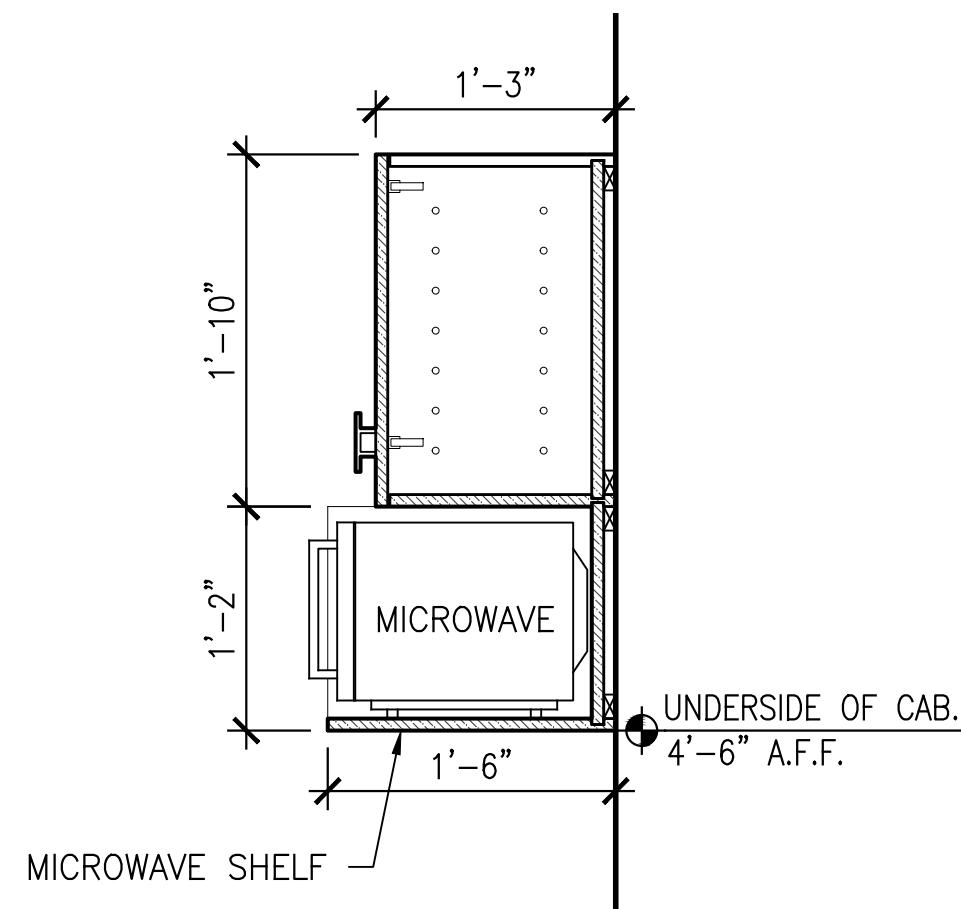
DRAWING TITLE:
TYPICAL METAL STAIR AND LADDER

DWG NUMBER:

A-503

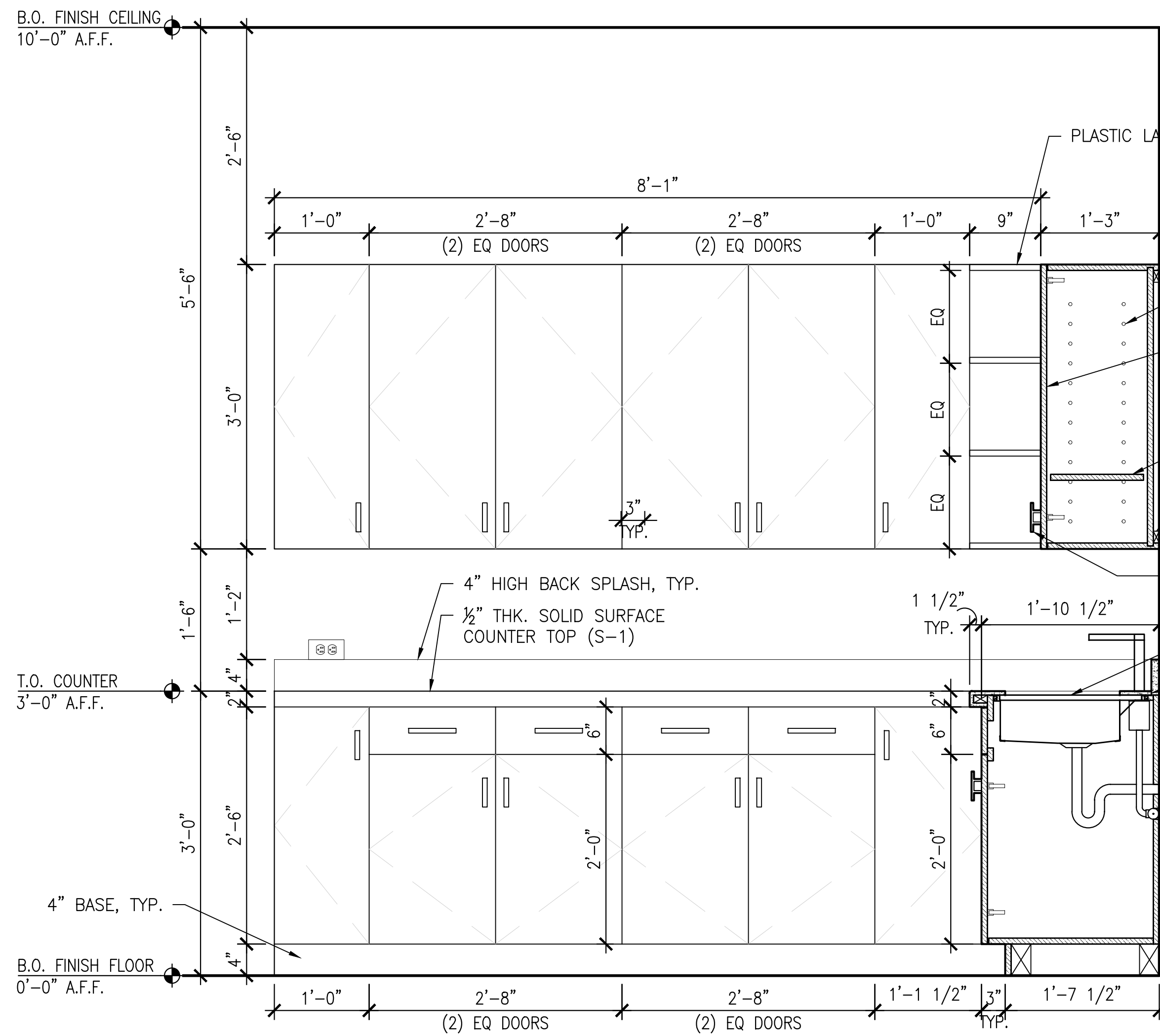


PANTRY A SECTION
@ MICROWAVE
SCALE: 1"=1'-0"

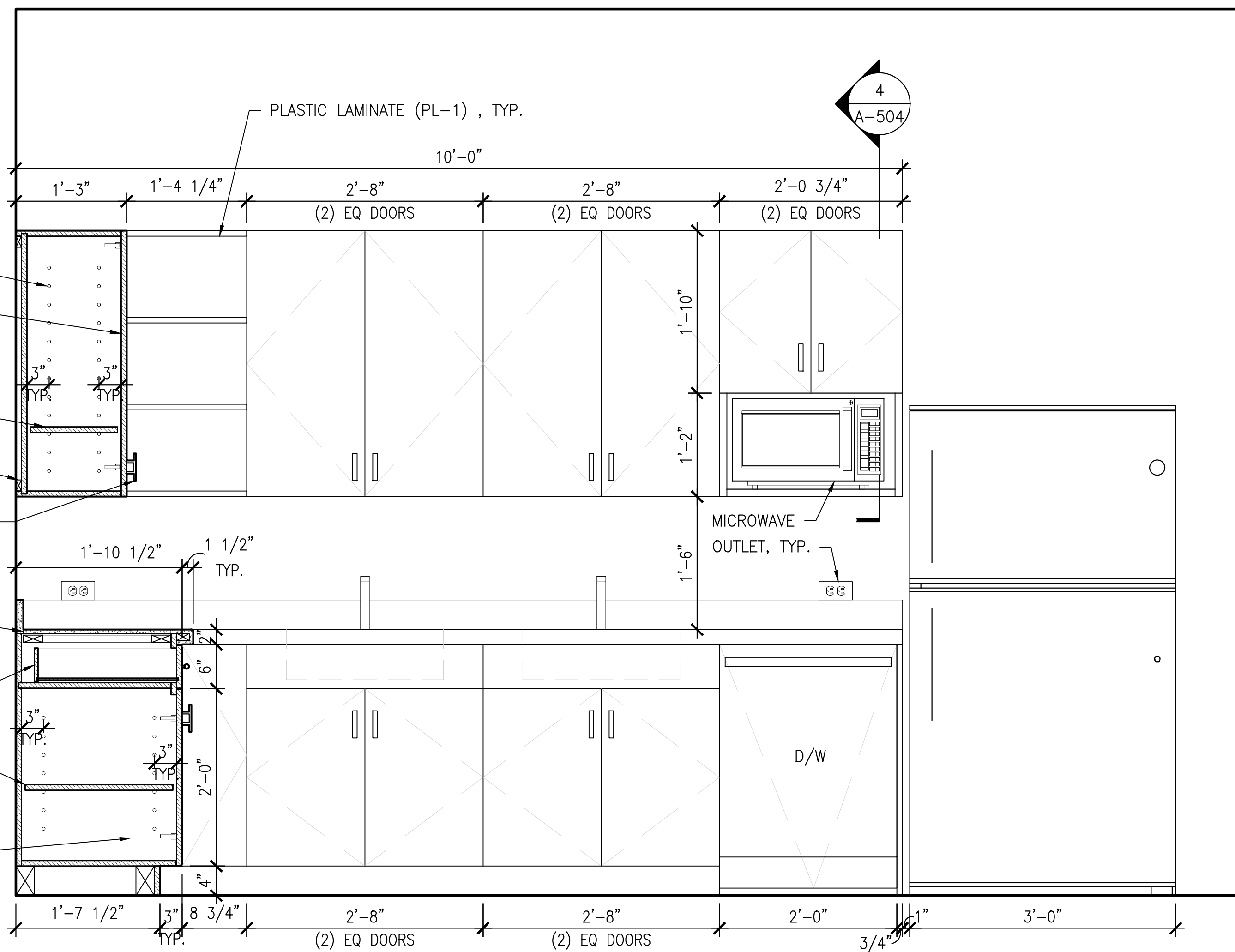


MILLWORK FINISH SCHEDULE LEGEND:	
PLASTIC LAMINATE	
PL-1	MFR: FORMICA COLOR: EBONY 9012 FINISH: NATURELLE FINISH
PL-2	MFR: KNOLL COLOR: WARM ASH NO: 140
SOLID SURFACE	
S-1	MFR: FORMICA COLOR: DALI MINERAL NO: 759

PANTRY A PLAN @ BREAK ROOM
SCALE: 1"=1'-0"



PANTRY A ELEVATION @ BREAK ROOM
SCALE: 1"=1'-0"



PANTRY A ELEVATION @ BREAK ROOM
SCALE: 1"=1'-0"

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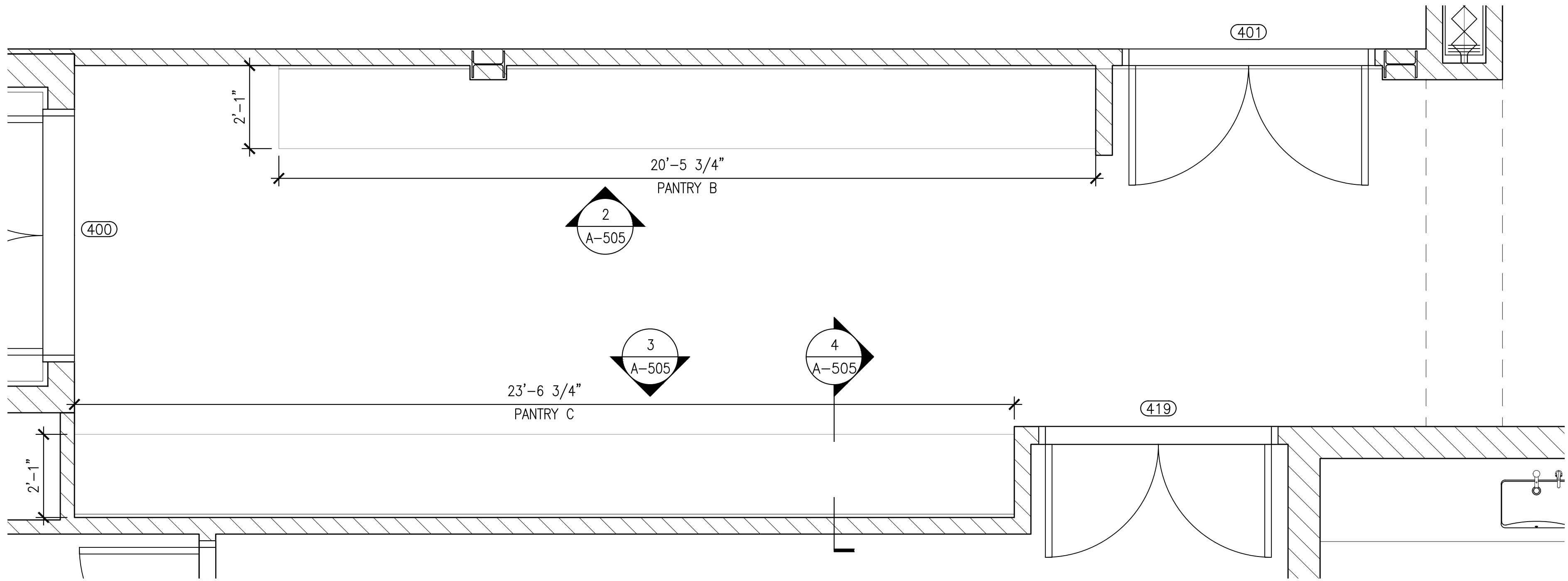
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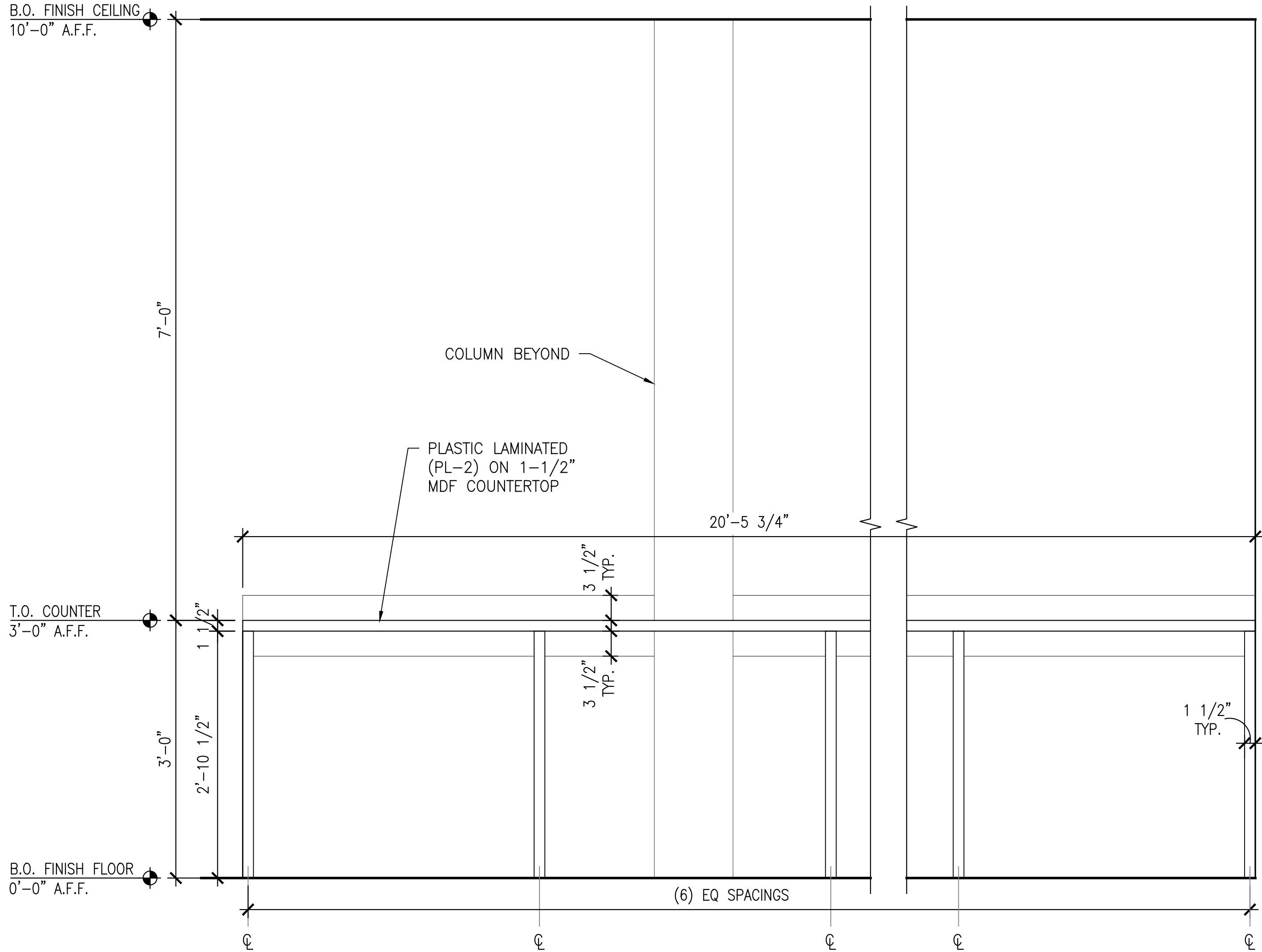
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1 OF 2

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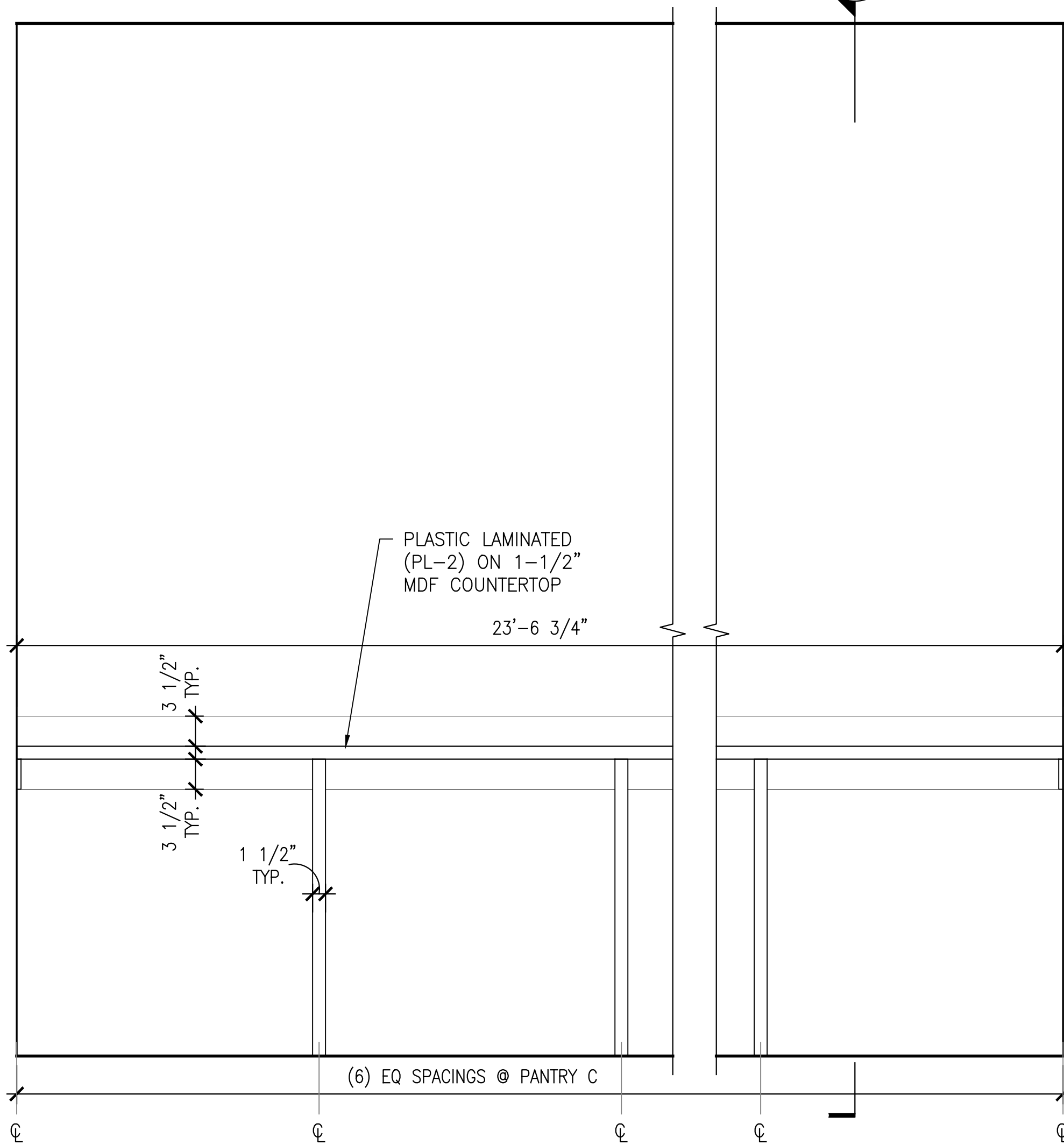
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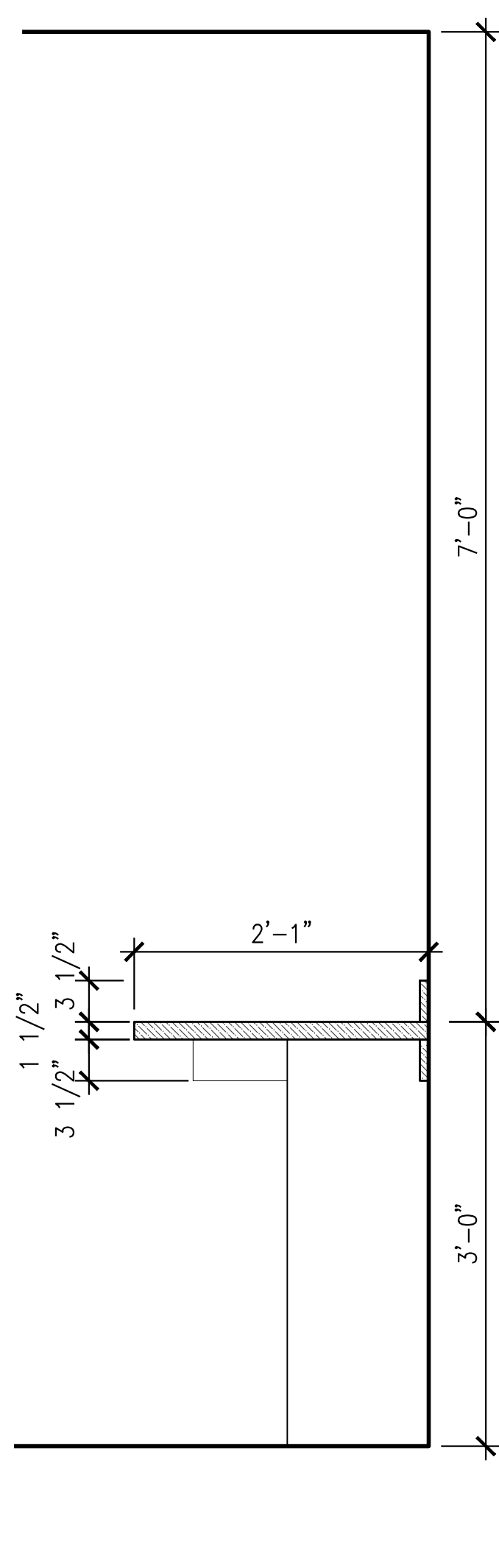
1 PANTRY B & C PLAN @ CATERING HALL
A-505 A-505 SCALE: 1/2"=1'-0"



2 PANTRY B ELEVATION
@ CATERING HALL
A-505 A-505 SCALE: 1"=1'-0"



3 PANTRY C ELEVATION
@ CATERING HALL
A-505 A-505 SCALE: 1"=1'-0"



4 TYPICAL SECTION
A-505 A-505 SCALE: 1"=1'-0"

MILLWORK FINISH SCHEDULE LEGEND:	
PLASTIC LAMINATE	
PL-1	MFR: FORMICA COLOR: EBONY 9012 FINISH: NATURELLE FINISH
PL-2	MFR: KNOLL COLOR: WARM ASH NO: 140
SOLID SURFACE	
S-1	MFR: FORMICA COLOR: DALI MINERAL NO: 759

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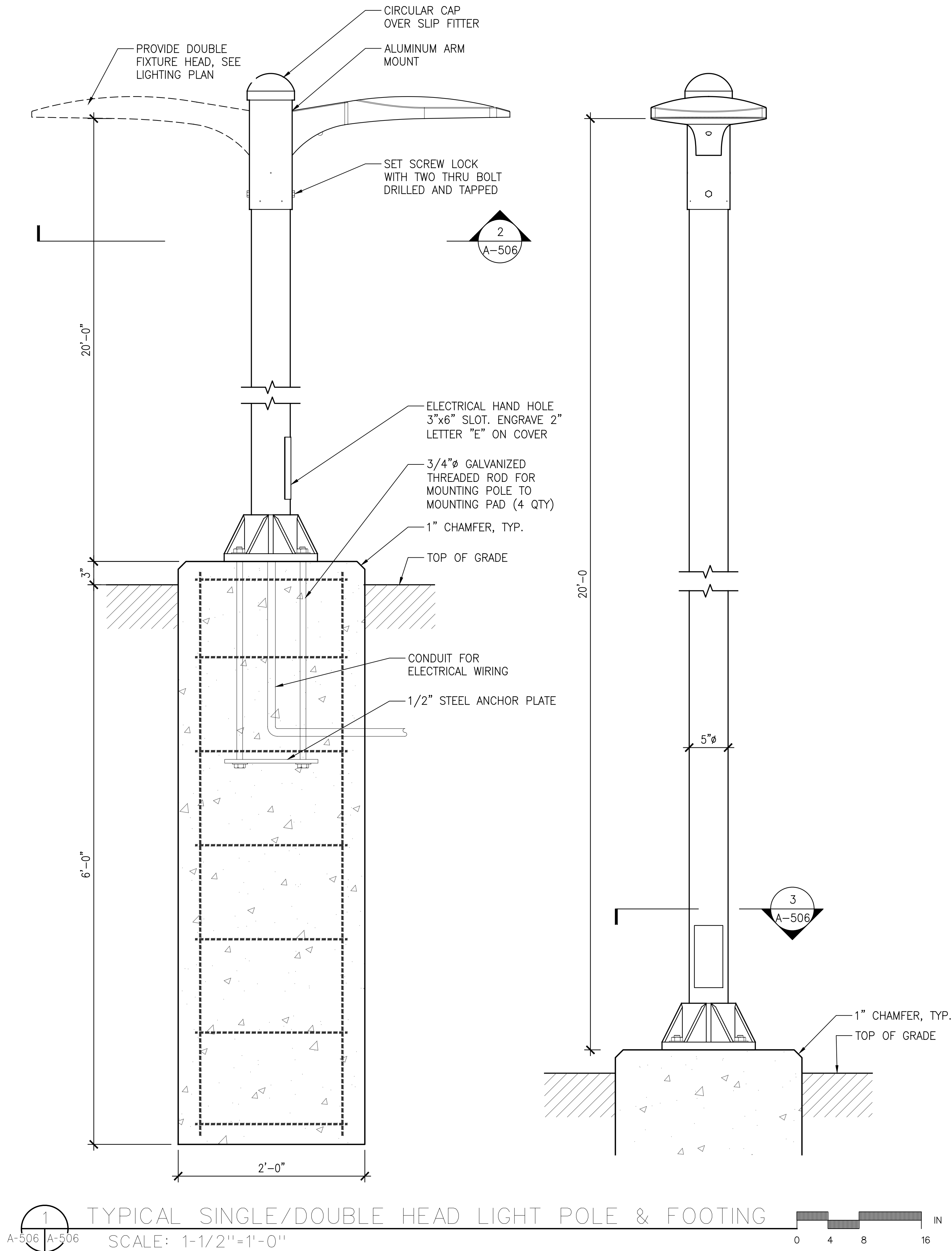
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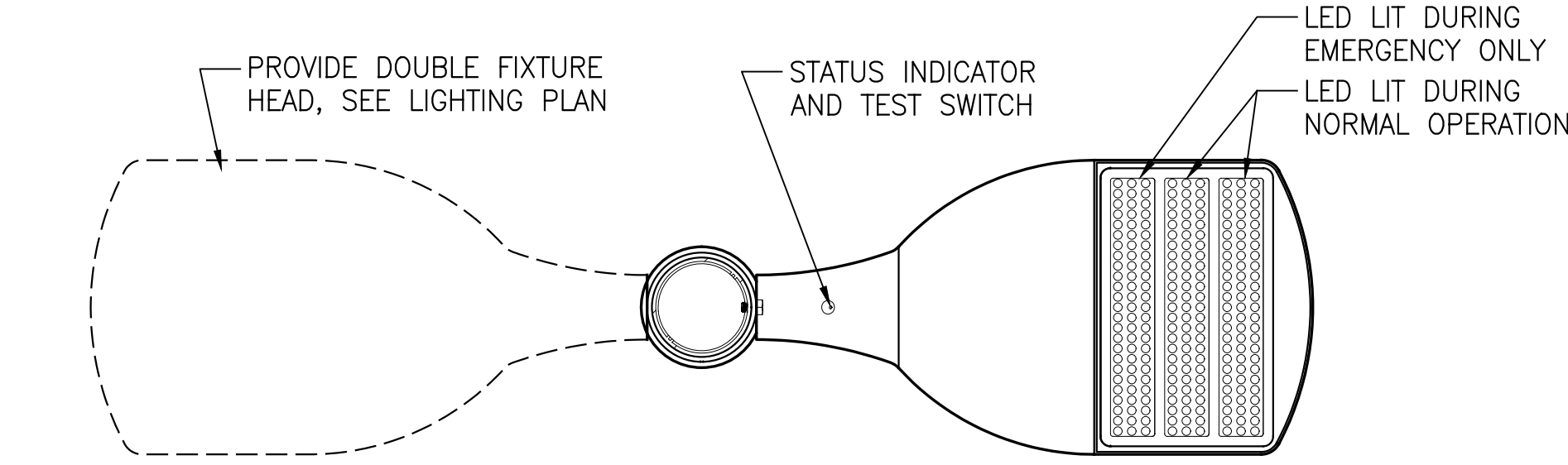
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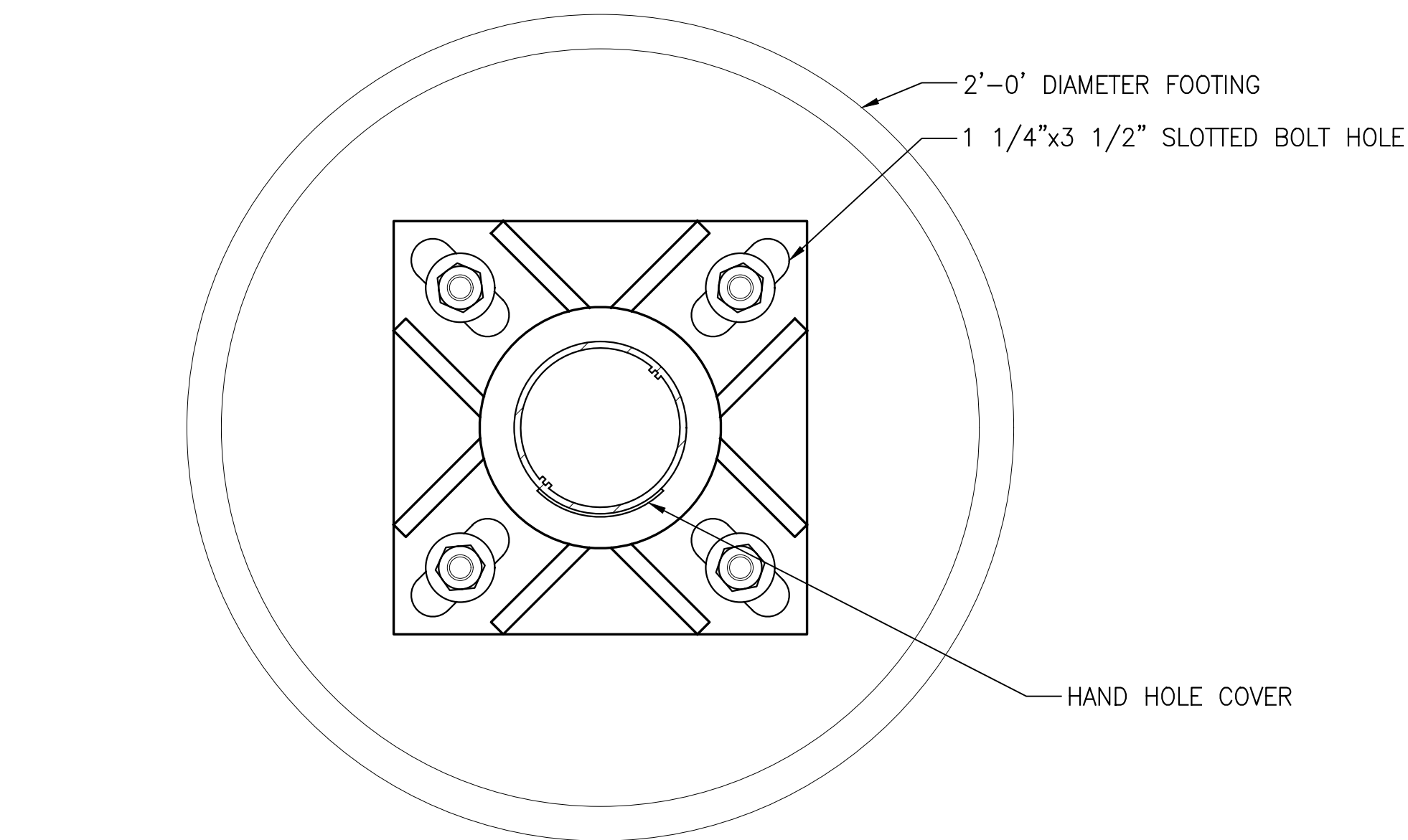
A-505



1
A-506 A-506
TYPICAL SINGLE/DOUBLE HEAD LIGHT POLE & FOOTING
SCALE: 1-1/2"=1'-0"



2
A-506 A-506
SINGLE/DOUBLE FIXTURE HEAD
SCALE: 1-1/2"=1'-0"



3
A-506 A-506
TYPICAL POLE BASE PLATE
SCALE: 3"=1'-0"

- SPECIFICATION NOTES:
1. APOGREE DIE CAST LED HEAD WITH INTEGRAL 90 MIN EM STD.
 2. 5" OD .188 THICK EXTRUDED ALUMINUM LIGHT POLE.
 3. CAST ALUMINUM BASE PLATE WITH (4) THREADED RODS AND ALUMINUM BASE COVER.
 4. CONCRETE PLATFORM.
 5. INTERNAL VIBRATION DAMPER.
 6. ELECTRICAL HAND HOLE COVER SECURED WITH CAPTIVE SCREWS.
 6. EXACT POLE DIMENSIONS AND SPECS SUBJECT TO CHANGE PENDING FINAL APPROVAL AND ENGINEERING CALCULATIONS.

FINISH:
BASED POWDER COAT, BLACK TO MATCH FIXTURE HEAD

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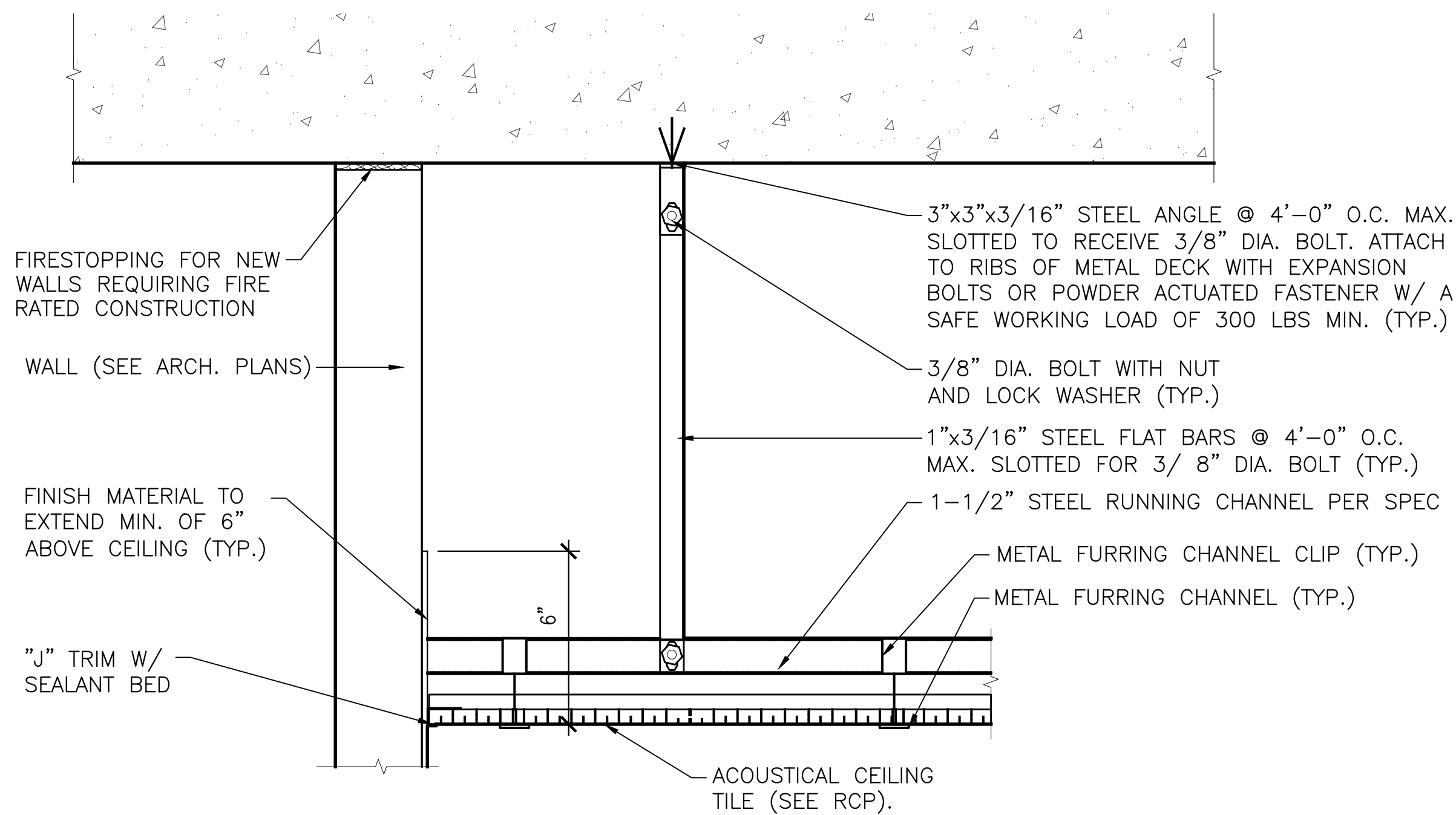
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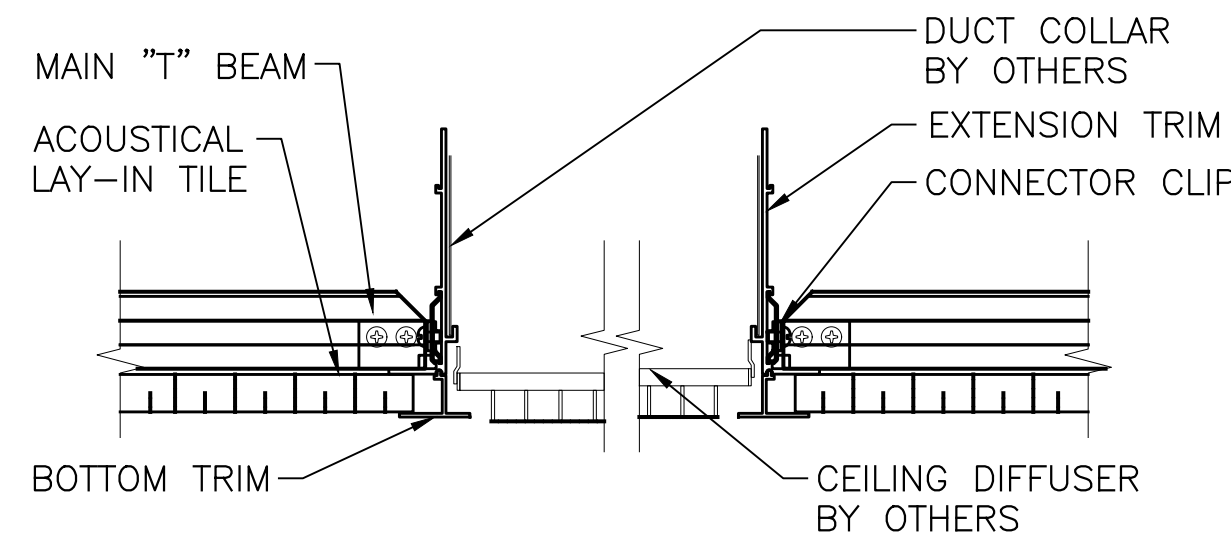
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CHECKED BY:	D. TOBAR, R.A.
APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:
LIGHT POLE DETAILS

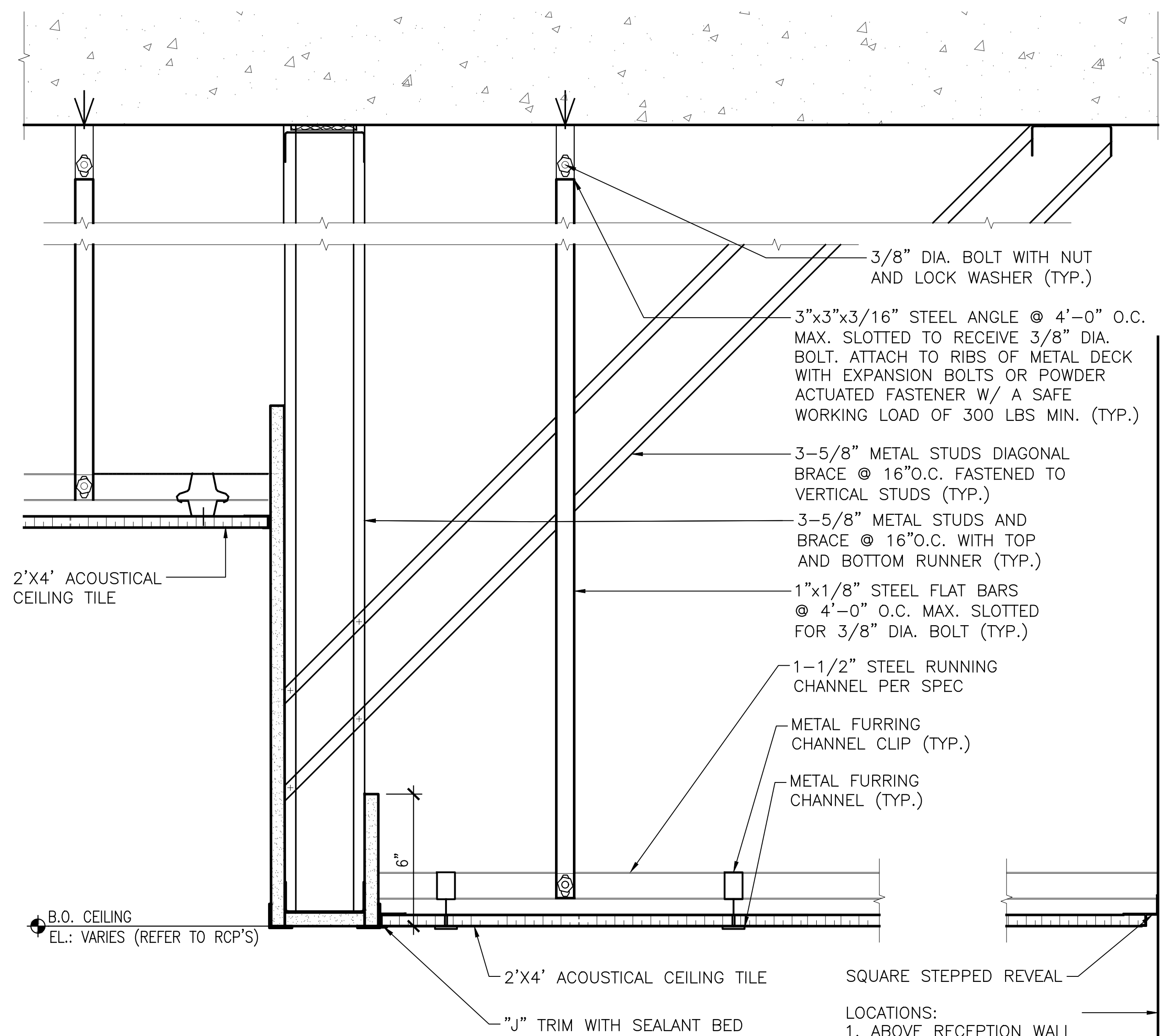
DWG NUMBER:
A-506



1 ACOUSTICAL CEILING DETAILS
A-507 A-507
SCALE: 3"=1'-0"
0 2 4 8 IN



3 CEILING DIFFUSER ON ACT
A-507 A-507
SCALE: 3"=1'-0"
0 2 4 8 IN



2 CEILING COFFIT DETAIL
A-507 A-507
SCALE: 3"=1'-0"
0 2 4 8 IN

NOTES:

1. ALL MECHANICAL EQUIPMENT AND DUCTS SHALL BE SUPPORTED INDEPENDENTLY FROM THE CEILING SYSTEM.
2. RECESSED LUMINAIRES ADDITIONAL SUPPORT SHALL BE SECURED WITH SAFETY CHAINS OR AIRCRAFT CABLE ON EACH FIXTURE AT TWO DIAGONAL CORNERS AND SHALL BE ATTACHED TO BUILDING STRUCTURAL STEEL OR CONCRETE.

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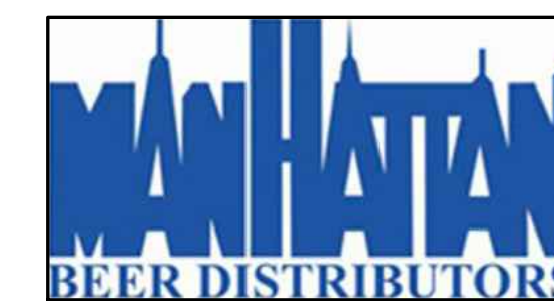
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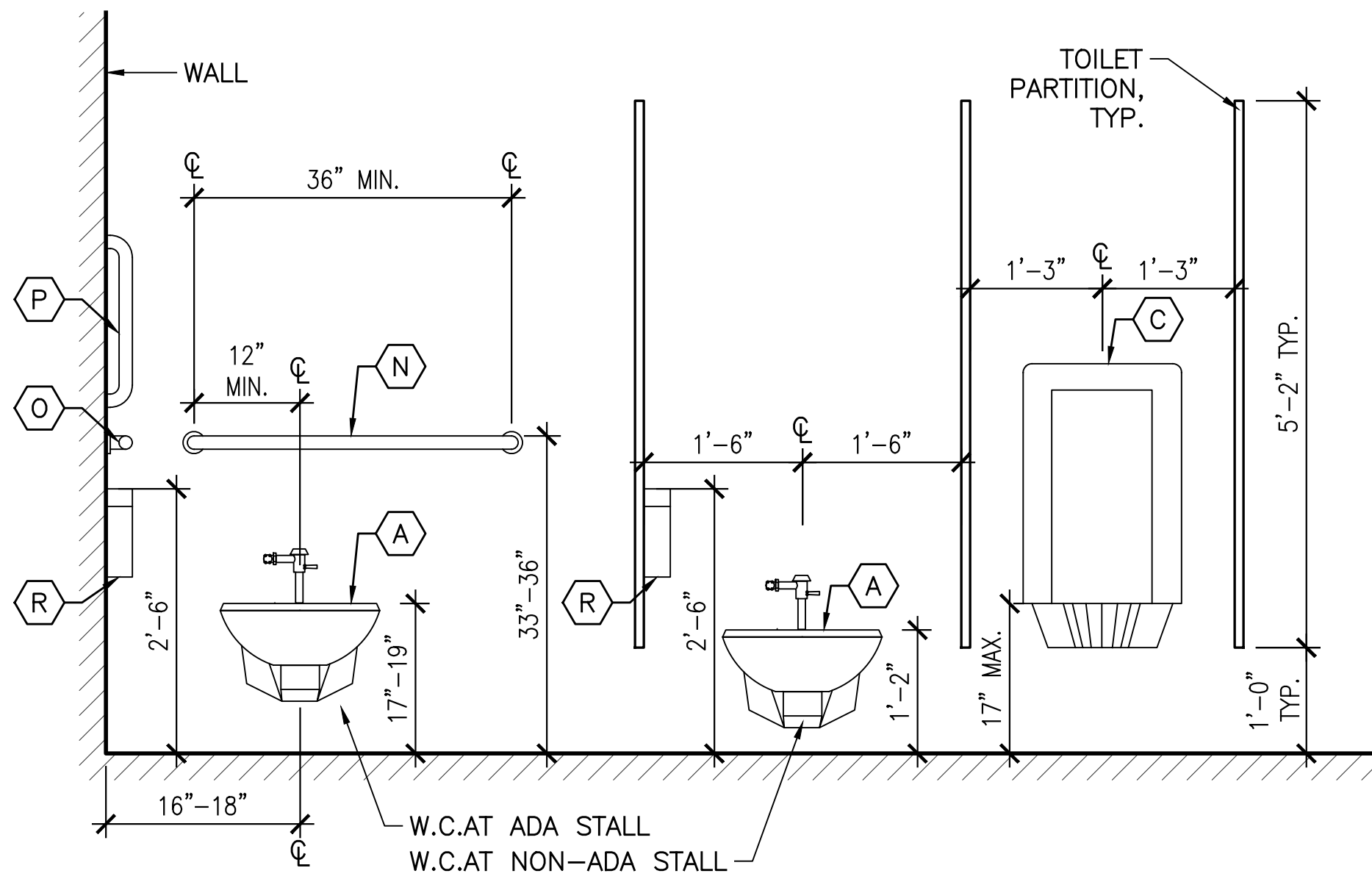
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DRAWING TITLE :

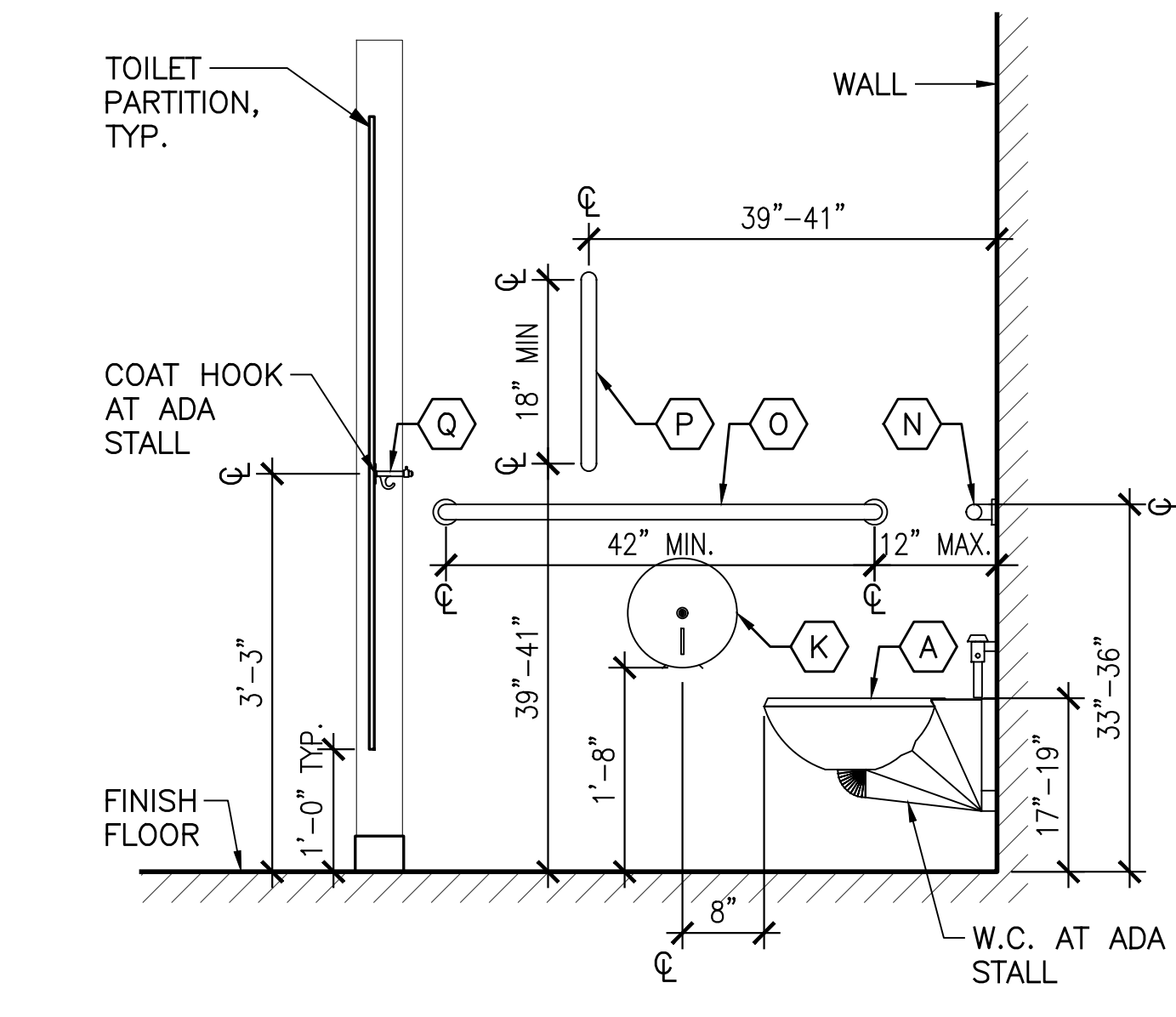
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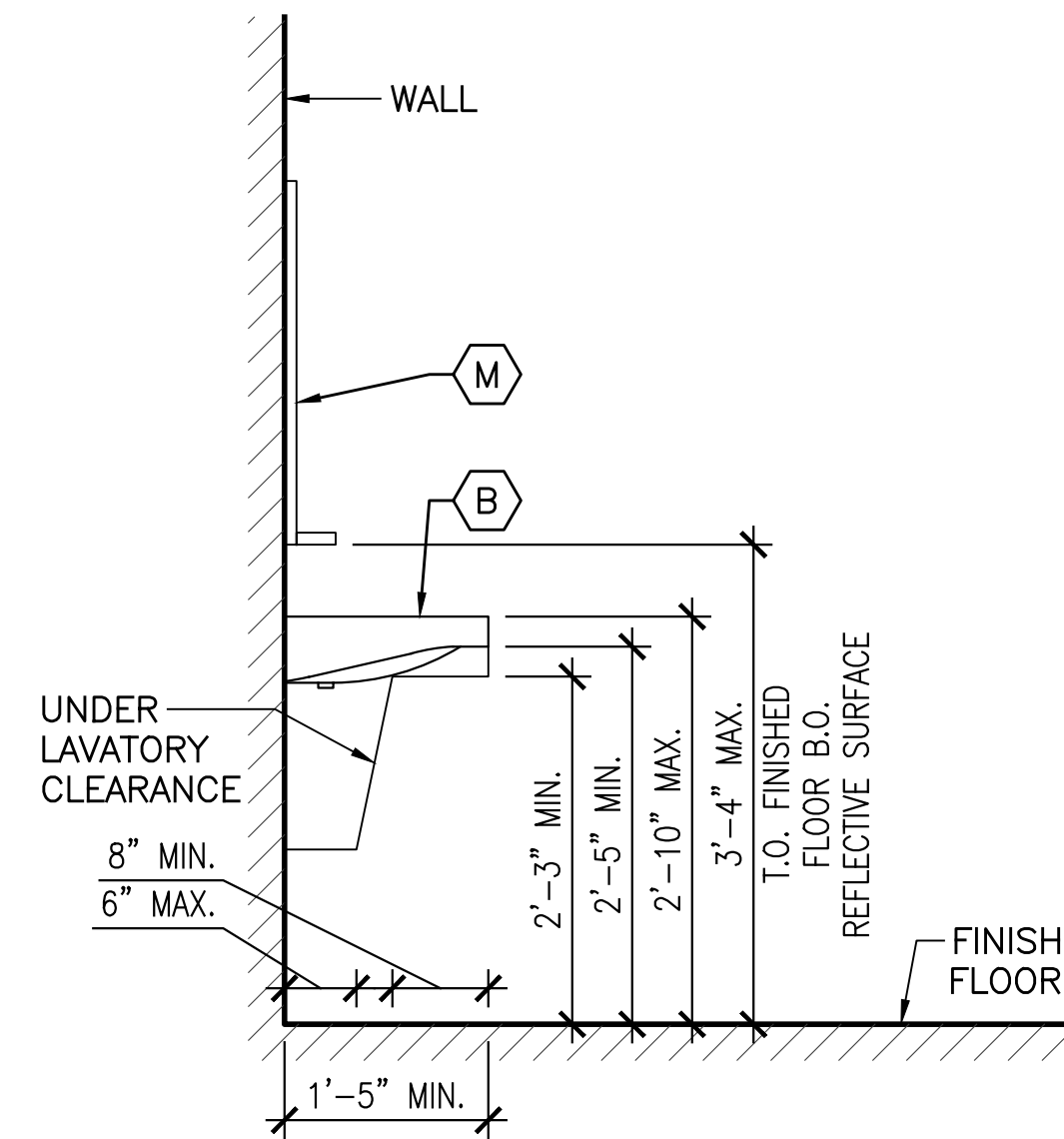
A-507



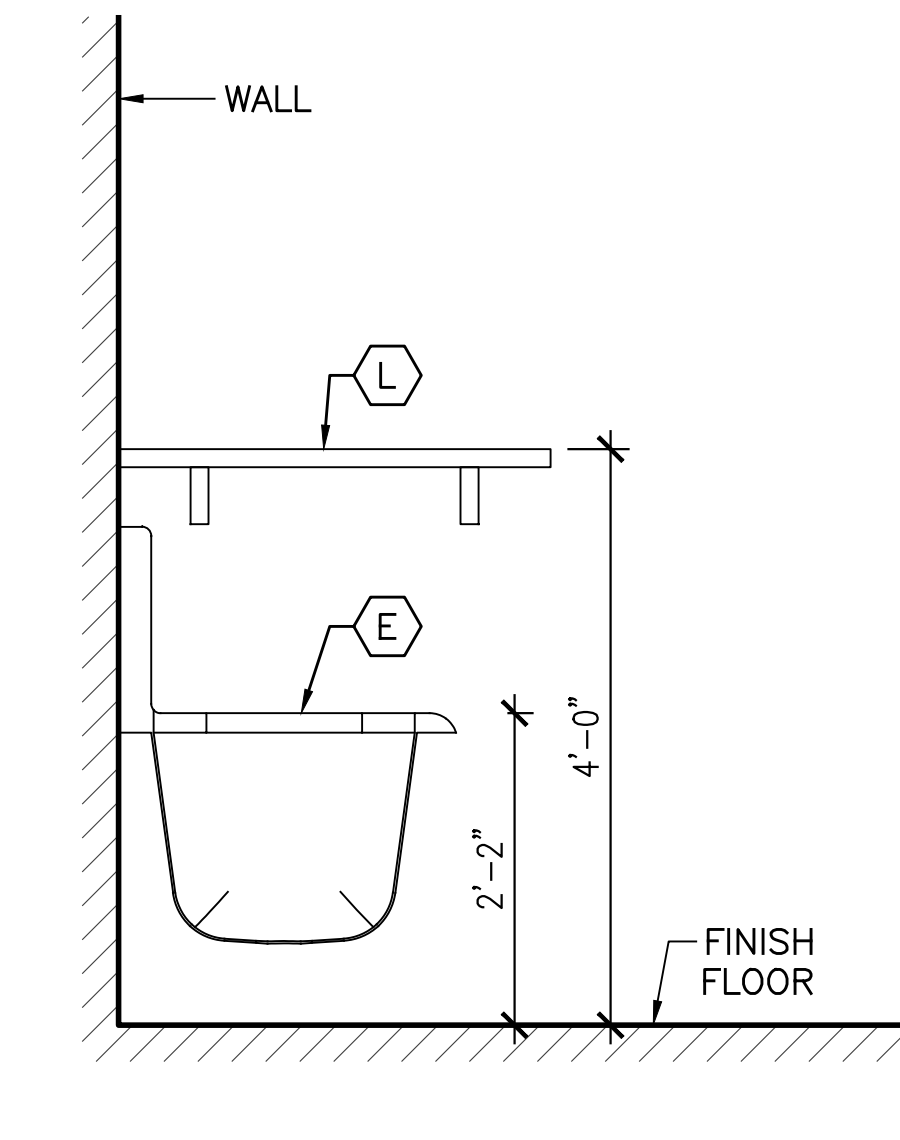
1 TYPICAL TOILET ELEVATION
SCALE: 3/4"=1'-0"



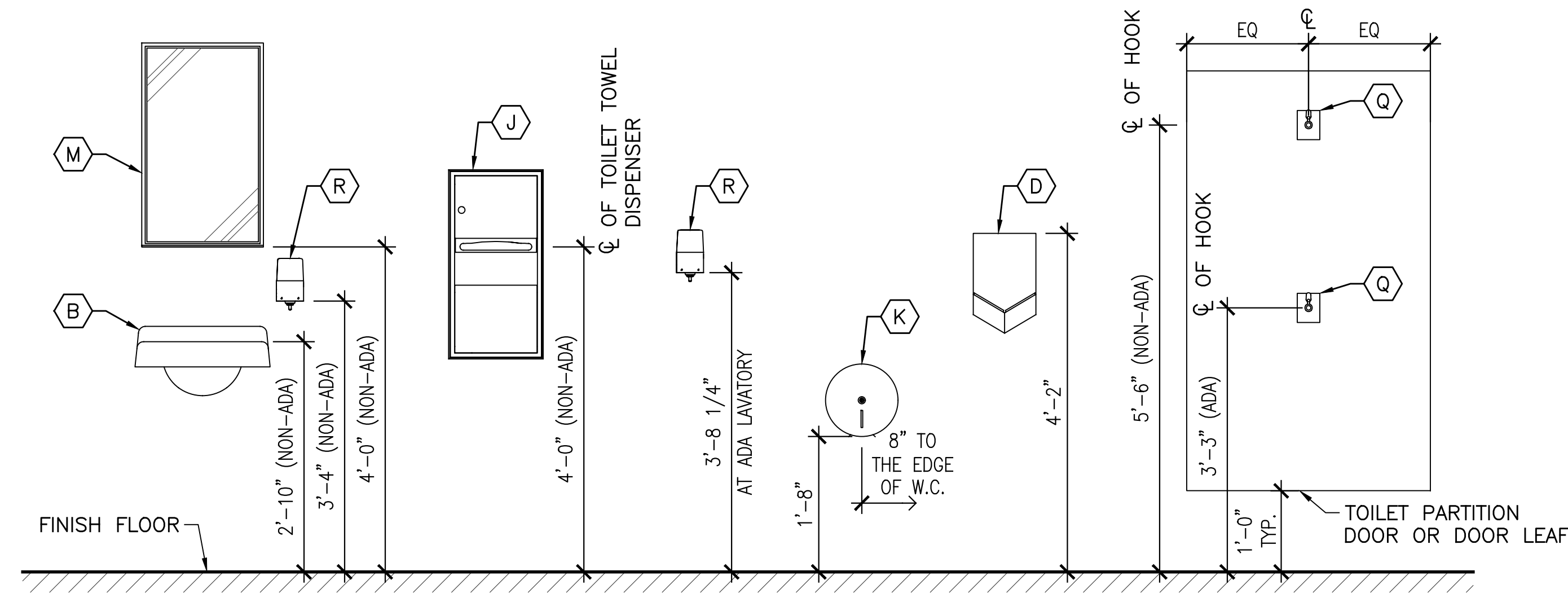
2 TYPICAL ADA TOILET ELEVATION
SCALE: 3/4"=1'-0"



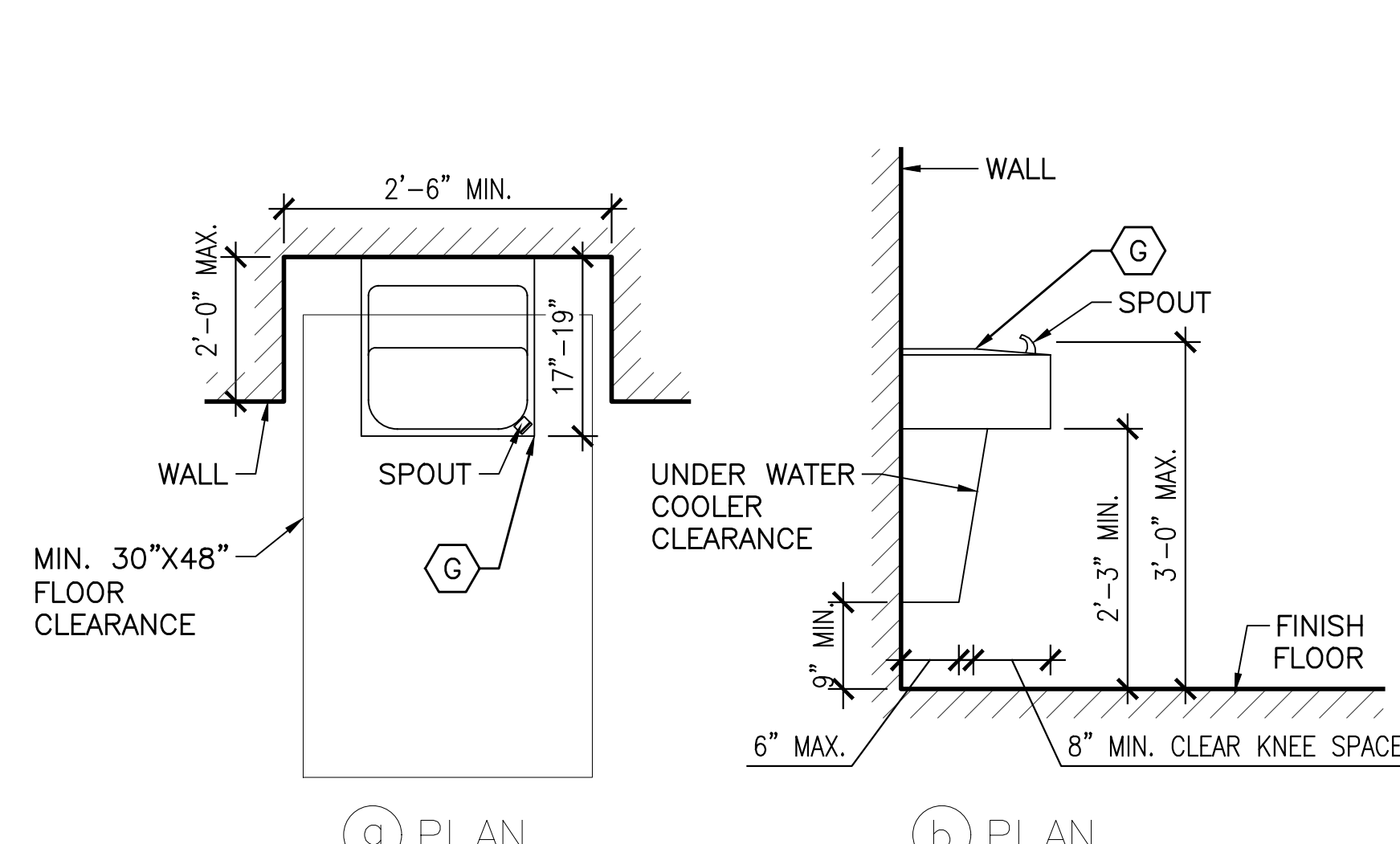
3 TYPICAL ADA LAVATORY ELEVATION
SCALE: 3/4"=1'-0"



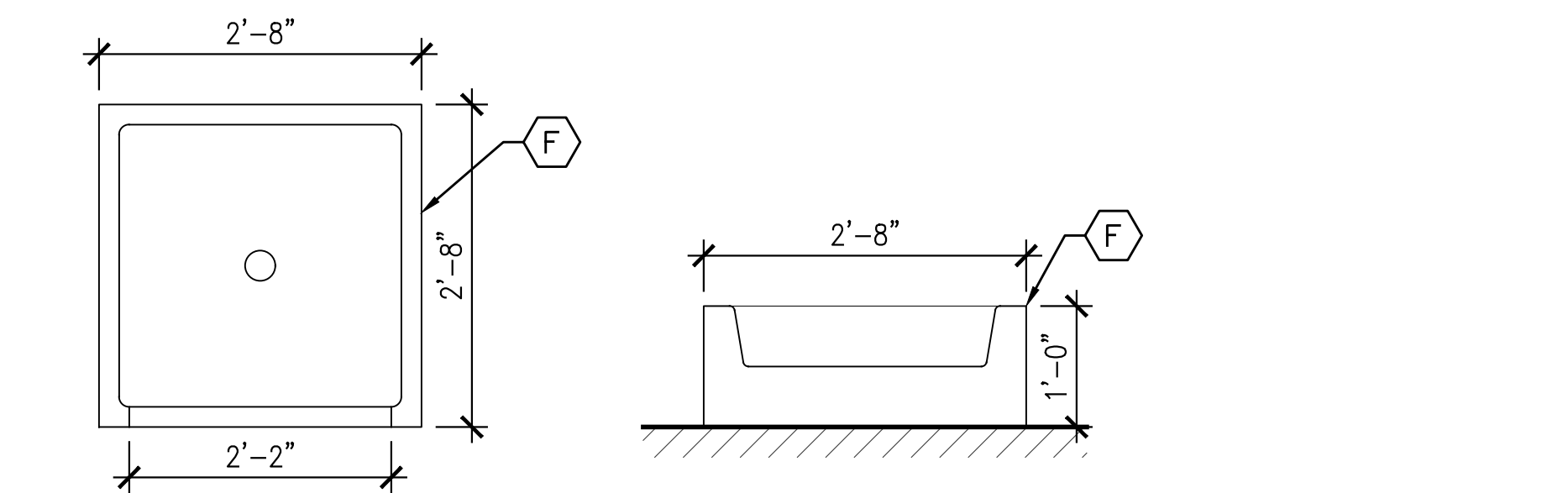
4 TYPICAL JANITOR'S CLOSET ELEVATION
SCALE: 3/4"=1'-0"



5 TYPICAL TOILET FIXTURE & ACCESORY ELEVATION
SCALE: 3/4"=1'-0"



6 TYPICAL WATER COOLER LAYOUT
SCALE: 3/4"=1'-0"



7 MOP SINK PLAN AND ELEVATION
SCALE: 3/4"=1'-0"

NOTES:

1. REFER TO FIXTURE AND ACCESSORY SCHEDULE ON DWG A-509 FOR ADDITIONAL INFORMATION.
2. WALL ELEVATIONS SHOWN ARE TYPICAL CONDITIONS FOR PURPOSE OF INDICATING THE TYPICAL MOUNTING HEIGHTS OF FIXTURES AND ACCESSORIES. REFER TO ENLARGED PLANS AND INTERIOR ELEVATIONS FOR SPECIFIC CONFIGURATION.

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DRAWING TITLE:
**TYPICAL TOILET ROOM
ELEVATIONS AND
DETAILS**

DWG NUMBER:

A-508

ACCESSORY & FIXTURE SCHEDULE/SYMBOL DESCRIPTION			REF DWG	MAKE	MODEL	SYMBOL		
						PLAN	ELEV.	SIDE ELEV.
FIXTURE AND MISC.	A	WALL MOUNTED WATER CLOSET FOR ADA MOUNTING HEIGHT 1'-7" MAXIMUM ABOVE FINISHED FLOOR WITH TOILET FLUSH VALVE AND ELONGATED FRONT OPEN SEAT	A-508	TOTO	CT708UG WITH TET1UA AND SC534			
	B	WALL MOUNTED LAVATORY. ADA MOUNTING HEIGHT 2'-10" MAXIMUM ABOVE FINISHED FLOOR	A-508	TOTO	LTG69			
	C	WALL MOUNTED URINAL FOR HANDICAPPED. MOUNTING HEIGHT 1'-5" MAXIMUM ABOVE FINISHED FLOOR	A-508	TOTO	UT104E WITH TETU1LA			
	D	SURFACE MOUNTED ELECTRIC SENSOR HAND DRYER WITH STAINLESS STEEL BRUSHED FINISH. INSTALL BOTTOM OF UNIT ABOVE FINISH FLOOR IN ACCORDANCE TO ADA GUIDELINES	A-508	DYSON	HU02SPRAYED NICKEL 307172-01			
	E	SLOP/SERVICE SINK WITH UTILITY FAUCET. MOUNTING HEIGHT 2'-2" ABOVE FINISHED FLOOR	A-508	AMERICAN STANDARD	LAKEWELL SERVICE SINK 7692.000 W/ 8344.012			
	F	MOP SINK WITH UTILITY FAUCET	A-508	FIAT/AMERICAN STANDARD	TSB3001 W/ 8344.012			
	G	WALL MOUNTED WATER COOLER FOR HANDICAPPED. WATER SPOUT OUTLET SHALL BE NO HIGHER THAN 3'-0" ABOVE FINISHED FLOOR	A-508					
	H	FIRE EXTINGUISHER. HANDLE AT 48" ABOVE FINISH FLOOR	A-511					
	I	FIRE EXTINGUISHER WITH ENCLOSURE, RECESSED	A-511					
ACCESSORIES	J	RECESSED MOUNTED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE, TOP OF UNIT MOUNTED 48" MAX. ABOVE FINISHED FLOOR	A-508					
	K	SURFACE MOUNTED STAINLESS STEEL SINGLE JUMBO-ROLL TOILET TISSUE DISPENSER MOUNTED 20" ABOVE FINISHED FLOOR TO BOTTOM OF DISPENSER	A-508	BOBRICK	B2890			
	L	CUSTODIAN UTILITY SHELF WITH MOP & BROOM HOLDERS & RAG HOOKS MOUNTED 4'-0" ABOVE FINISHED FLOOR	A-508					
	M	18" X 30" STAINLESS STEEL FRAME MIRROR AND SHELF, TOP OF FRAME MOUNTED 6'-6" ABOVE FINISHED FLOOR	A-508					
	N	1 1/4 " DIA S.S. GRAB BAR W/ CONCEALED MOUNTING, 3'-0" LONG PEENED NON-SLIP GRIPPING SURFACE. SHALL BE INSTALLED IN A HORIZONTAL POSITION, TOP OF BAR MOUNTED 3'-0" MAX. ABOVE FINISH FLOOR	A-508					
	O	1 1/4 " DIA S.S. GRAB BAR W/ CONCEALED MOUNTING, 3'-6" LONG PEENED NON-SLIP GRIPPING SURFACE. SHALL BE INSTALLED IN A HORIZONTAL POSITION, TOP OF BAR MOUNTED 3'-0" MAX. ABOVE FINISH FLOOR	A-508					
	P	1 1/4 " DIA S.S. GRAB BAR W/ CONCEALED MOUNTING, 18" LONG PEENED NON-SLIP GRIPPING SURFACE. SHALL BE INSTALLED IN A VERTICAL POSITION, BOTTOM OF BAR MOUNTED 39" A.F.F. AND 39"-41" AWAY FROM WALL	A-508					
	Q	SOLID CAST ALUMINUM COAT HOOK WITH BUMPER IN EVERY TOILET COMPARTMENT. CENTER LINE OF HOOK SHALL BE MOUNTED 3'-3" (4'-0" MAX.) ABOVE FINISHED FLOOR AT ADA LOCATIONS AND 5'-6" ABOVE FINISHED FLOOR AT ALL OTHER LOCATIONS.	A-508					
	R	LIQUID SOAP DISPENSER WITH SHATTERPROOF TRANSLUCENT REFILL WINDOW. TOP OF UNIT MOUNTED 4'-2 1/2" ABOVE FINISHED FLOOR.	A-508					

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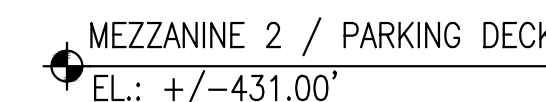
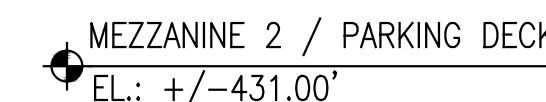
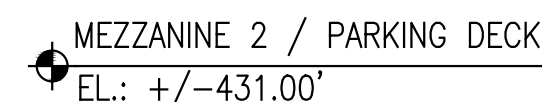
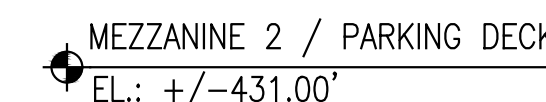
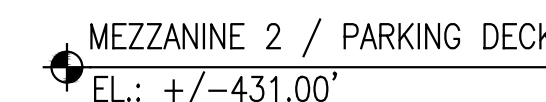
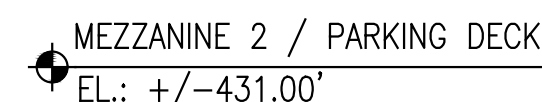
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DRAWING TITLE :

ACCESSORY & FIXTURE
SCHEDULE

DWG NUMBER :

A-509



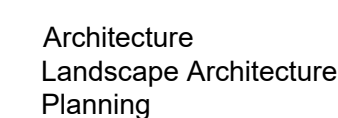
3 MEN'S LOCKER ROOM #306 - ELEVATIONS
A-510 A-510 SCALE: 1/4"=1'-0"

ELEVATIONS

SCALE: 1/4" = 1'-0"

0 2 4 8 FT

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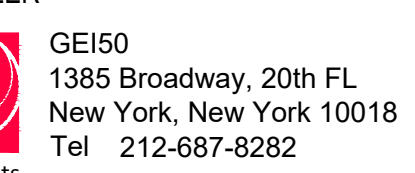
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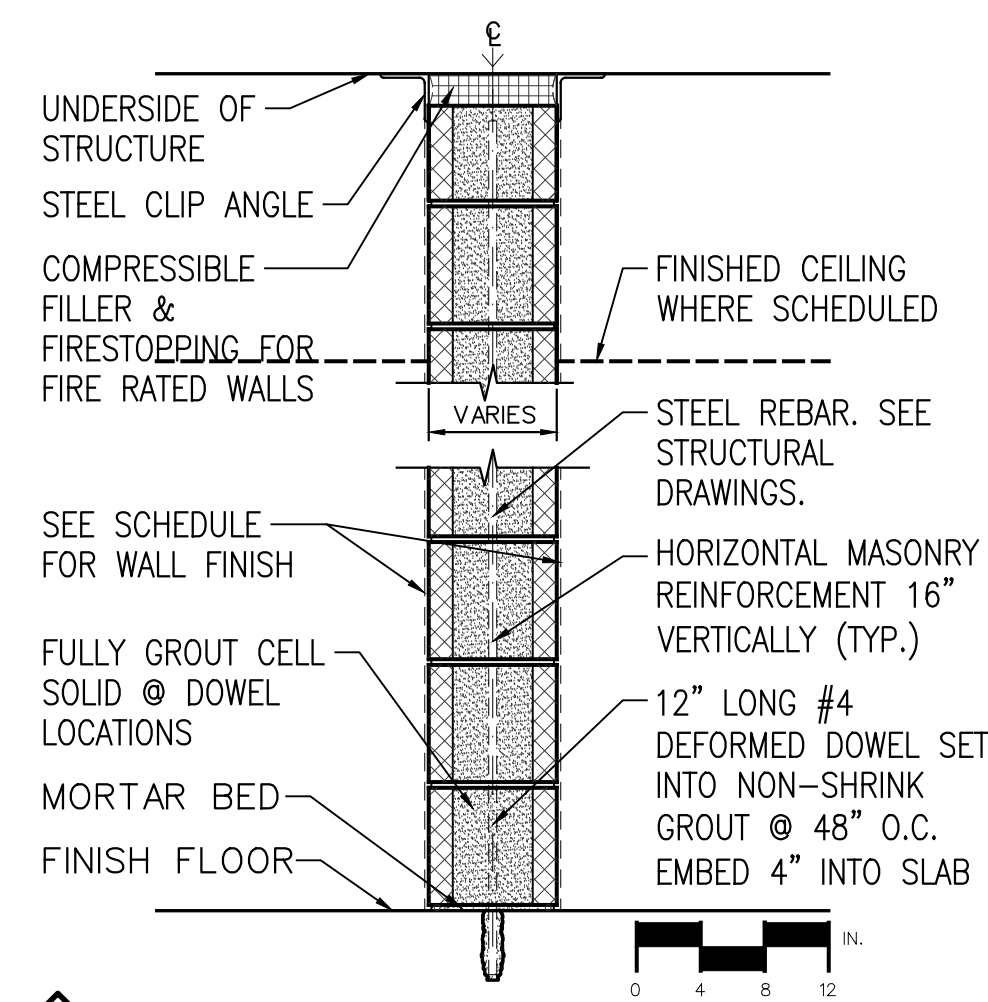
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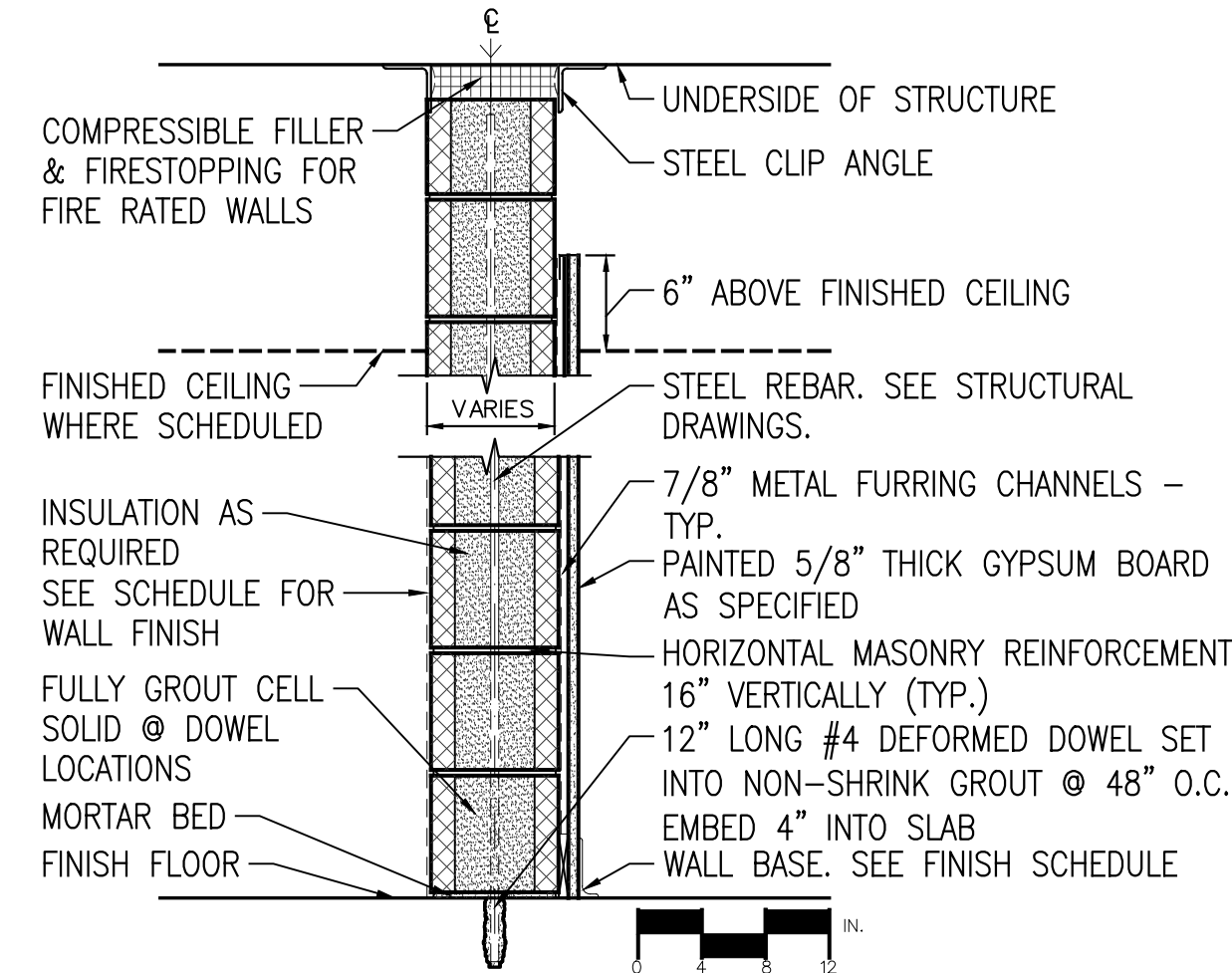
LOCKER ROOM PLANS AND ELEVATIONS

DWG NUMBER :

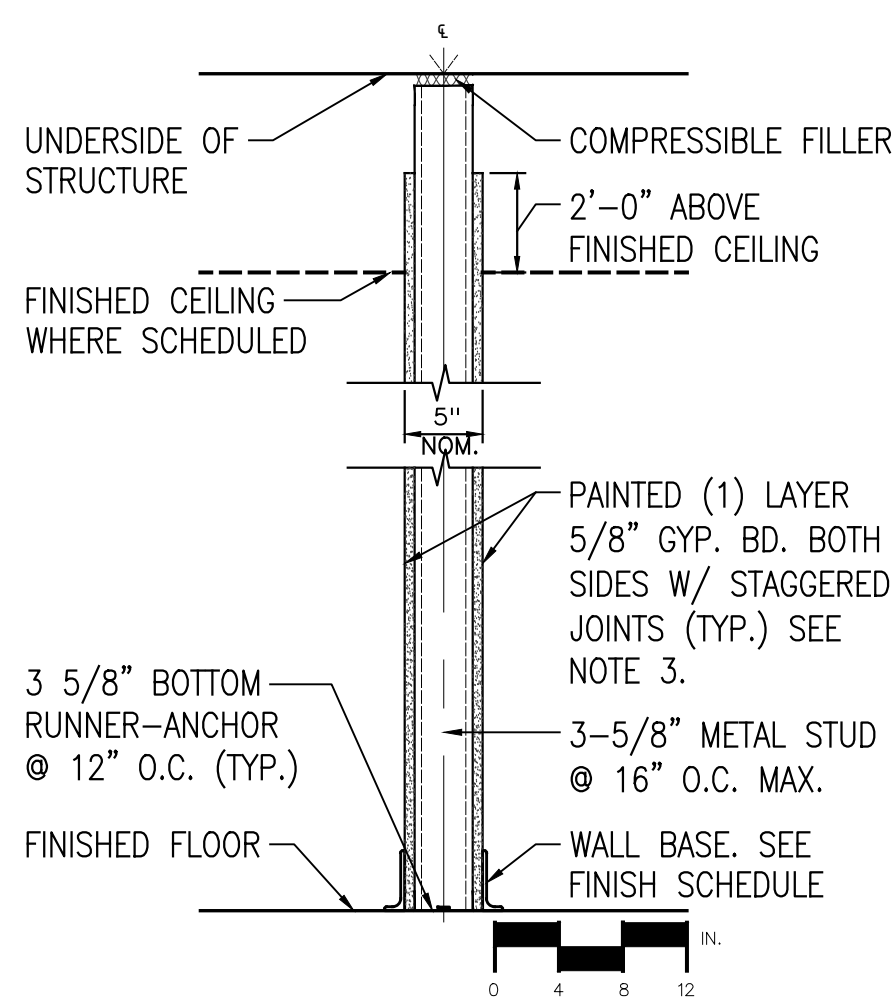
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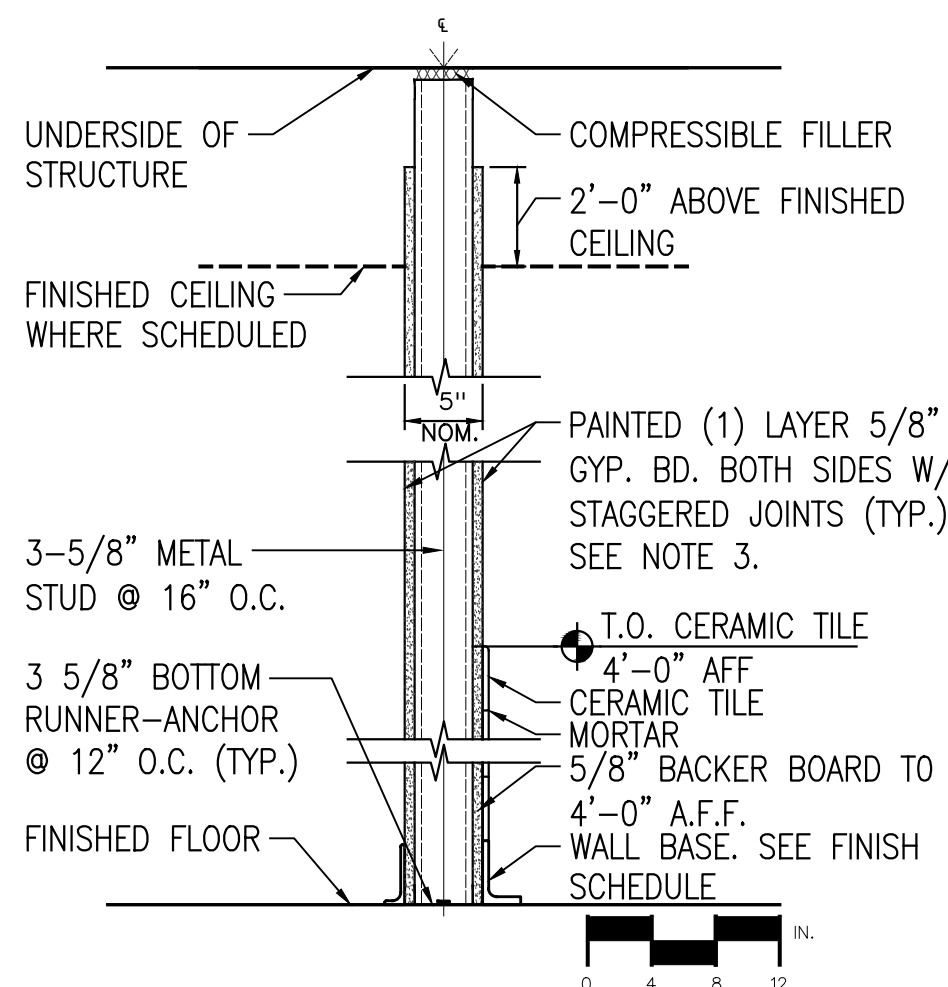
- 1A CMU MASONRY WALL
6" CMU - NON-RATED
- 1B CMU MASONRY WALL
8" CMU - NON-RATED
- 1C CMU MASONRY WALL
6" CMU - 1 HR. RATED (UL U-906)
- 1D CMU MASONRY WALL
8" CMU - 1 HR. RATED (UL U-905)
- 1E CMU MASONRY WALL
6" CMU - 2 HR. RATED (UL U-906)
- 1F CMU MASONRY WALL
8" CMU - 2 HR. RATED (UL U-905)



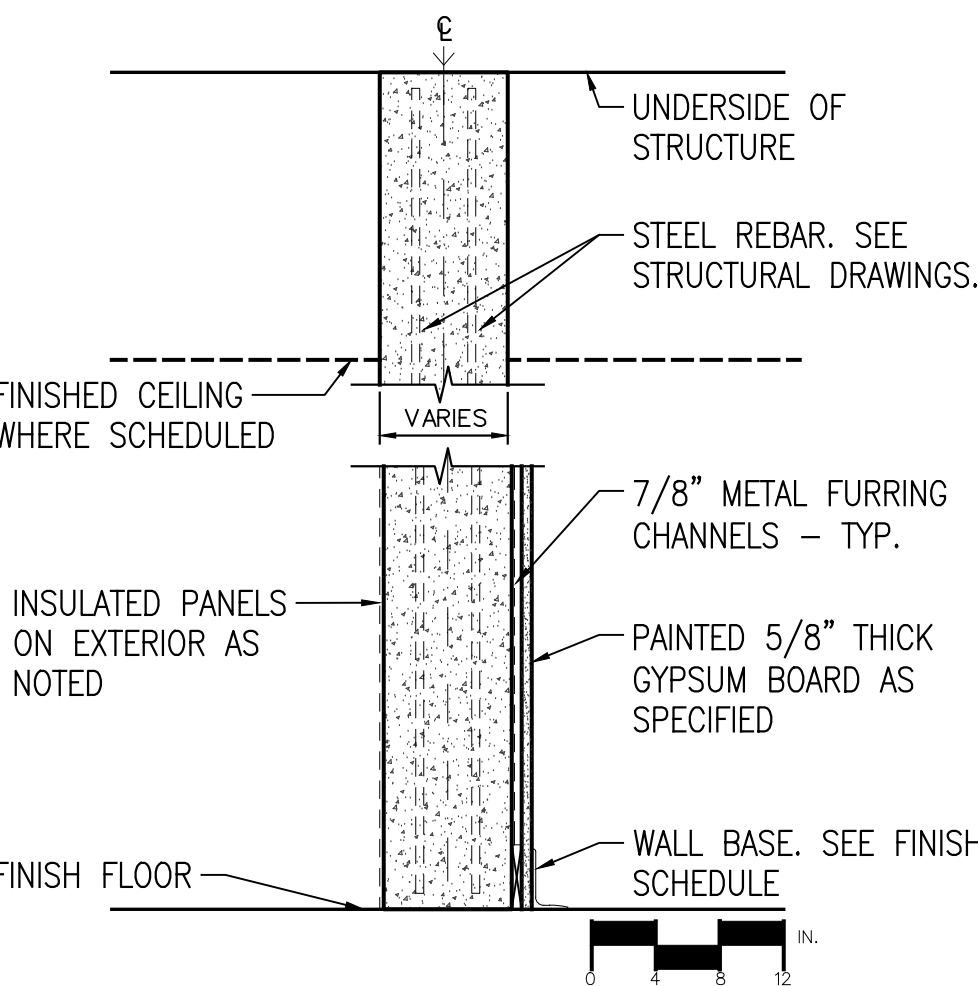
- 2A CMU MASONRY WALL W/ GYP. BOARD 1 SIDE
6" CMU - NON-RATED
- 2B CMU MASONRY WALL W/ GYP. BOARD 1 SIDE
6" CMU - NON-RATED W/ CORE INSULATION
- 2C CMU MASONRY WALL W/ GYP. BOARD 1 SIDE
6" CMU - 1 HR. RATED (UL U-906)
- 2D CMU MASONRY WALL W/ GYP. BOARD 1 SIDE
6" CMU - 2 HR. RATED (UL U-906)
- 2E CMU MASONRY WALL W/ GYP. BOARD 1 SIDE
CORE INSULATION
6" CMU - 2 HR. RATED (UL U-906)
- 2F CMU MASONRY WALL W/ GYP. BOARD 1 SIDE
CORE INSULATION
8" CMU - 1 HR. RATED (UL U-905)
- 2G CMU MASONRY WALL W/ GYP. BOARD 1 SIDE
CORE INSULATION
8" CMU - 2 HR. RATED (UL U-905)



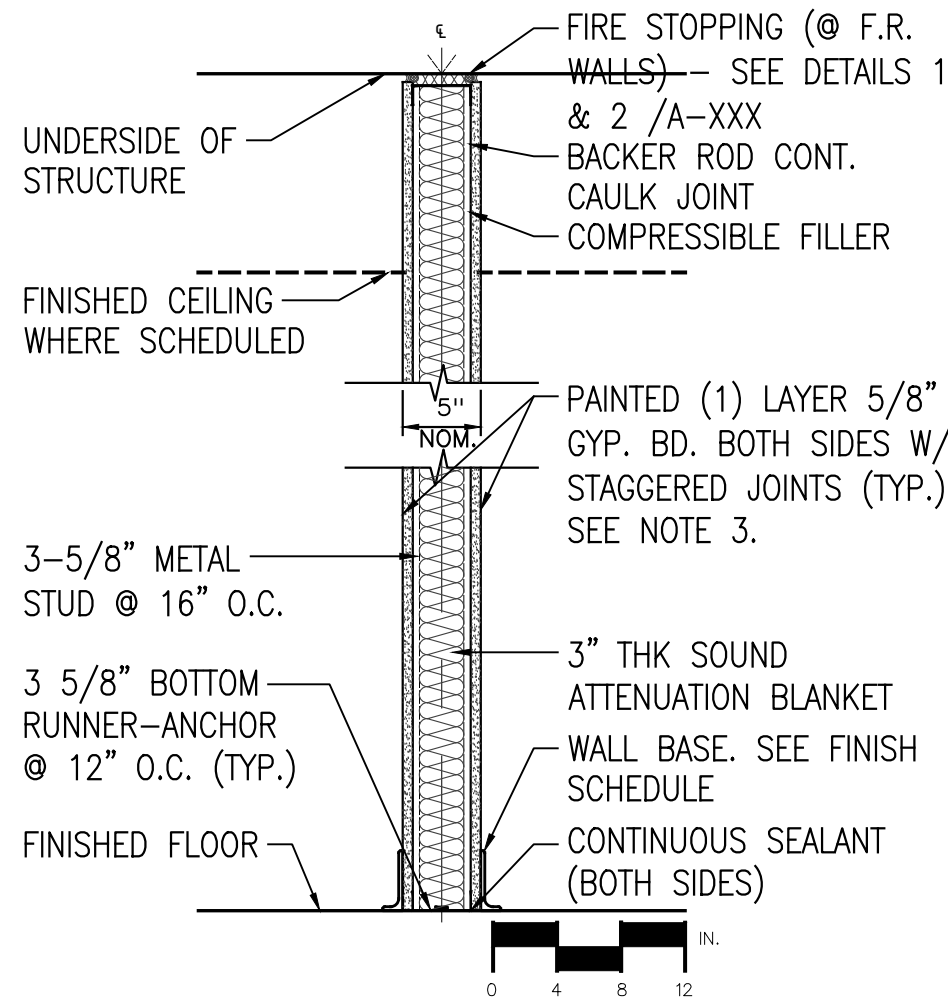
- 3A GYPSUM BOARD WALL PARTITION
NON-RATED



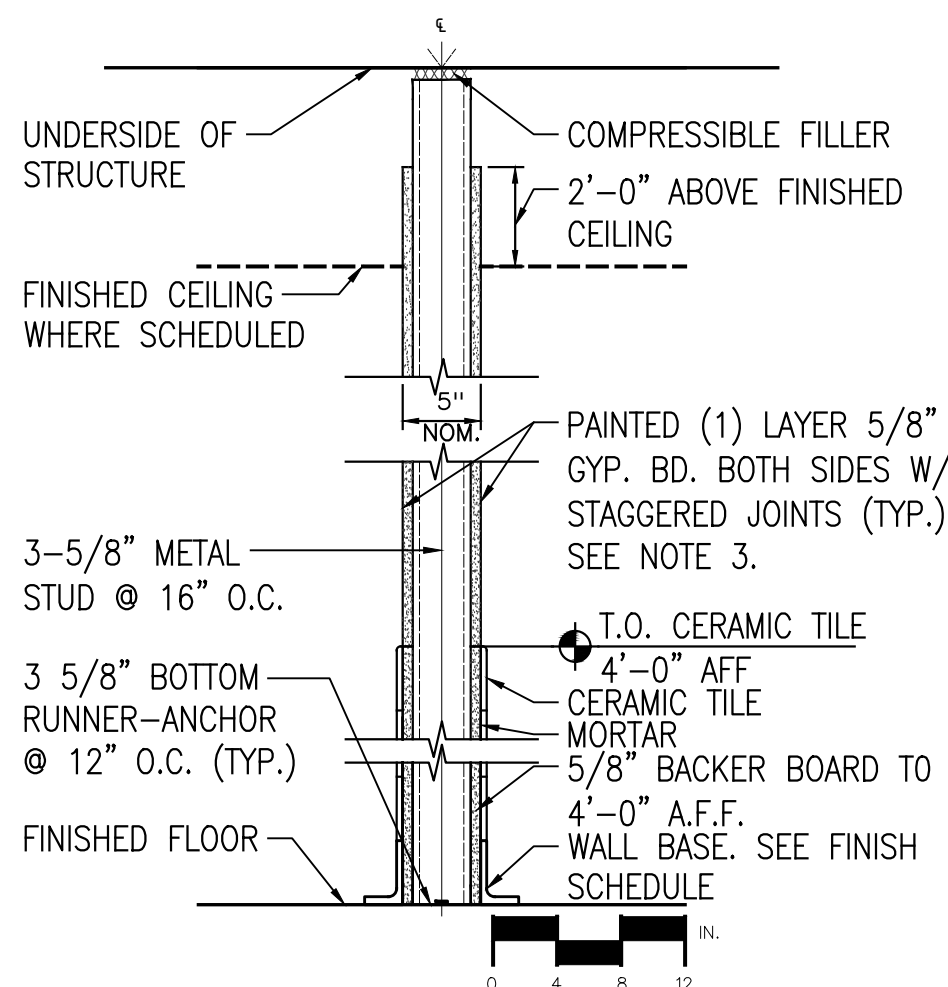
- 4A GYPSUM BOARD WALL PARTITION
GYP. BOARD BOTH SIDES
CERAMIC TILE & BACKER BOARD 1 SIDE
NON-RATED



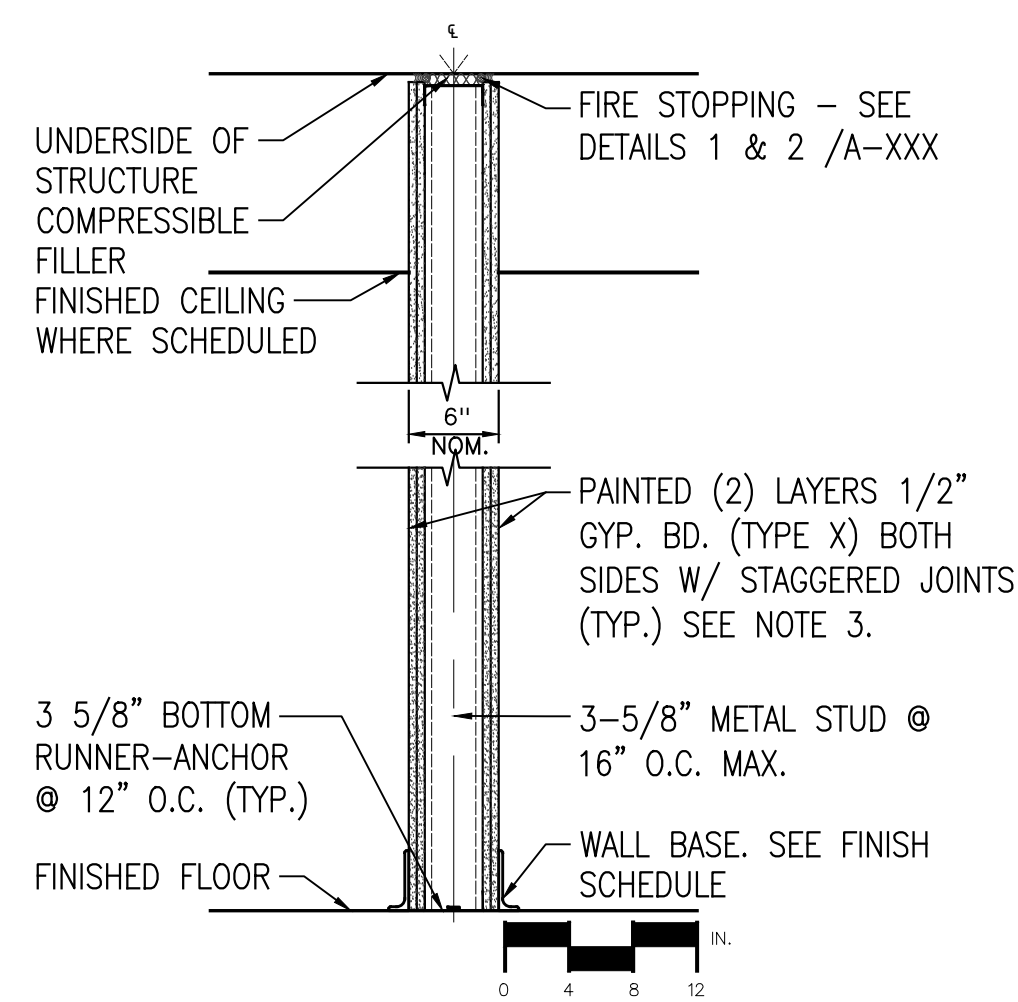
- 5A CONCRETE WALL W/ REINFORCEMENT
GYP. BOARD 1 SIDE
8" CONCRETE - 2 HR. RATED
- 5B CONCRETE WALL W/ REINFORCEMENT
GYP. BOARD 1 SIDE
10" CONCRETE - 2 HR. RATED
- 5C CONCRETE WALL W/ REINFORCEMENT
GYP. BOARD BOTH SIDES
10" CONCRETE - 2 HR. RATED



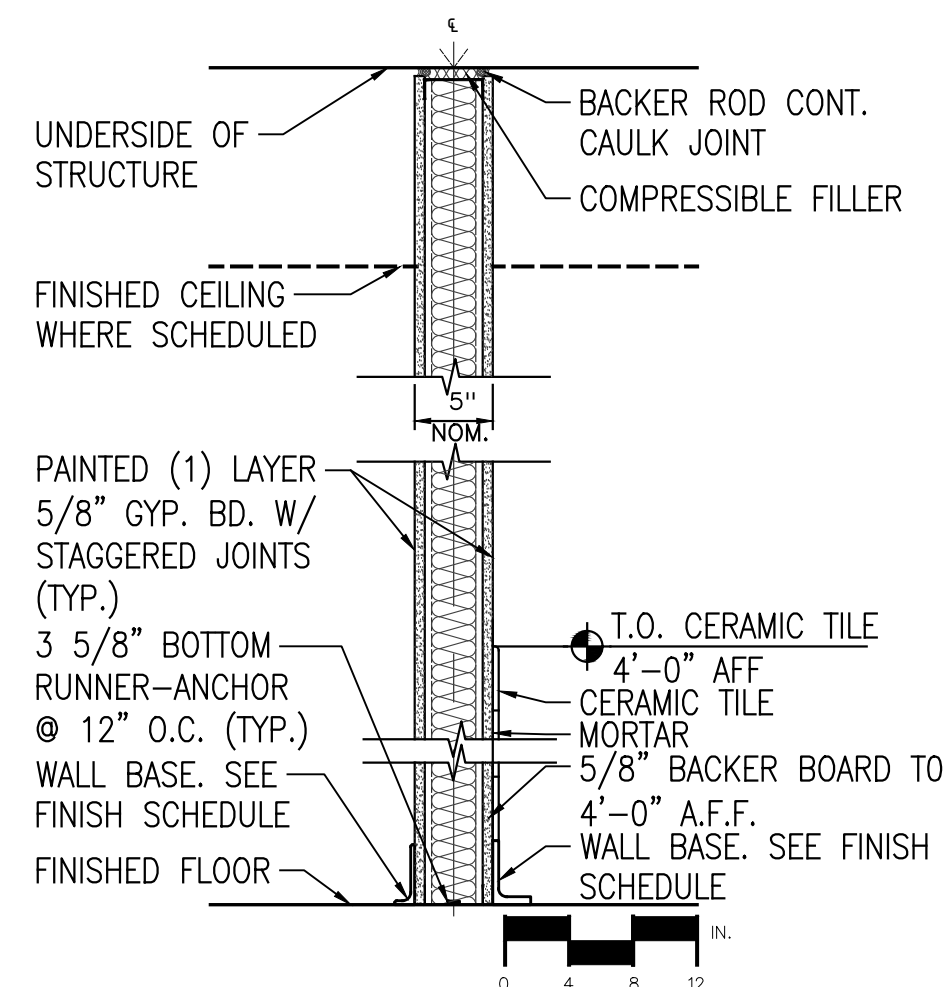
- 3B GYPSUM BOARD WALL PARTITION
W/ SOUND ATTENUATION BLANKET
NON-RATED (STC-55)
- 3C GYPSUM BOARD WALL PARTITION
1 HR RATED (UL-U-419)



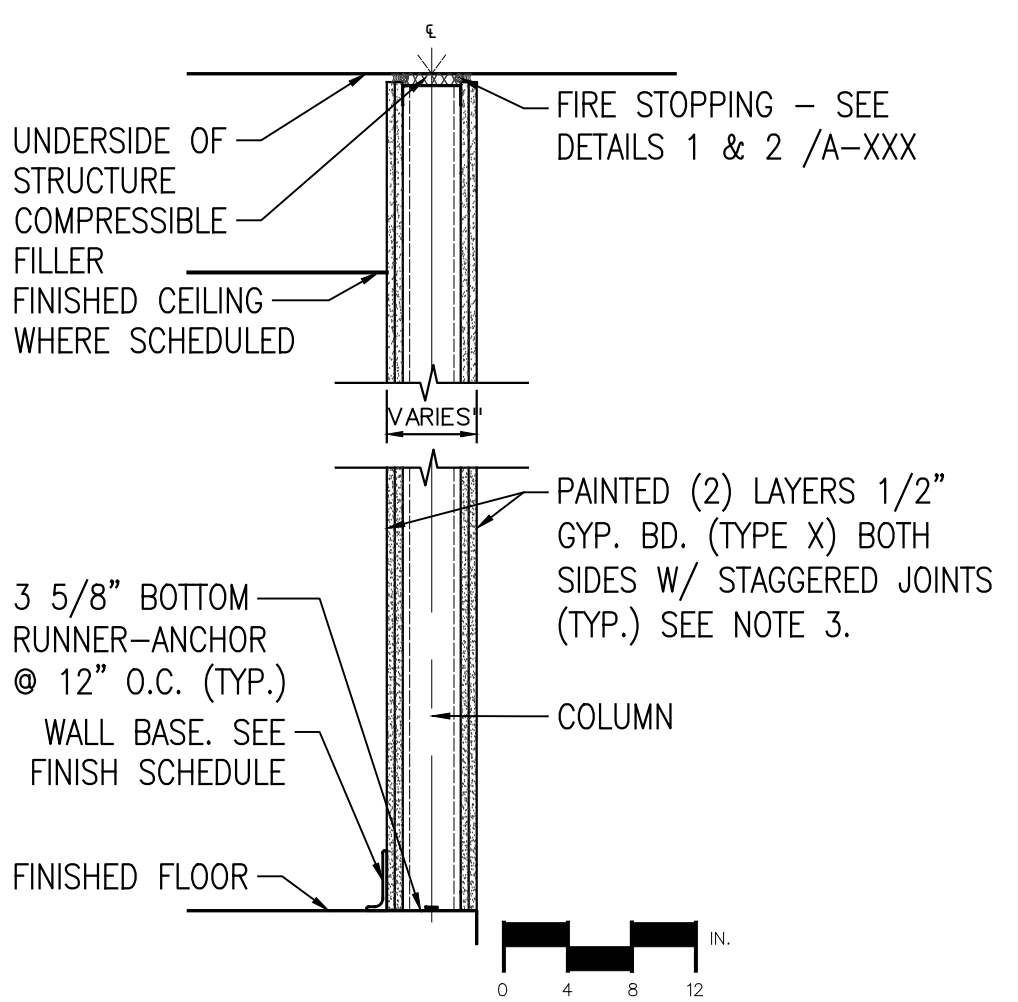
- 4B GYPSUM BOARD WALL PARTITION
GYP. BOARD BOTH SIDES
CERAMIC TILE & BACKER BOARD BOTH SIDES
NON-RATED



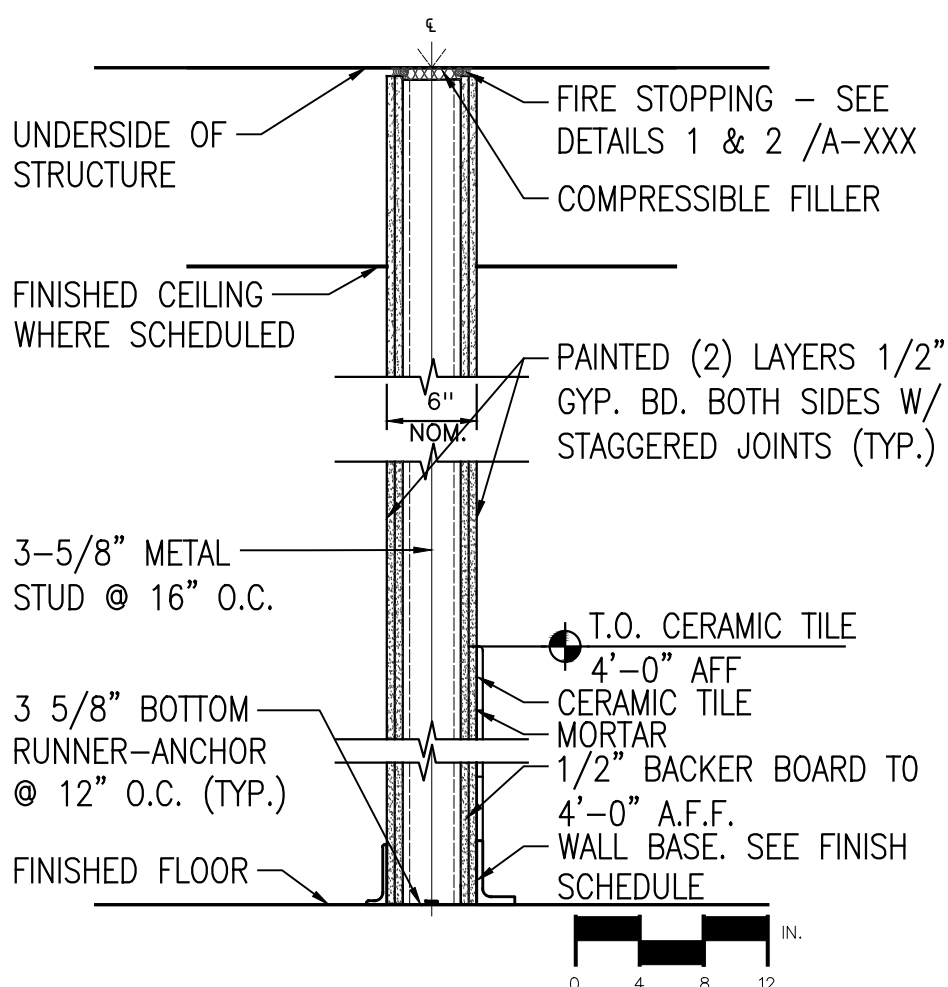
- 3D GYPSUM BOARD WALL PARTITION
2 HR. RATED (UL U-419)



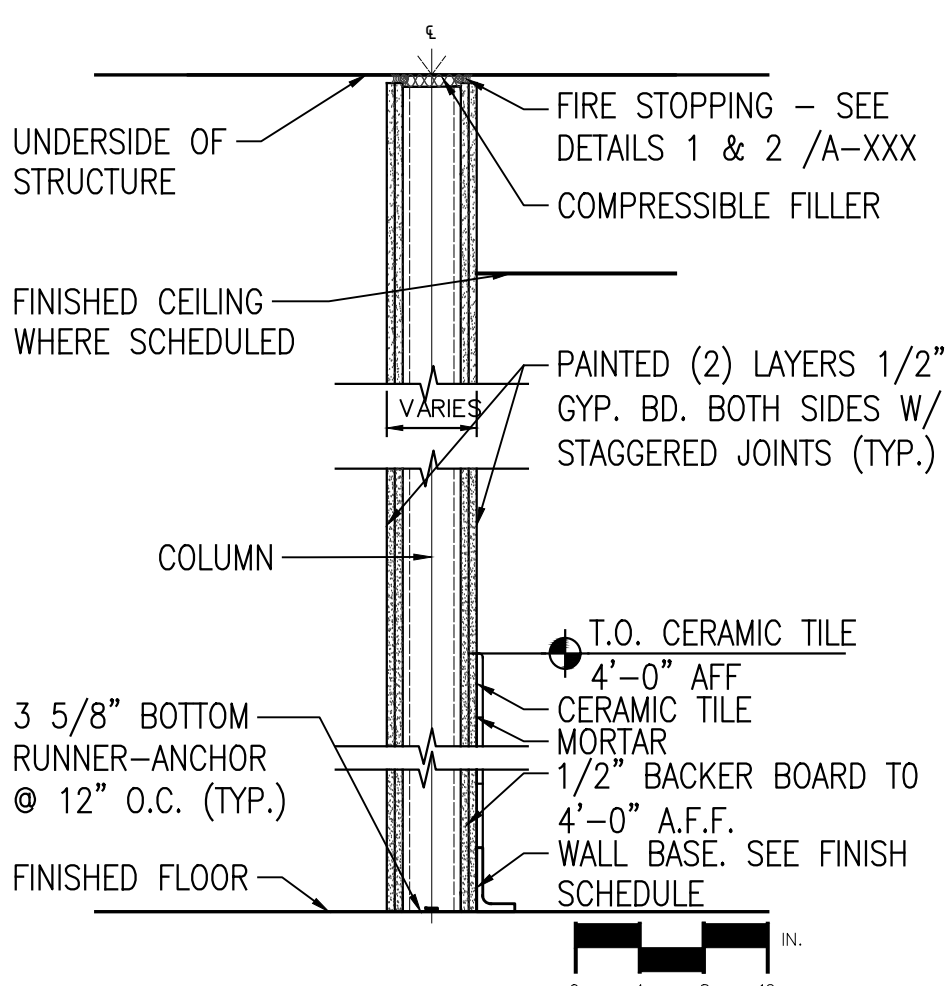
- 4C GYPSUM BOARD WALL PARTITION
GYP. BOARD BOTH SIDES
CERAMIC TILE & BACKER BOARD 1 SIDE
SOUND ATTENUATION BLANKET
NON-RATED (STC-55)
- 4F GYPSUM BOARD WALL PARTITION
7 5/8" STUD IN LIEU OF 3 5/8"



- 3E GYPSUM BOARD WALL PARTITION
2 HR. RATED (UL U-419)



- 4D GYPSUM BOARD WALL PARTITION
2 LAYERS GYP. BOARD BOTH SIDE
CERAMIC TILE & BACKER BOARD 1 SIDE
2 HR RATED (UL U-419)



- 4E GYPSUM BOARD WALL PARTITION
2 LAYERS GYP. BOARD BOTH SIDE
CERAMIC TILE & BACKER BOARD 1 SIDE
2 HR RATED (UL U-419)

NOTES:
1. FOR 2HR RATING ON 6" CMU/GFB WALLS, ALL UNITS SHALL BE FULLY GROUTED.
2. ALL PAINTED GYPSUM BOARD SHALL BE ABUSE RESISTANT GYPSUM BOARD.

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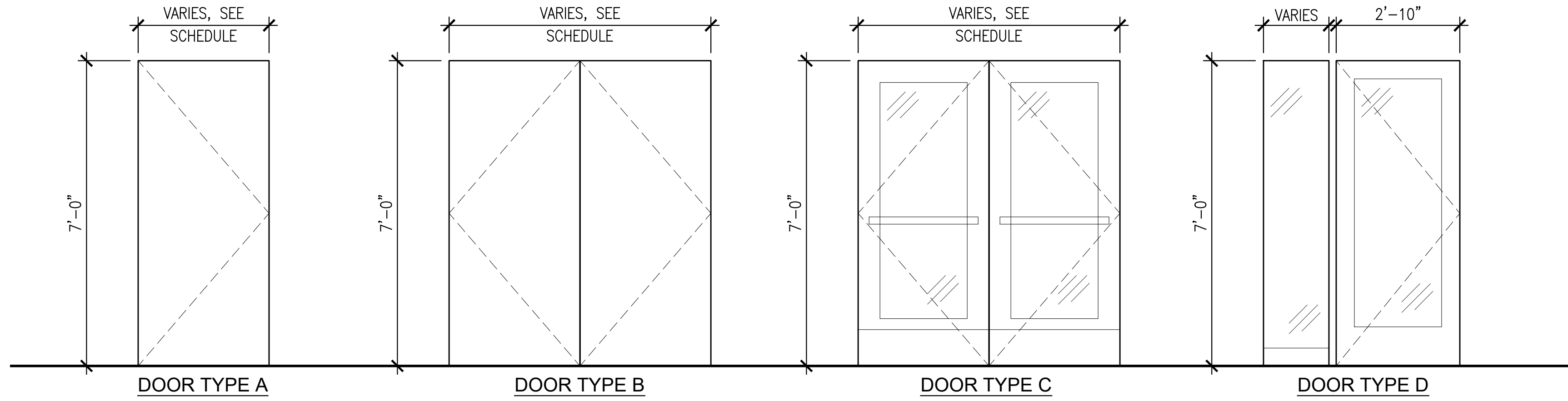
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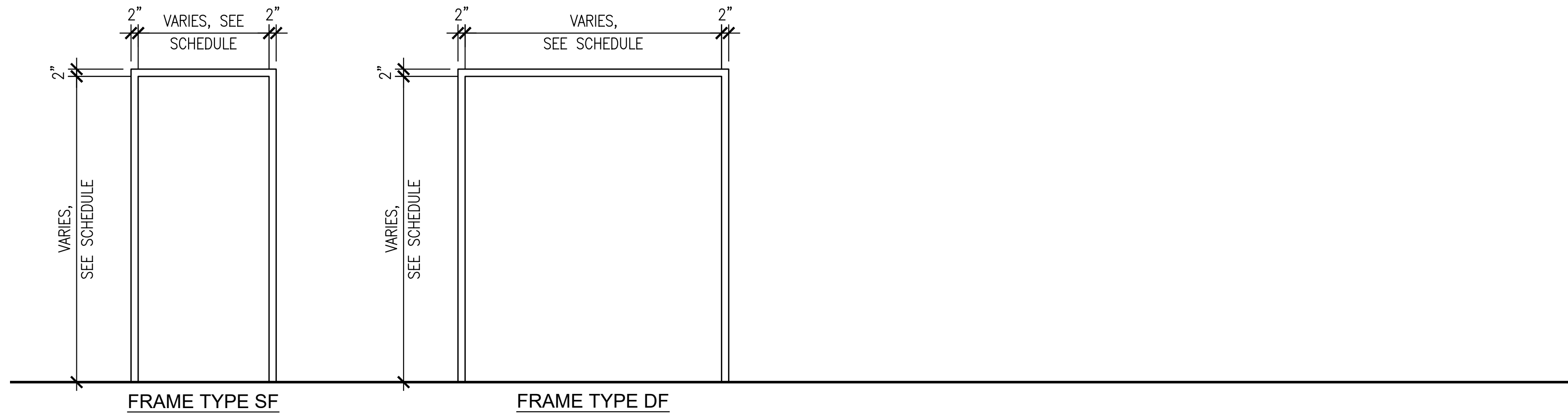
WALL PARTITION TYPES

DWG NUMBER :

A-520



1 DOOR TYPES
- A-600



2 FRAME TYPES
- A-600

GENERAL NOTES:

1. ALL HOLLOW METAL DOORS THICKNESS SHALL BE 1 3/4" U.O.N.
2. WHERE (1) KICKPLATE IS SPECIFIED, INSTALL KICKPLATE ON PUSH SIDE OF DOOR IN THE DIRECTION OF TRAVEL.
3. REFER TO A-600 SERIES DWGS FOR DOOR DETAILS.

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1365 Broadway, 20th FL
New York, New York 10018
Tel 212-687-8282



MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
-	ISSUED FOR CONSTRUCTION	11.30.21

DRAWN BY :	S. WOO
CHECKED BY :	D. TOBAR, R.A.
APPROVED BY :	A. BERGER, R.A.
DATE :	07.30.2021
SCALE :	AS NOTED

DRAWING TITLE :

DOOR AND FRAME
TYPES

DWG NUMBER :

A-600

DOOR SCHEDULE																			
DOOR NO.	LOCATION				FRAMES						DOOR					RATING (MIN.)	HDWR	SET	REMARKS
	FROM		TO		DETAILS			TYPE	MAT.	JAMB WIDTH	SIZE		TYPE	MAT.	FINISH				
	RM NO.	ROOM NAME	RM NO.	ROOM NAME	HEAD	SILL	JAMB				WIDTH	HEIGHT							
WAREHOUSE FLOOR LEVEL																			
100	101	20 DUNNIGAN WAREHOUSE	100	EGRESS STAIR A	H5	S2	J5	SF	H.M.	10"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
101	100	EGRESS STAIR A	102	NORTH LOADING DOCK	H1A	S1	J1A	SF	H.M.	10"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
102	105	AS/RS WAREHOUSE	103	EGRESS STAIR B	H8	S2	J8	SF	H.M.	7-1/8"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
103	103	EGRESS STAIR B	104	SPRINKLER RISER CLOSET	H8	S3	J8	SF	H.M.	7-1/8"	3'-0"	7'-0"	A	H.M.	PTD	90	3		
104	103	EGRESS STAIR B	102	NORTH LOADING DOCK	H1B	S1	J1B	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
105	105	AS/RS WAREHOUSE	106	EGRESS STAIR C	H5	S2	J5	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
106	106	EGRESS STAIR C	102	NORTH LOADING DOCK	H1B	S1	J1B	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
107	107	EMERGENCY SERVICE ROOM	105	AS/RS WAREHOUSE	H6	S3	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	3		
108	107	EMERGENCY SERVICE ROOM	105	AS/RS WAREHOUSE	H6	S3	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	3		
109	108	10 DUNNIGAN WAREHOUSE	109	SPRINKLER RISER CLOSET	H7	S3	J7	SF	H.M.	5-5/8"	3'-0"	7'-0"	A	H.M.	PTD	90	3		
110	109	SPRINKLER RISER CLOSET	-	EXTERIOR	H4	S1	J4	SF	H.M.	6"	3'-0"	7'-0"	A	H.M.	PTD	90	3		
111	108	10 DUNNIGAN WAREHOUSE	111	SPRINKLER RISER CLOSET	H7	S3	J7	SF	H.M.	5-5/8"	3'-0"	7'-0"	A	H.M.	PTD	90	3		
112	111	SPRINKLER RISER CLOSET	-	EXTERIOR	H4	S1	J4	SF	H.M.	6"	3'-0"	7'-0"	A	H.M.	PTD	90	3		
113	112	SWITCHGEAR ROOM	108	10 DUNNIGAN WAREHOUSE	H6	S3	J6	DF	H.M.	4-7/8"	3'-8"	7'-0"	A	H.M.	PTD	45	2	DOUBLE DR	
114	115	FIRE PUMP ROOM	101	20 DUNNIGAN WAREHOUSE	H7	S3	J7	DF	H.M.	5-5/8"	3'-0"	7'-0"	B	H.M.	PTD	90	2	DOUBLE DR	
115	116	AIR COMPRESSION ROOM	101	20 DUNNIGAN WAREHOUSE	H7	S3	J7	DF	H.M.	5-5/8"	3'-0"	7'-0"	B	H.M.	PTD	45	2	DOUBLE DR	
116	117	ELECTRICAL CLOSET	101	20 DUNNIGAN WAREHOUSE	H6	S3	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	1		
117	101	20 DUNNIGAN WAREHOUSE	114	SOUTH PLATFORM	H3	S1	J3	SF	H.M.	V.I.F.	3'-0"	7'-0"	A	H.M.	PTD	NR	1		
118	101	20 DUNNIGAN WAREHOUSE	118	SPRINKLER RISER CLOSET	H7	S3	J7	SF	H.M.	5-5/8"	3'-0"	7'-0"	A	H.M.	PTD	90	3		
119	118	SPRINKLER RISER CLOSET	119	WEST LOADING DOCK	H4	S1	J4	SF	H.M.	6"	3'-0"	7'-0"	A	H.M.	PTD	90	3		
120	101	20 DUNNIGAN WAREHOUSE	120	JANITOR'S CLOSET	H6	S3	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	3		
121	101	20 DUNNIGAN WAREHOUSE	121	TOILET	H6	S3	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	4		
122	108	10 DUNNIGAN WAREHOUSE	122	JANITOR'S CLOSET	H6	S3	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	3		
123	108	10 DUNNIGAN WAREHOUSE	123	TOILET	H6	S3	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	4		
124	124	MECHANICAL ROOM	105	AS/RS WAREHOUSE	H6	S3	J6	DF	H.M.	5-5/8"	3'-0"	7'-0"	B	H.M.	PTD	45	2	DOUBLE DR	
125	125	MAINTENANCE AREA	108	10 DUNNIGAN WAREHOUSE	H3	S3	J3	SF	H.M.	6"	3'-0"	7'-0"	A	H.M.	PTD	45	1		
126	108	10 DUNNIGAN WAREHOUSE	110	EAST LOADING DOCK	H3	S1	J3	SF	H.M.	V.I.F.	3'-0"	7'-0"	A	H.M.	PTD	45	1		
127	108	10 DUNNIGAN WAREHOUSE	-	EXTERIOR	H3	S1	J3	SF	H.M.	6"	3'-0"	7'-0"	A	H.M.	PTD	45	1		
1ST MEZZANINE LEVEL																			
200	204	CORRIDOR	200	EGRESS STAIR B	H5	S2	J5	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
201	204	CORRIDOR	201	OPERATIONS OFFICE	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	PTD	NR	5		
202	203	OPERATIONS OFFICE	202	SETTLEMENT ROOM	H6	S5	J6	SF	H.M.	4-7/8"	2'-10"	7'-0"	A	H.M.	PTD	NR	5		
203	204	CORRIDOR	203	OPERATIONS OFFICE	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
204	204	CORRIDOR	205	DELIVERY	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
205	204	CORRIDOR	206	MEN'S TOILET	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	TBD	NR	4		
206	204	CORRIDOR	207	WOMEN'S TOILET	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	TBD	NR	4		
207	204	CORRIDOR	209	BREAK ROOM	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	TBD	NR	4		
208	209	BREAK ROOM	208	JANITOR'S ROOM	H6	S4	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	3		
209	210	ELEVATOR VESTIBULE	211	EGRESS STAIR C	H5	S2	J5	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		

DOOR HARDWARE SETS:

SET 1
EMERGENCY EGRESS HARDWARE: SCHLAGE, FUNCTION TBD, FINISH - US32D.
HINGE: 1 1/2 PAIR STANLEY BALL BEARING HEAVY DUTY BUTT HINGES, FINISH - US32D.
CLOSER: LCN HEAVY DUTY, FINISH - SILVER.
SILENCER: IVES.

SET 2
EMERGENCY EGRESS HARDWARE: SCHLAGE SURFACE ROD, FUNCTION TBD, FINISH - US32D.
HINGE: 3 PAIR STANLEY BALL BEARING HEAVY DUTY BUTT HINGES, FINISH - US32D.
CLOSER: (2) LCN HEAVY DUTY, FINISH - SILVER.
SILENCER: IVES.

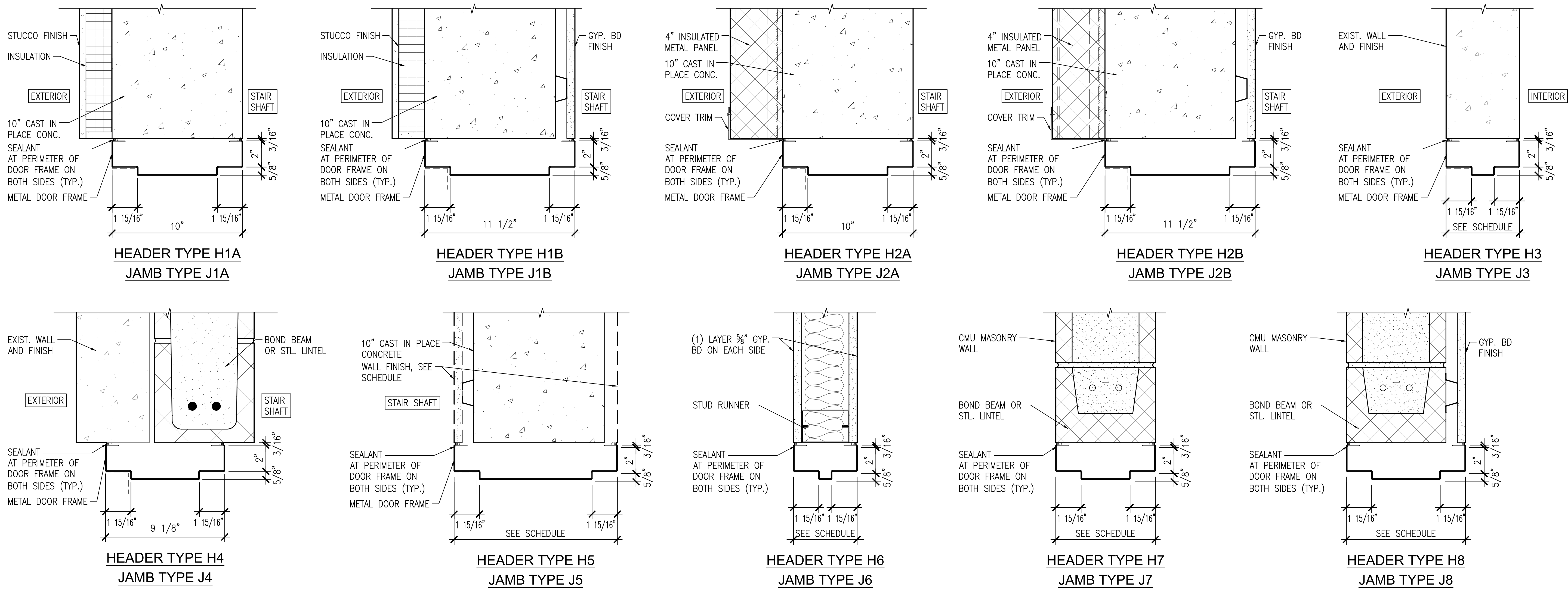
SET 3
LOCKSET: SCHLAGE MORTISE, STOREROOM FUNCTION, FINISH - US32D.
HINGE: 1 1/2 PAIR STANLEY BALL BEARING HEAVY DUTY BUTT HINGES, FINISH - US32D.
HINGE: LCN HEAVY DUTY, FINISH - SILVER.
SILENCER: IVES.

SET 3A
LOCKSET: SCHLAGE MORTISE, STOREROOM FUNCTION, FINISH - US32D FLUSH. FLUSH BOLTS ON FIXED LEAF.
HINGE: 3 PAIR STANLEY BALL BEARING HEAVY DUTY BUTT HINGES, FINISH - US32D.
CLOSER: NONE.
SILENCER: IVES.

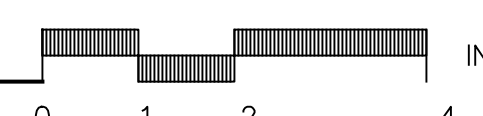
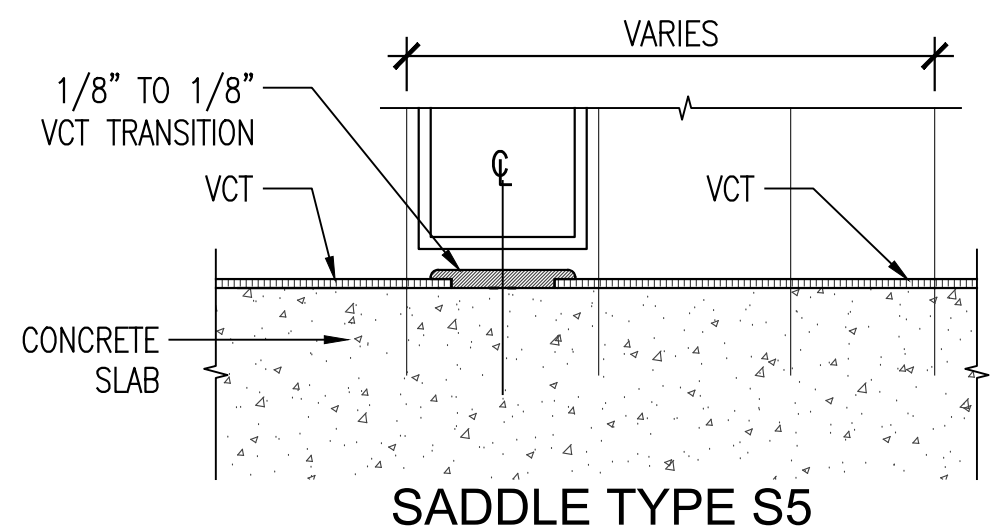
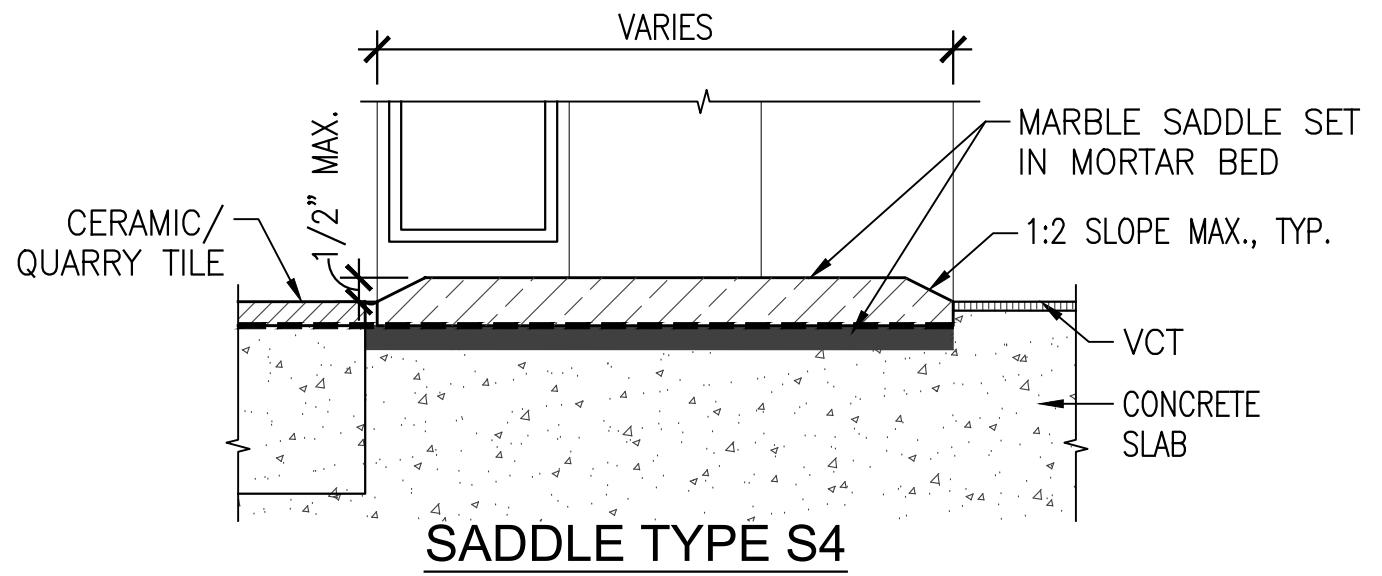
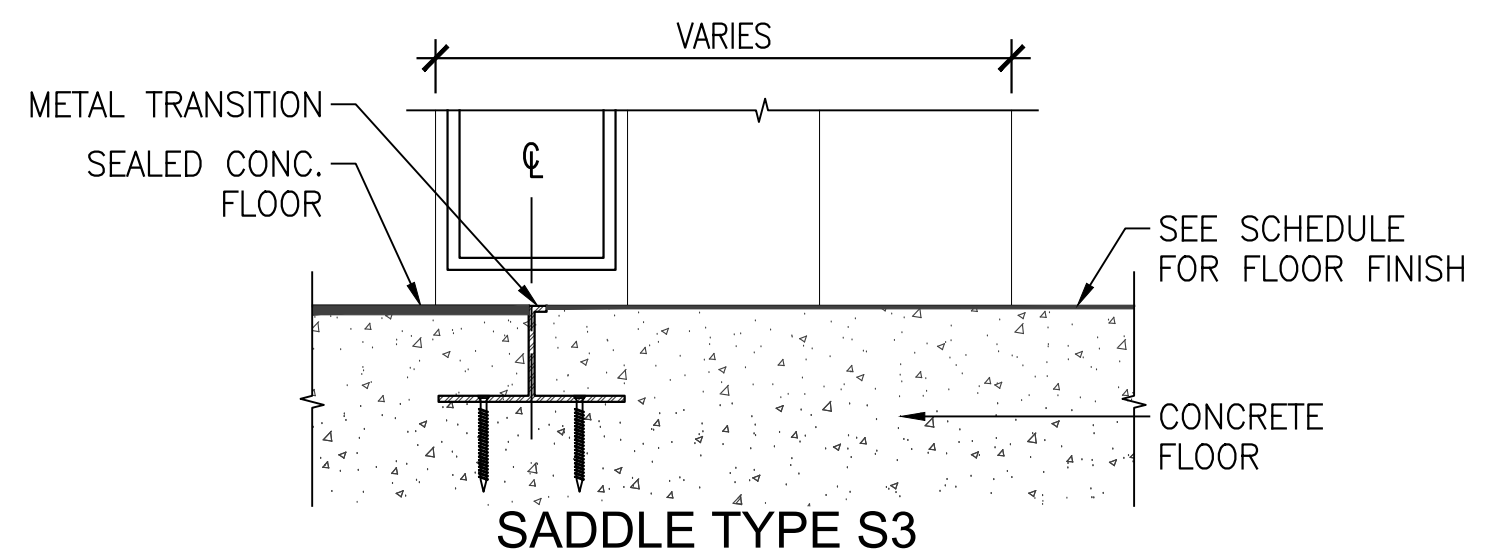
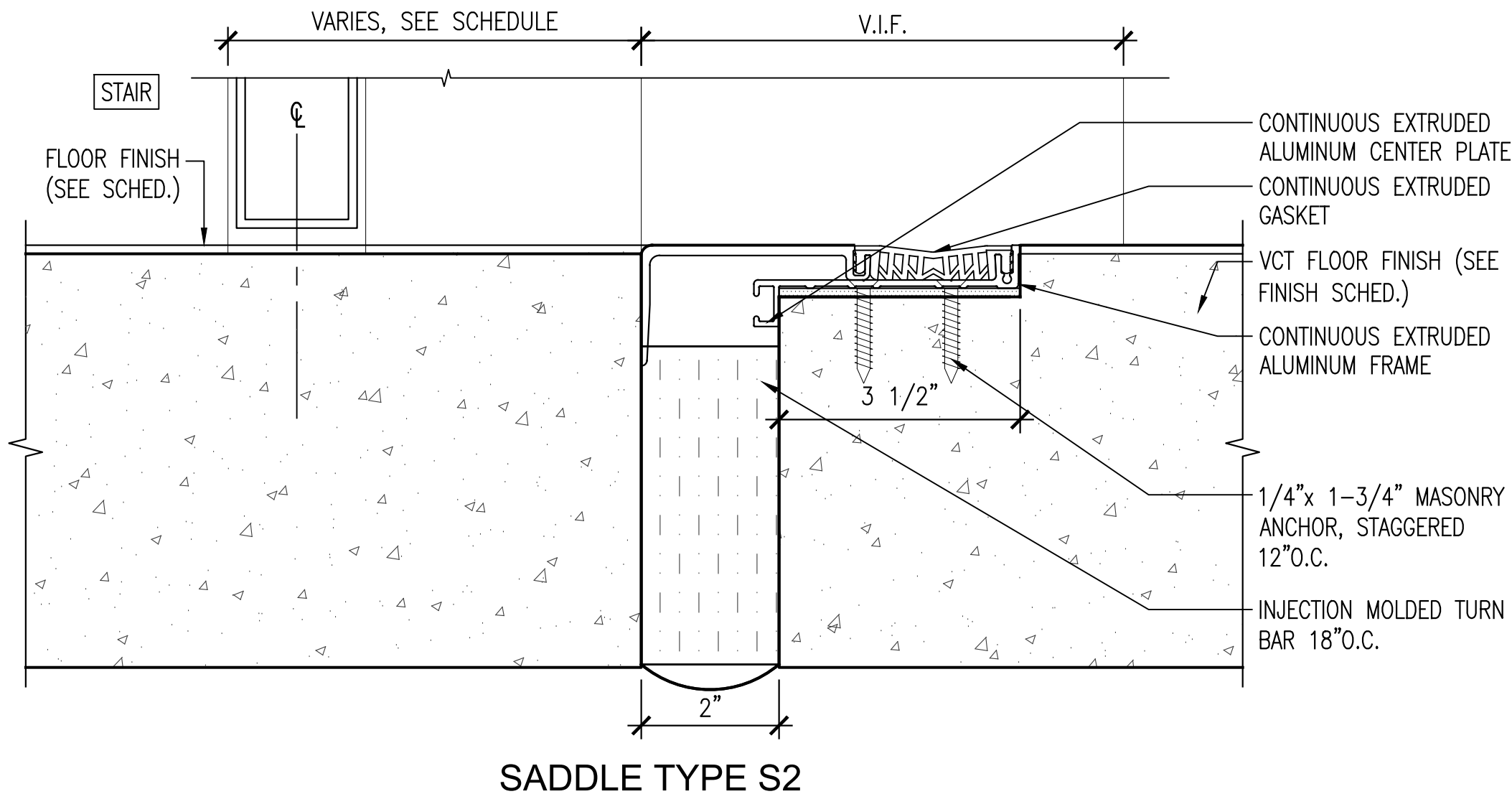
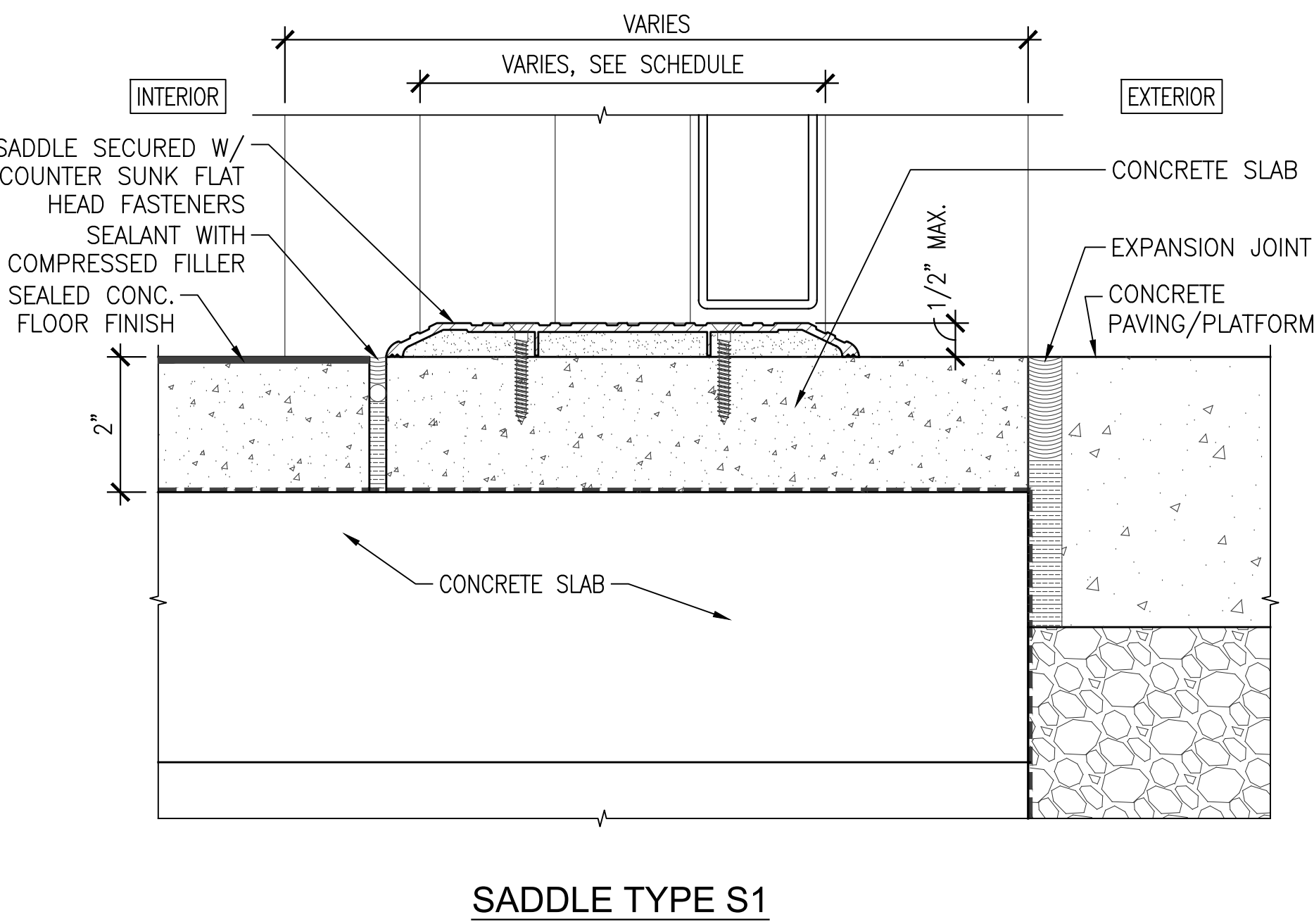
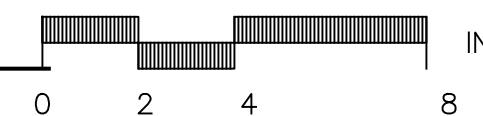
SET 4
LOCKSET: SCHLAGE MORTISE, PASSAGE FUNCTION, FINISH - US32D.
HINGE: 1 1/2 PAIR STANLEY BALL BEARING HEAVY DUTY BUTT HINGES, FINISH - US32D.
CLOSER: LCN HEAVY DUTY, FINISH - US32D.
SILENCER: IVES.

SET 5
LOCKSET: SCHLAGE MORTISE, OFFICE FUNCTION, FINISH - US32D.
HINGE: 1 1/2 PAIR STANLEY BALL BEARING HEAVY DUTY BUTT HINGES, FINISH - US32D.
CLOSER: LCN HEAVY DUTY, FINISH - US32D.
SILENCER: IVES.

DOOR NO.	LOCATION				FRAMES						DOOR						RATING (MIN.)	HDWR SET	REMARKS
	FROM		TO		DETAILS			TYPE	MAT.	JAMB WIDTH	SIZE		TYPE	MAT.	FINISH				
	RM NO.	ROOM NAME	RM NO.	ROOM NAME	HEAD	SILL	JAMB				WIDTH	HEIGHT							
2ND MEZZANINE AND PARKING DECK																			
300	301	PARKING DECK	300	EGRESS STAIR A	H2A	S1	J2A	SF	H.M.	10"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
301	301	PARKING DECK	302	EGRESS STAIR B	H2B	S1	J2B	DF	H.M.	11-1/2"	2'-10"	7'-0"	B	H.M.	PTD	90	2	DOUBLE DR	
302	305	CORRIDOR	302	EGRESS STAIR B	H5	S2	J5	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
303	305	CORRIDOR	303	MANAGERIAL OPS OFFICE	H6	S5	J6	SF	H.M.	4-7/8"	2'-10"	7'-0"	A	H.M.	PTD	NR	5		
304	303	MANAGERIAL OPS OFFICE	304	CONFERENCE ROOM	H6	S5	J6	SF	H.M.	4-7/8"	2'-10"	7'-0"	A	H.M.	PTD	NR	5		
305	305	CORRIDOR	304	CONFERENCE ROOM	H6	S5	J6	SF	H.M.	4-7/8"	2'-10"	7'-0"	A	H.M.	PTD	NR	5		
306	306	MEN'S LOCKER ROOM	305	CORRIDOR	H6	S5	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	4		
307	308	JANITOR'S CLOSET	307	MEN'S TOILET	H6	S4	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR			
308	307	MEN'S TOILET	305	CORRIDOR	H6	S4	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	4		
309	305	CORRIDOR	309	WOMEN'S TOILET	H6	S4	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	4		
310	305	CORRIDOR	314	RECEPTION LOBBY	H6	S5	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	1		
311	312	ELEVATOR VESTIBULE	311	TBD	H6	S5	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	4		
312	314	RECEPTION LOBBY	313	EGRESS STAIR C	H5	S5	J5	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
313	301	PARKING DECK	313	EGRESS STAIR C	H2B	S1	J2B	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
314	301	PARKING DECK	314	RECEPTION LOBBY	STOREFRONT @ ENTRANCE						3'-0"	7'-0"	C	ALUM.	TBD	NR	2	DOUBLE DR	
315	315	TBD	312	ELEVATOR VESTIBULE	H6	S3	J6	SF	H.M.	3-5/8"	2'-0"	7'-0"	A	H.M.	PTD	TBD	4	TBD	
ADMIN. OFFICE LEVEL																			
400	401	CATERING HALL	400	EGRESS STAIR B	H5	S5	J5	SF	H.M.	11"	3'-0"	7'-0"	B	H.M.	PTD	90	2	DOUBLE DR	
401	402	PRESENTATION HALL	401	CATERING HALL	H6	S5	J6	DF	H.M.	4-7/8"	3'-0"	7'-0"	B	TBD	TBD	NR	2	DOUBLE DR	
402	403	CORRIDOR	404	CONFERENCE ROOM	H6	S5	J6	SF	H.M.	4-7/8"	2'-10"	7'-0"	A	TBD	TBD	NR	5		
403	403	CORRIDOR	405	OFFICE "1"	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
404	403	CORRIDOR	406	OFFICE "2"	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
405	403	CORRIDOR	407	OFFICE "3"	STOREFRONT @ CORRIDOR						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
406	414	ADMIN. CENTER	408	OFFICE "4"	STOREFRONT @ ADMIN. CENTER						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
407	414	ADMIN. CENTER	409	OFFICE "5"	STOREFRONT @ ADMIN. CENTER						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
408	414	ADMIN. CENTER	410	OFFICE "6"	STOREFRONT @ ADMIN. CENTER						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
409	414	ADMIN. CENTER	411	OFFICE "7"	STOREFRONT @ ADMIN. CENTER						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
410	414	ADMIN. CENTER	412	GSM OFFICE 1	STOREFRONT @ ADMIN. CENTER						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
411	412	GSM OFFICE 1	427	TOILET	H6	S4	J6	SF	H.M.	4-7/8"	2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
412	414	ADMIN. CENTER	413	GSM OFFICE 2	STOREFRONT @ ADMIN. CENTER						2'-10"	7'-0"	D	ALUM.	TBD	NR	5		
413	414	ADMIN. CENTER	415	EGRESS STAIR C	H5	S5	J5	SF	H.M.	11"	3'-0"	7'-0"	B	H.M.	PTD	90	2	DOUBLE DR	
414	414	ADMIN. CENTER	417	IT ROOM	H6	S5	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	3		
415	414	ADMIN. CENTER	418	ELECT. ROOM	H6	S3	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	45	3		
416	414	ADMIN. CENTER	419	STORAGE	H6	S5	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	3		
417	422	TOILET VESTIBULE	421	MEN'S TOILET	H6	S4	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	4		
418	422	TOILET VESTIBULE	423	WOMEN'S TOILET	H6	S4	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	4		
419	401	CATERING HALL	424	PANTRY/KITCHEN	H6	S5	J6	DF	H.M.	4-7/8"	2'-10"	7'-0"	B	TBD	TBD	NR	5	DOUBLE DR	
420	424	PANTRY/KITCHEN	425	LACTATION RM	H6	S5	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	4		
421	413	GSM OFFICE 2	426	TOILET	H6	S4	J6	SF	H.M.	4-7/8"	3'-0"	7'-0"	A	H.M.	PTD	NR	4		
ROOF LEVEL																			
500	501	ADMIN. ROOF	500	EGRESS STAIR B	H2B	S1	J2B	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
501	501	ADMIN. ROOF	502	EGRESS STAIR C	H2B	S1	J2B	SF	H.M.	11-1/2"	3'-0"	7'-0"	A	H.M.	PTD	90	1		
502	503	ELECTRICAL CLOSET	502	EGRESS STAIR C	H6	S3	J6	DF	H.M.	4-7/8"	2'-10"	7'-0"	B	H.M.	PTD	45	3A	DOUBLE DR	



1 DOOR HEAD AND JAMB DETAILS
A-601A-603 SCALE: 3"=1'-0"



2 SADDLE DETAILS
A-601A-603 SCALE: 6"=1'-0"

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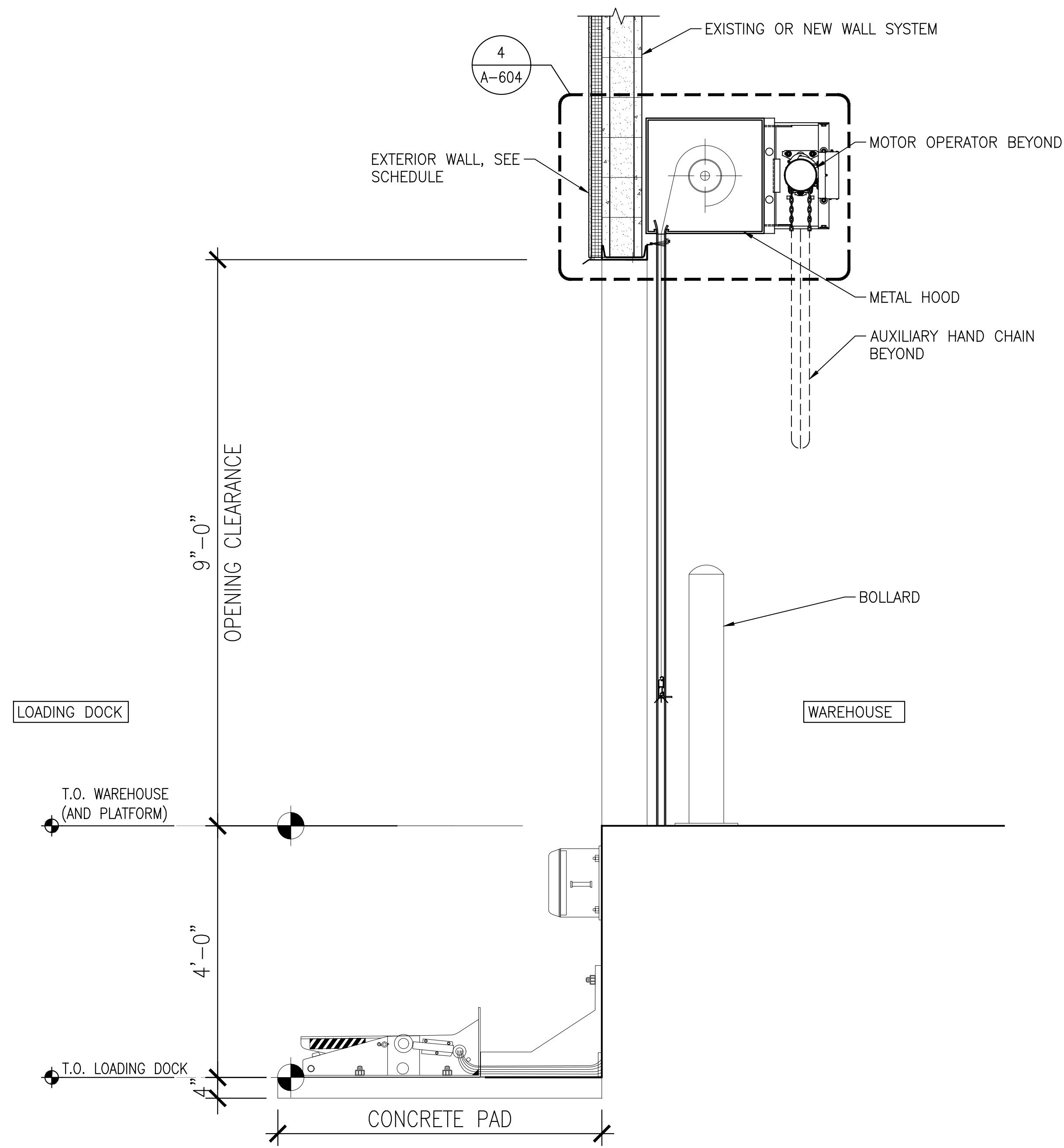
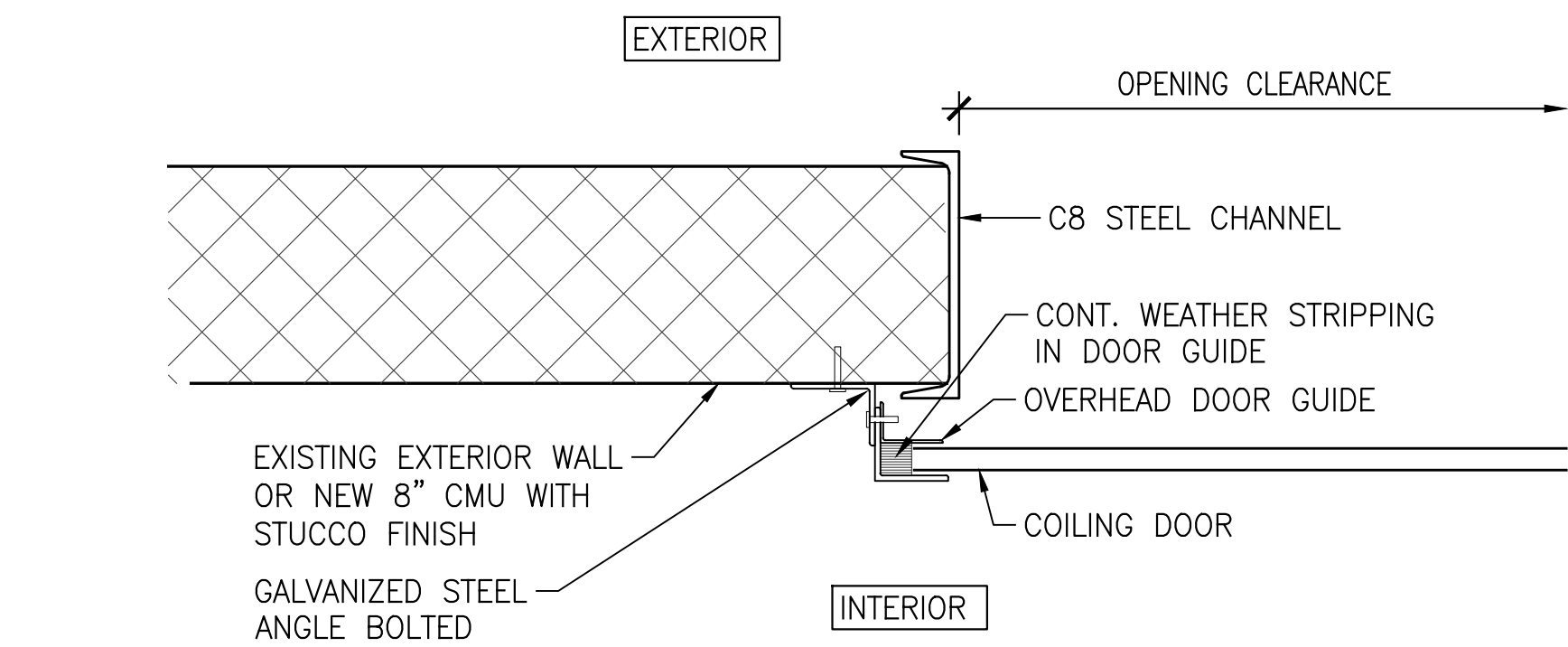
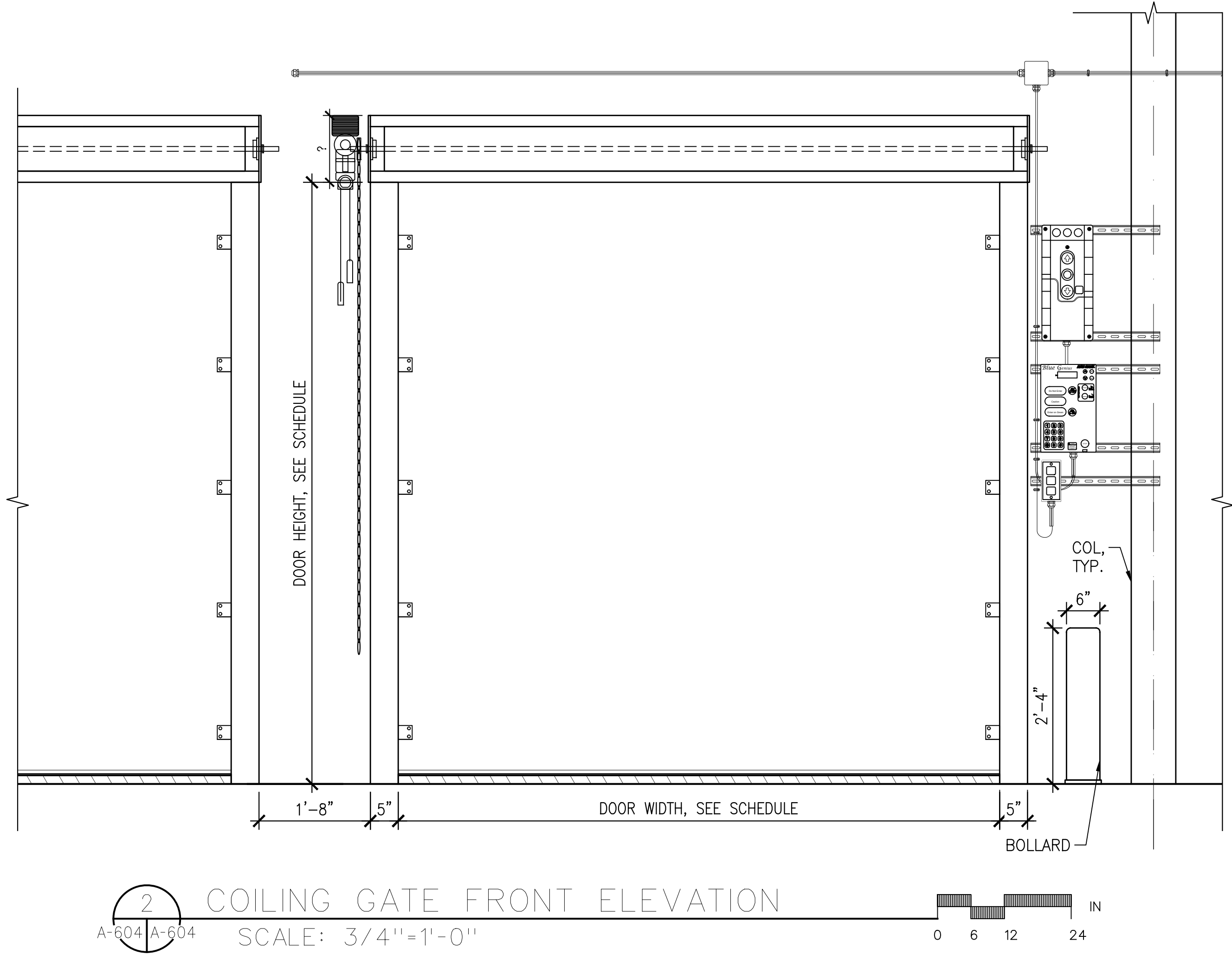
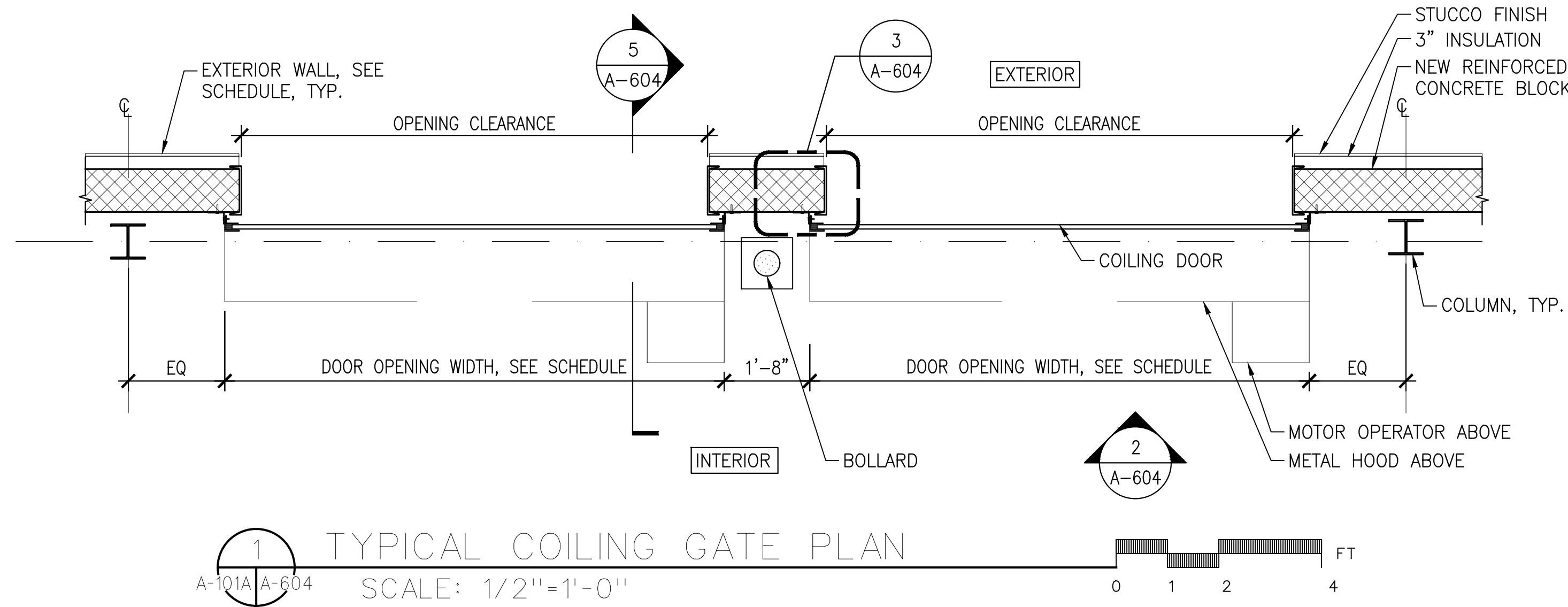
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DRAWN BY: S. WOO
CHECKED BY: D. TOBAR, R.A.
APPROVED BY: A. BERGER, R.A.
DATE: 07.30.2021
SCALE: AS NOTED

DOOR DETAILS

DWG NUMBER:
A-603



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 SUFFERN, NEW YORK

REV	DESCRIPTION	DATE
-	ISSUED FOR DOB SUBMISSION	9.10.21
-	ISSUED FOR BID	10.15.21
-	ISSUED FOR CONSTRUCTION	11.30.21

DRAWN BY: S. WOO
 CHECKED BY: D. TOBAR, R.A.
 APPROVED BY: A. BERGER, R.A.
 DATE: 07.30.2021
 SCALE: AS NOTED

DRAWING TITLE:
COILING DOOR DETAILS

DWG NUMBER:
A-604

WINDOW SCHEDULE																	
WINDOW NO.	WINDOW TYPE	LOCATION		FRAME MATERIAL	ROUGH OPENING		SILL HT. ABOVE FIN. FL. (V.I.F.)	DETAILS			FIRE RATED (MINS)	OPERABLE (Y/N)	SHADES BLINDS	MFR./ MODEL*	GLASS TYPE	REMARKS	
		RM NO.	RM. NAME		WIDTH	HEIGHT		HEAD	JAMB	SILL/ THRESHOLD							
1ST MEZZANINE LEVEL																	
200	B	201	OPERATIONS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
201	B	201	OPERATIONS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
202	B	201	OPERATIONS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
203	B	201	OPERATIONS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
204	B	203	OPERATIONS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
205	B	203	OPERATIONS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
206	B	209	BREAK ROOM	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
207	B	209	BREAK ROOM	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
208	B	209	BREAK ROOM	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
209	B	209	BREAK ROOM	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
210	C	205	DELIVERY	ALUMINUM	2'-4"	3'-2"	3'-0"	STOREFRONT			NR	N	N	TBD	D	TELLER WINDOW	
211	C	205	DELIVERY	ALUMINUM	2'-4"	3'-2"	3'-0"	STOREFRONT			NR	N	N	TBD	D	TELLER WINDOW	
212	C	205	DELIVERY	ALUMINUM	2'-4"	3'-2"	3'-0"	STOREFRONT			NR	N	N	TBD	D	TELLER WINDOW	
213	A	205	DELIVERY	ALUMINUM	3'-8"	3'-2"	3'-0"	WH4	WJ4	WS4	NR	N	N	-	C		
214	A	205	DELIVERY	ALUMINUM	3'-8"	3'-2"	3'-0"	WH4	WJ4	WS4	NR	N	N	-	C		
215	A	211	EGRESS STAIR C	ALUMINUM	3'-0"	4'-0"	3'-0"	WH1	WJ1	WS1	NR	N	N	-	A		
2ND MEZZANINE LEVEL																	
300	A	302	EGRESS STAIR B	ALUMINUM	3'-0"	4'-0"	3'-0"	WH1	WJ1	WS1	NR	N	N	-	A		
301	B	303	MANAGERIAL OPS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	Y	-	B		
302	B	303	MANAGERIAL OPS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	Y	-	B		
303	B	303	MANAGERIAL OPS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
304	B	303	MANAGERIAL OPS OFFICE	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
305	B	304	CONFERENCE ROOM	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
306	B	304	CONFERENCE ROOM	ALUMINUM	3'-8"	3'-2"	3'-0"	WH3	WJ3	WS3	NR	Y	N	-	B		
307	A	313	EGRESS STAIR C	ALUMINUM	3'-0"	4'-0"	3'-0"	WH1	WJ1	WS1	NR	N	N	-	A		
308	A	313	EGRESS STAIR C	ALUMINUM	3'-0"	4'-0"	3'-0"	WH1	WJ1	WS1	NR	N	N	-	A	Ⓜ LANDING 2	
309	A	302	EGRESS STAIR B	ALUMINUM	4'-0"	4'-0"	3'-0"	WH1	WJ1	WS1	NR	N	N	-	A		
310	A	302	EGRESS STAIR B	ALUMINUM	4'-0"	4'-0"	3'-0"	WH1	WJ1	WS1	NR	N	N	-	A		
ADMIN. OFFICE LEVEL																	
400	B	404	CONFERENCE ROOM	ALUMINUM	4'-6"	4'-0"	3'-0"	WH2	WJ2	WS2	NR	Y	Y	-	A		
401	B	404	CONFERENCE ROOM	ALUMINUM	4'-6"	4'-0"	3'-0"	WH2	WJ2	WS2	NR	Y	Y	-	A		
402	B	402	PRESENTATION HALL	ALUMINUM	4'-6"	4'-0"	3'-0"	WH2	WJ2	WS2	NR	Y	Y	-	A		
403	B	402	PRESENTATION HALL	ALUMINUM	4'-6"	4'-0"	3'-0"	WH2	WJ2	WS2	NR	Y	Y	-	A		
404	A	400	EGRESS STAIR B	ALUMINUM	3'-0"	4'-0"	3'-0"	WH1	WJ1	WS1	NR	N	N	-			

LOCATION		FRAME MATERIAL	GLASS TYPE	REMARKS
RM NO.	RM. NAME			
1 ST MEZZANINE - STOREFRONT/CURTAIN WALL				
201	OPERATIONS OFFICE	ALUMINUM	B	PRIVACY AREA SHALL BE OPAQUE SOLID
204	CORRIDOR	ALUMINUM	C	
209	BREAK ROOM	ALUMINUM	B	
2 ST MEZZANINE - STOREFRONT/CURTAIN WALL				
311	TBD	ALUMINUM	B	
314	LOBBY	ALUMINUM	B	
ADMIN. OFFICE - STOREFRONT/CURTAIN WALL				
424	PANTRY/KITCHEN	ALUMINUM	B	
414	ADMIN. CENTER	ALUMINUM	A	

A 1" INSULATED GLAZING UNITS
EXTERIOR WINDOWS IN FIXED AND OPERABLE FRAMES AND DOORS

- B 1" INSULATED GLAZING UNITS
INTERIOR WINDOWS BETWEEN ADMIN AND WAREHOUSE
- C 1" INSULATED GLAZING UNITS
INTERIOR FIXED GLAZING AND DOORS BETWEEN OFFICES

- D 9/16" TEMPERED GLASS
TRANSACTION WINDOWS AT SETTLEMENT OFFICE

NOTE: ALL EXTERIOR GLASS SHALL HAVE VISIBLE LIGHT TRANSMITTANCE (VLT) OF NO LESS THAN 40% AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) OF NO MORE THAN 0.24.

TYPE 'A' AND 'B' GLASS

- a. INSULATED GLAZING UNITS SHALL BE FORMED OF TWO SHEETS OF GLASS SEPARATED BY A 7/16" DEHYDRATED AIR SPACE, HERMETICALLY SEALED. THE UNITS SHALL CONFORM TO ASTM E774 AND 773, CLASS A.
1. THE INNER LIGHT SHALL BE TEMPERED 1/4" THICK GLASS, KIND FT, TYPE I, CLASS 1, ASTM C1048, CONFORMING TO CPSC 16 CFR-1201 AND ANSI Z 97.1. AT TYPE 'A' GLASS, PROVIDE A LOWE SOLAR CONTROL COATING (SOLARBAN 70 BY VITRO (PPG) OR APPROVED EQUAL).
 2. THE OUTER LIGHT SHALL BE HEAT STRENGTHENED 5/16" THICK, CLEAR, KIND HS, LAMINATED GLASS, CONFORMING TO CPSC 16 CFR-1201 AND ANSI Z97.1.
 - 1) LAMINATED GLASS SHALL CONSIST OF TWO 1/8" THICK PANELS LAMINATED TOGETHER WITH A 0.060 INCH POLYVINYL BUTYRAL CLEAR INTERLAYER.

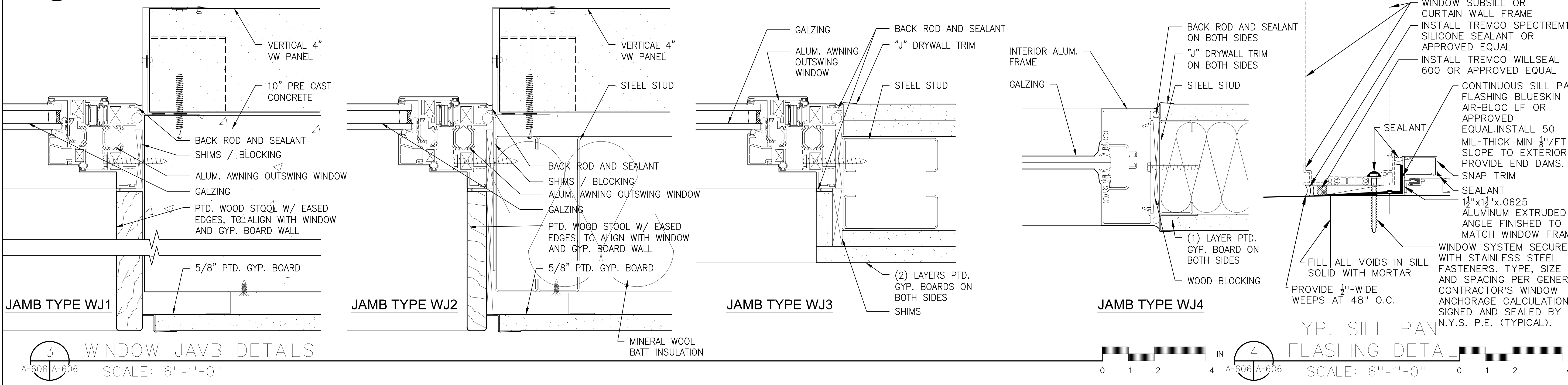
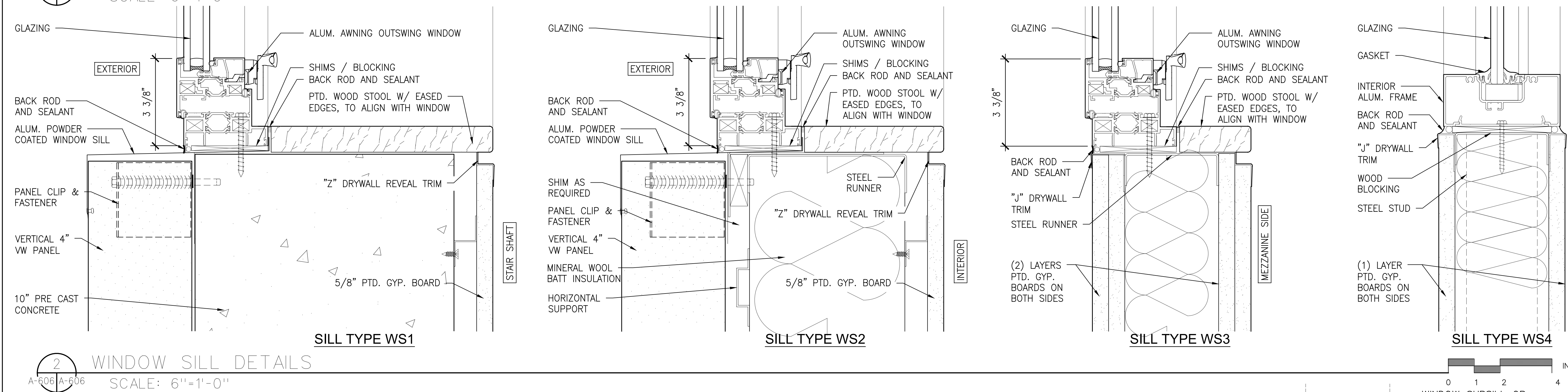
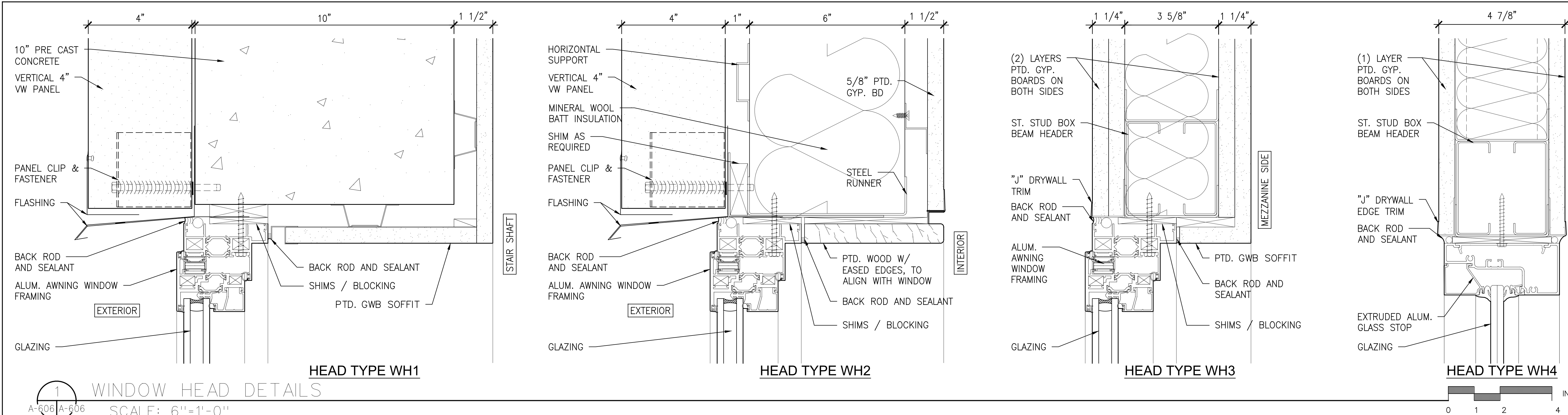
TYPE 'C' GLASS

- a. INSULATED GLAZING UNITS SHALL BE FORMED OF TWO SHEETS OF GLASS SEPARATED BY A 1/2" DEHYDRATED AIR SPACE, HERMETICALLY SEALED. THE UNITS SHALL CONFORM TO ASTM E774 AND 773, CLASS A.
1. THE INNER AND OUTER LIGHTS SHALL BE TEMPERED 1/4" THICK GLASS, KIND FT, TYPE I, CLASS 1, ASTM C1048, CONFORMING TO CPSC 16 CFR-1201 AND ANSI Z 97.1.

TYPE 'D' GLASS

- a. HEAT STRENGTHENED 9/16" THICK CLEAR, KIND HS, LAMINATED GLASS, CONFORMING TO CPSC 16 CFR-1201 AND ANSI Z97.1.
1. LAMINATED GLASS SHALL CONSIST OF TWO 1/4" THICK PANELS LAMINATED TOGETHER WITH A 0.060 INCH POLYVINYL BUTYRAL CLEAR INTERLAYER.





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MANHATTAN BEER DISTRIBUTORS
20 DUNNIGAN DRIVE
SUFFERN, NEW YORK

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APPROVED BY:	A. BERGER, R.A.
DATE:	07.30.2021
SCALE:	AS NOTED

DRAWING TITLE:

WINDOW DETAILS

DWG NUMBER:

A-606

ROOM FINISH SCHEDULE									
RM NO.	ROOM NAME	MATERIALS							REMARKS
		FLOOR	BASE	CEILING	NORTH WALL	EAST WALL	WEST WALL	SOUTH WALL	
WAREHOUSE FLOOR LEVEL									
100	EGRESS STAIR A	RBT	VB	PNT	PNT	PNT	PNT	PNT	
101	20 DUNNIGAN WAREHOUSE	EXT	-	EXT	EXT	-	EXT	EXT	
103	EGRESS STAIR B	RBT	VB	PNT	PNT	PNT	PNT	PNT	
104	SPRINKLER RISER CLOSET	EXT	PNT	PNT	PNT	PNT	PNT	PNT	
105	AS/RS WAREHOUSE	SC	-	PNT	PNT	-	-	PNT	
106	EGRESS STAIR C	RBT	VB	PNT	PNT	PNT	PNT	PNT	
107	EMERGENCY SERVICE ROOM	SC	VB	PNT	PNT	PNT	PNT	PNT	
108	10 DUNNIGAN WAREHOUSE	EXT	-	EXT	EXT	EXT	-	EXT	
109	SPRINKLER RISER CLOSET	CF	VB	PNT	PNT	PNT	PNT	PNT	
111	SPRINKLER RISER CLOSET	CF	VB	PNT	PNT	PNT	PNT	PNT	
112	SWITCHGEAR ROOM	CF	VB	PNT	PNT	PNT	PNT	PNT	
115	FIRE PUMP ROOM	CF	VB	PNT	PNT	PNT	PNT	PNT	
116	AIR COMPRESSION ROOM	CF	VB	PNT	PNT	PNT	PNT	PNT	
117	ELECTRICAL CLOSET	CF	VB	PNT	PNT	PNT	PNT	PNT	
118	SPRINKLER RISER CLOSET	CF	VB	PNT	PNT	PNT	PNT	PNT	
120	JANITOR'S CLOSET	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
121	TOILET	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
122	JANITOR'S CLOSET	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
123	TOILET	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
124	MECHANICAL ROOM	CF	VB	PNT	PNT	PNT	PNT	PNT	
125	MAINTENANCE AREA	CF	-	EXT	EXT	EXT	EXT	EXT	
1ST MEZZANINE LEVEL									
200	EGRESS STAIR B	RBT	VB	PNT	PNT	PNT	PNT	PNT	
201	OPERATIONS OFFICE	CPT	VB	PNT	PNT/SFT	PNT	PNT/SFT	PNT	
202	SETTLEMENT ROOM	CPT	VB	PNT	SFT	PNT	PNT	PNT	
203	OPERATIONS OFFICE	CPT	VB	PNT	PNT/SFT	PNT/SFT	PNT	PNT	
204	CORRIDOR	CPT	VB	PNT	PNT	PNT	PNT	SFT	
205	DELIVERY	CPT	VB	PNT	SFT	PNT	PNT	PNT	
206	MEN'S TOILET	VCT	VB	PNT	SFT	CT/PNT	CT/PNT/SFT	CT/PNT	CT 48" HIGH A.F.F.
207	WOMEN'S TOILET	VCT	VB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
208	JANITOR'S ROOM	VCT	VB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
209	BREAK ROOM	VCT	VB	PNT	SFT	SFT	PNT	PNT	
210	ELEVATOR VESTIBULE	CPT	VB	PNT	PNT	PNT	-	SFT	
211	EGRESS STAIR C	RBT	VB	PNT	PNT	PNT	PNT	PNT	
212	EGRESS STAIR A	RBT	VB	PNT	PNT	PNT	PNT	PNT	
2ND MEZZANINE AND PARKING DECK									
300	EGRESS STAIR A	RBT	VB	ACT	PNT	PNT	PNT	PNT	
302	EGRESS STAIR B	RBT	VB	ACT	PNT	PNT	PNT	PNT	
303	MANAGERIAL OPS OFFICE	CPT	VB	ACT	PNT	PNT	PNT	PNT	
304	CONFERENCE ROOM	CPT	VB	ACT	PNT	PNT	PNT	PNT	
305	CORRIDOR	CPT	VB	ACT	PNT	PNT	PNT	PNT	
306	MEN'S LOCKER ROOM	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
307	MEN'S TOILET	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
308	JANITOR'S CLOSET	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
309	WOMEN'S TOILET	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
310	WOMEN'S LOCKER ROOM	PTF	PTB	PNT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
311	TBD								
312	ELEVATOR VESTIBULE	PTF	VB	ACT	PNT	PNT	-	PNT	
313	EGRESS STAIR C	RBT	VB	PNT	PNT	PNT	PNT	PNT	
314	RECEPTION LOBBY	PTF	PTB	ACT	SFT	PNT	SFT	PNT	SEE NOTE 6
315	TBD								

RM NO.	ROOM NAME	MATERIALS							REMARKS
		FLOOR	BASE	CEILING	NORTH WALL	EAST WALL	WEST WALL	SOUTH WALL	
ADMIN. OFFICE LEVEL									
400	EGRESS STAIR B	RBT	VB	PNT	PNT	PNT	PNT	PNT	
401	CATERING HALL	CPT	VB	ACT	PNT	-	PNT	PNT	
402	PRESENTATION ROOM	CPT	VB	PNT	PNT	FW	PNT	PNT	
403	CORRIDOR	CPT	VB	ACT	SFT	PNT	PNT	PNT	
404	CONFERENCE ROOM	CPT	VB	ACT	PNT	PNT	PNT	PNT	
405	OFFICE "1"	CPT	VB	ACT	PNT	PNT	PNT	SFT	
406	OFFICE "2"	CPT	VB	ACT	PNT	PNT	PNT	SFT	
407	OFFICE "3"	CPT	VB	ACT	PNT	PNT	PNT	SFT	
408	OFFICE "4"	CPT	VB	ACT	PNT	PNT	PNT	SFT	
409	OFFICE "5"	CPT	VB	ACT	PNT	PNT	PNT	SFT	
410	OFFICE "6"	CPT	VB	ACT	PNT	PNT	PNT	SFT	
411	OFFICE "7"	CPT	VB	ACT	PNT	PNT	PNT	SFT	
412	GSM OFFICE 1	CPT	VB	ACT	PNT	PNT	SFT/PNT	PNT	
413	GSM OFFICE 2	CPT	VB	ACT	PNT	PNT	SFT	PNT	
414	ADMIN. CENTER	CPT	VB	PNT	SFT	SFT/PNT	FW	PNT	
415	EGRESS STAIR C	RBT	VB	PNT	PNT	PNT	PNT	PNT	
416	ELEVATOR VESTIBULE	RBT	VB	PNT	PNT	-	PNT	PNT	
417	IT ROOM	VCT	VB	ACT	PNT	PNT	PNT	PNT	
418	ELECTRICAL ROOM	VCT	VB	ACT	PNT	PNT	PNT	PNT	
419	STORAGE	CPT	VB	ACT	PNT	PNT	PNT	PNT	
420	COPY ROOM	VCT	VB	ACT	PNT	PNT	PNT	PNT	
421	MEN'S TOILET	PTF	PTB	ACT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
422	TOILET VESTIBULE	CPT	VB	PNT	PNT	-	-	PNT	
423	WOMEN'S TOILET	PTF	PTB	ACT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
424	PANTRY/KITCHEN	VCT	VB	ACT	PNT	PNT	PNT	SFT/PNT	
425	LACTATION ROOM	VCT	VB	ACT	PNT	PNT	PNT	PNT	
426	TOILET	PTF	PTB	ACT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
427	TOILET	PTF	PTB	ACT	CT/PNT	CT/PNT	CT/PNT	CT/PNT	CT 48" HIGH A.F.F.
ROOF LEVEL									
500	EGRESS STAIR B	RBT	VB	PNT	PNT	PNT	PNT	PNT	
501	ADMIN. ROOF	CWD	-	-	-	-	-	-	
502	EGRESS STAIR C	RBT	VB	PNT	PNT	PNT	PNT	PNT	
503	ELECTRICAL CLOSET	VCT	VB	PNT	PNT	PNT	PNT	PNT	
504	ELEVATOR VESTIBULE	CPT	VB	PNT	PNT	PNT	PNT	PNT	

INTERIOR FINISH SCHEDULE LEGEND

ACT	ACOUSTICAL CEILING TILE
CF	CONCRETE FLOOR WITH LIGHT BROOM FINISH
CPT	CARPET TILE
CT	CERAMIC TILE
CWD	COMPOSITE WOOD DECKING
EP	NON-SLIP EPOXY PAINT (COLOR: GRAY)
EXT	EXISTING FINISH TO REMAIN
FW	ACCORDION FOLDING WALL
M.E.X.	FINISH TO MATCH EXISTING
PP	PAINTED PLASTER
PNT	PAINT
PTB	PORCELAIN TILE (BASE)
PTF	PORCELAIN TILE (FLOOR)
RBT	RUBBER TILE
SC	STRUCTURAL CONCRETE
SFT	STOREFRONT/CURTAIN WALL
VB	VINYL WALL BASE
VCT	VINYL COMPOSITION TILE
WB	PAINTED WOOD BASE

NOTES:

1. FOR FINISHES AT STAIRS, REFER TO STAIR DETAIL DRAWINGS.
2. WHERE MORE THAN ONE FINISHED MATERIAL/ASSEMBLY APPEARS ON FINISH SCHEDULES, REFER TO DETAILS FOR PROPER COORDINATION. IF DISCREPANCIES EXIST BETWEEN FINISH SCHEDULE AND DETAILS, DETAILS CONTROL.
3. ANY BLOCK WALL ASSEMBLIES NOT CALLED ON FINISH SCHEDULES SHALL RECEIVE PAINT FINISH.
4. ALL JOINT FINISH MATERIALS INCLUDING CAULKS, SEALANTS, GROUTS, MORTAR AND PREFORMED FILLER STRIPS SHALL BE MOCKED UP FOR APPROVAL AND FINAL COLOR SELECTION BY ARCHITECT.
5. CARPET AND VCT SHALL BE INSTALLED OVER SELF LEVELING UNDERLAYMENT. TILES OVER CRACK ISOLATION MEMBRANE.
6. PROVIDE ELECTRIC RADIANT HEAT UNDER TILE, IN ENTIRE LOBBY AREA.

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MANHATTAN
BEER DISTRIBUTORS

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20 DUNNIGAN DRIVE
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ROOM FINISH SCHEDULE		
	DWG NUMBER :	A-607

LUMINAIRE SCHEDULE

AS/RS WAREHOUSE										
SYMBOL	LABEL	QTY	LUM. WATTS	LUM. LUMENS	LLF	ARRANGEMENT	MANUFACTURER	DESCRIPTION	MODEL NUMBER	REMARKS
	AN	34	229.55	35493	0.850	SINGLE	COLUMBIA LIGHTING	PELTON HIGH PERFORMANCE HIGH BAY	PEL4-40MX-FAN-EDU	
	AW	22	229.62	35869	0.850	SINGLE	COLUMBIA LIGHTING	PELTON HIGH PERFORMANCE HIGH BAY	PEL4-40MX-FAW-EDU	
	A	6			0.850	SINGLE	COLUMBIA LIGHTING	PELTON HIGH PERFORMANCE HIGH BAY	PEL2-40MH-FAW-EDU	
	B4	29	26.5	3174	0.850	SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS4-40VW-FW-EDU	
	AN-EM	32	229.62	4156	1.000	SINGLE	COLUMBIA LIGHTING	PELTON HIGH PERFORMANCE HIGH BAY	PEL4-40MX-FAN-EDU	SEE NOTE
	AW-EM	14	229.62	4156	1.000	SINGLE	COLUMBIA LIGHTING	PELTON HIGH PERFORMANCE HIGH BAY	PEL4-40MX-FAW-EDU	SEE NOTE
	B4-EM	11	26.5	1210	1.000	SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS4-40VW-FW-EDU	SEE NOTE
OFFICE (ADMIN OFFICE AND MEZZANINES)										
	RB	21	164.2	19064	0.900	SINGLE	COLUMBIA LIGHTING	REVERIE DECORATIVE LOW BAY	RLB8-40LM-FAM-U3-EDU	HUNG 10'-0" A.F.F.
	LF1	86	11.3	1093	0.900	SINGLE	CSL	ECO DOWNLIGHTS	ED3L-NC-30-90-50-12S	
	LF2	79	20	2235	0.900	SINGLE	ELITE LIGHTING	2'x2' ARCHITECTURAL LED FLAT PANEL	22-FPL1-LED-2000L-DIM10-MVOLT-40K-85	
	A2	1	30.4	2300		SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS2-40MW-FW-EDU	
	S4	21	40.8			SINGLE	COLUMBIA LIGHTING	ESCALATE STAIRWELL LUMINAIRE	ESL-4-40-HLHE-FP-W-ED	STAIRWELLS
	B4	13	26.5	3174	0.850	SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS4-40VW-FW-EDU	
	C8	11	40	4989	0.850	SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS8-40XW-FW-EDU	UNDERSIDE OF MEZZANINE 1
	LF1-EM	35	11.3	1093	0.900	SINGLE	CSL	ECO DOWNLIGHTS	ED3L-NC-30-90-50-12S	SEE NOTE
	LF2-EM	35	20	2235	0.900	SINGLE	ELITE LIGHTING	2'x2' ARCHITECTURAL LED FLAT PANEL	22-FPL1-LED-2000L-DIM10-MVOLT-40K-85	SEE NOTE
	S4-EM	13	40.8			SINGLE	COLUMBIA LIGHTING	ESCALATE STAIRWELL LUMINAIRE	ESL-4-40-HLHE-FP-W-ED	SEE NOTE
	B4-EM	8	26.5	1210	1.000	SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS4-40VW-FW-EDU	SEE NOTE
	C8-EM	3	40	1211	1.000	SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS8-40XW-FW-EDU	SEE NOTE
SITE										
	A2	54	22.9	3225	0.900	SINGLE	HUBBEL LIGHTING	SGC-F CANOPY SLING SERIES	SGC-F-20-4K	UNDERSIDE OF PARKING DECK
	P II	2	153.6	21488	0.900	SINGLE	HUBBEL LIGHTING	RATIO SERIES AREA/SITE LIGHTER	RAR2-320L-165-4K7-T2-U	
	P III	2	153.6	21714	0.900	SINGLE	HUBBEL LIGHTING	RATIO SERIES AREA/SITE LIGHTER	RAR2-320L-165-4K7-3-U	
	P IV	2	153.6	21310	0.900	SINGLE	HUBBEL LIGHTING	RATIO SERIES AREA/SITE LIGHTER	RAR2-320L-165-4K7-4W-U	
	P V	2	153.6	21834	0.900	SINGLE	HUBBEL LIGHTING	RATIO SERIES AREA/SITE LIGHTER	RAR-2-320L-165-4K7-5QW-U	
	W	13	29.1	3060	0.900	SINGLE	HUBBEL LIGHTING	SLING SERIES SLENDER WALLPACK	SG1-30-4K7-FT	WALL MOUNTED
PARKING DECK										
	WP3	2	136.355	15668	0.850	SINGLE	HUBBEL LIGHTING	TRAVERSE	TRV-60L-136-4K7-3	WALL MOUNTED
	WP4	1	136.423	15524	0.850	SINGLE	HUBBEL LIGHTING	TRAVERSE	TRV-60L-136-4K7-4W	WALL MOUNTED
	T4W-2	3	226.9	31576	0.850	BACK-BACK	HUBBEL LIGHTING	RATIO SERIES AREA/SITE LIGHTER	RAR2-480L-240-4K7-4W-U	
	G1	9	48.1	5502	0.850	SINGLE	HUBBEL LIGHTING	SRT2 EDGE LIT	SRT2-50-4K7-5QW	UNDERSIDE OF ADMIN OFFICE
	G2	6	93.2	11035	0.850	SINGLE	HUBBEL LIGHTING	SRT2 EDGE LIT	SRT2-100-4K7-5C	UNDERSIDE OF ADMIN OFFICE
AUXILIARY ROOMS										
	A2	2	30.4	2300		SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS2-40MW-FW-EDU	
	B4	12	26.5	3174	0.850	SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS4-40VW-FW-EDU	
	C8	2	40	4989	0.850	SINGLE	COLUMBIA LIGHTING	MPS MULTIPURPOSE LINEAR	MPS8-40XW-FW-EDU	

NOTE:
"-EM" DENOTES POWER RELAYED TO SECONDARY POWER SOURCE. IN AN EMERGENCY THE EM LIGHT FIXTURES SHALL BE POWERED BY THE EMERGENCY GENERATOR.

CONTROL SCHEDULE

AS/RS WAREHOUSE				
SYMBOL	QTY	MANUFACTURER	MODEL NUMBER	REMARKS
	8	HUBBEL LIGHTING	NXOS-OMDT2	
	6	HUBBEL LIGHTING	NXRC-UL924-UNV	
	6	HUBBEL LIGHTING	NXRCFX-1RD-UNV	
	4	HUBBEL LIGHTING	NXSW-OQ-WH	
	4	HUBBEL LIGHTING	RJ45ADAPTER	
	24	HUBBEL LIGHTING	WSPLWOSM24V	MAX MOUNTING HEIGHT 45'-0" AND ANGLED TO MAXIMIZE COVERAGE
OFFICE (1ST MEZZANINE + UNDERSIDE)				
	2	HUBBEL LIGHTING	ALCR1277	
	3	HUBBEL LIGHTING	LHMTS1-G-WH	
	2	HUBBEL LIGHTING	OMNIDT2000RP	
	17	HUBBEL LIGHTING	NXOS-OMDT2	
	6	HUBBEL LIGHTING	NXRC-UL924-UNV	
	6	HUBBEL LIGHTING	NXRCFX-1RD-UNV	
	6	HUBBEL LIGHTING	NXSW-ORLO-WH	
	1	HUBBEL LIGHTING	POWER PACK	
OFFICE (2ND MEZZANINE + ADMIN OFFICE UNDERSIDE)				
	3	HUBBEL LIGHTING	ALCR1277	
	5	HUBBEL LIGHTING	LHMTS1-G-WH	
	6	HUBBEL LIGHTING	OMNIDT2000RP	
	8	HUBBEL LIGHTING	NXOS-OMDT2	
	5	HUBBEL LIGHTING	NXRC-UL924-UNV	
	6	HUBBEL LIGHTING	NXRCFX-1RD-UNV	
	4	HUBBEL LIGHTING	NXSW-ORLO-WH	
	2	HUBBEL LIGHTING	RJ45ADAPTER	
	14	HUBBEL LIGHTING	WSPLWOSM24V	
	3	HUBBEL LIGHTING	POWER PACK	
	1	HUBBEL LIGHTING	NXRCFX-2RD-UNV	
OFFICE (ADMIN OFFICE)				
	12	HUBBEL LIGHTING	ALCR1277	
	16	HUBBEL LIGHTING	LHMTS1-G-WH	
	2	HUBBEL LIGHTING	OMNIDT2000RP	
	14	HUBBEL LIGHTING	NXOS-OMDT2	
	6	HUBBEL LIGHTING	NXRC-UL924-UNV	
	6	HUBBEL LIGHTING	NXRCFX-1RD-UNV	
	6	HUBBEL LIGHTING	NXSW-ORLO-WH	
	1	HUBBEL LIGHTING	RJ45ADAPTER	
	1	HUBBEL LIGHTING	16 RELAY PANEL	
	2	HUBBEL LIGHTING	POWER PACK	
	1	HUBBEL LIGHTING	NXDS-O	EXTERIOR GRADE
PARKING DECK UNDERSIDE				
	3	HUBBEL LIGHTING	NXRCFX-1RD-UNV	
	4	HUBBEL LIGHTING	RJ45ADAPTER	
	27	HUBBEL LIGHTING	WSPLWOSM24V	
	1	HUBBEL LIGHTING	NXRCFX-2RD-UNV	
	1	HUBBEL LIGHTING	NXDS-O	EXTERIOR GRADE
STAIRS A, B & C				
	16	HUBBEL LIGHTING	NXOS-OMDT2	
	3	HUBBEL LIGHTING	NXRC-UL924-UNV	
	3	HUBBEL LIGHTING	NXRCFX-1RD-UNV	
AUXILIARY ROOMS				
	7	HUBBEL LIGHTING	LHMTS1-G-WH	

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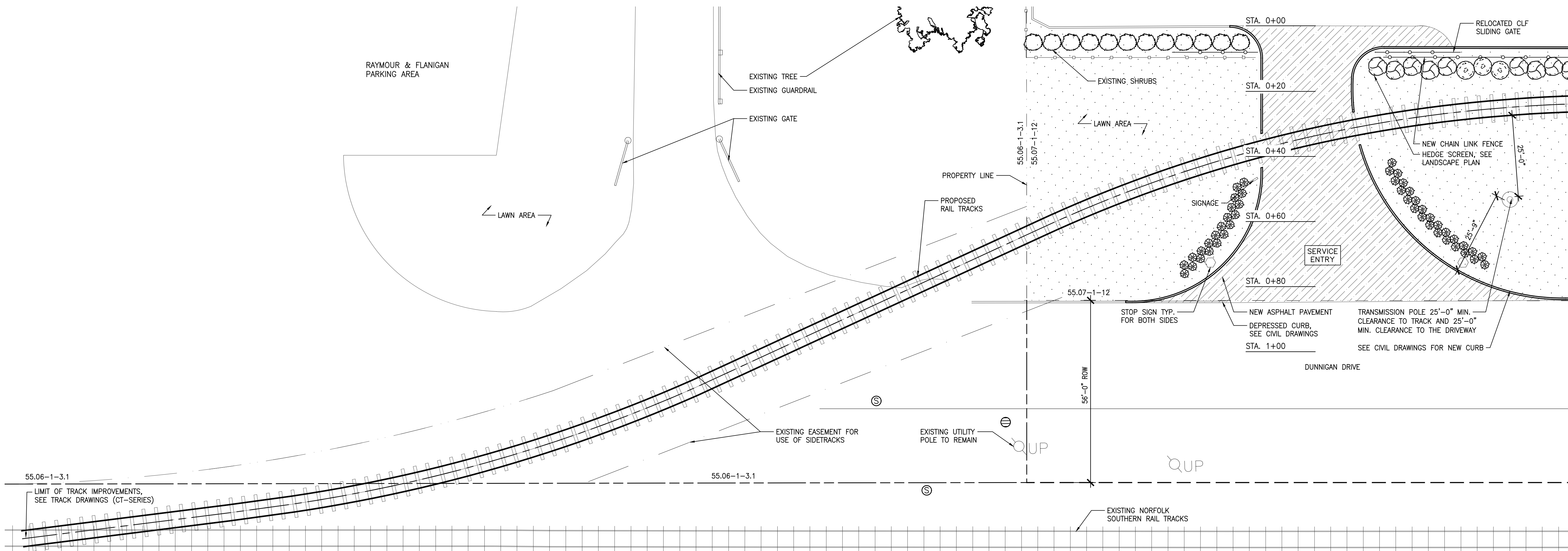
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LIGHTING AND
CONTROL SCHEDULES

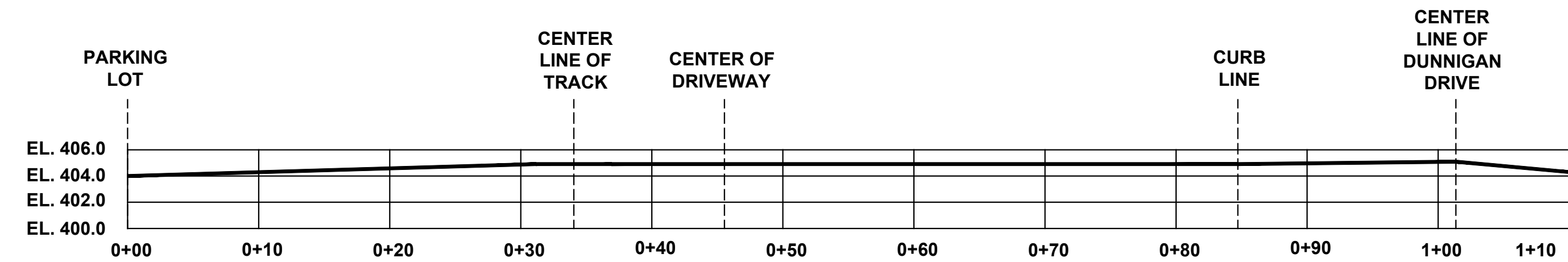
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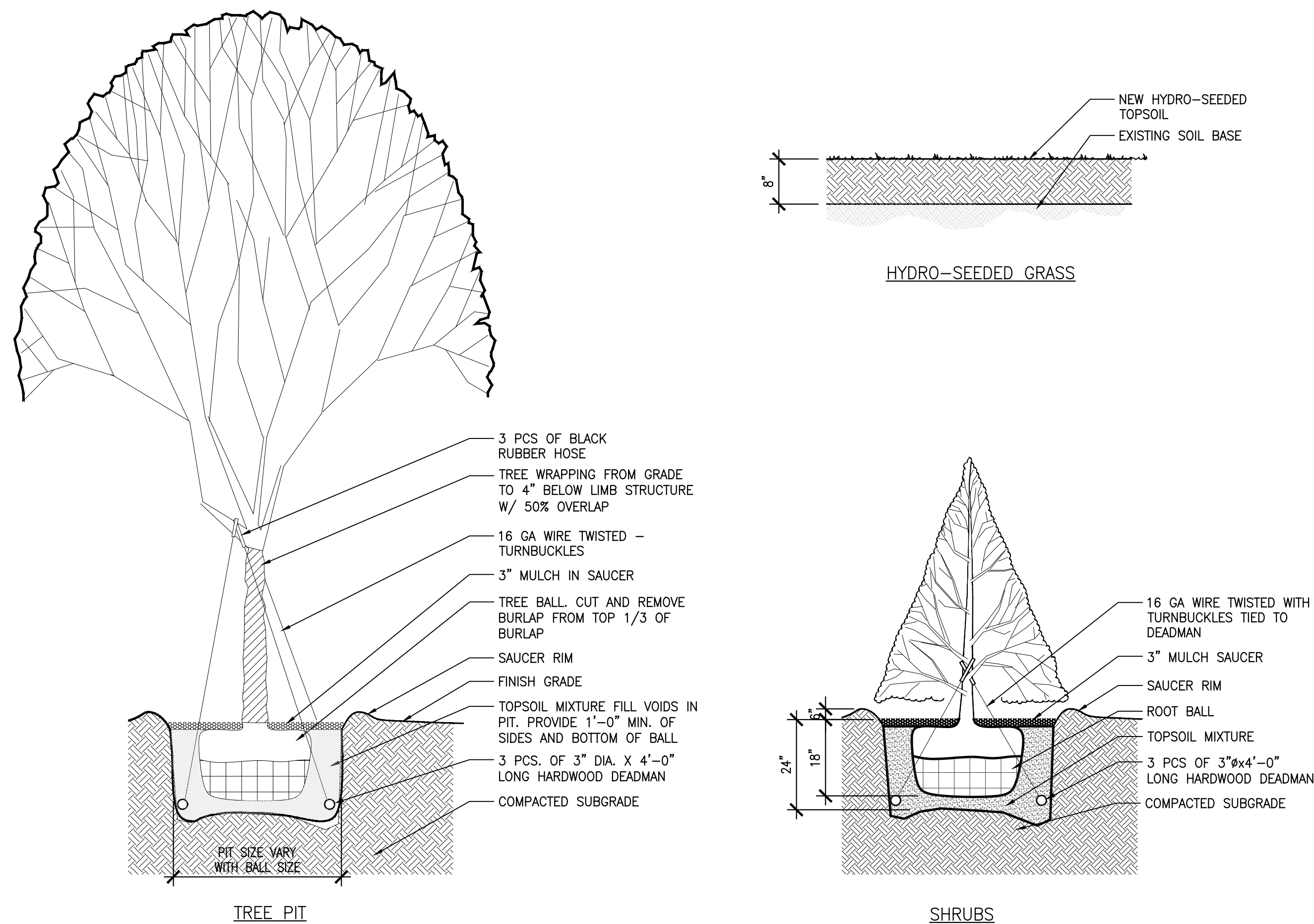


1 PARTIAL PLAN AT RELOCATED ENTRANCE
A-700 A-700 SCALE: 1/16"=1'-0"

- PLANTING NOTES:
1. PLANT MATERIAL WILL BE INSPECTED AND APPROVED AT THE PLACE OF GROWTH BY THE ARCHITECT. HOWEVER, PLANT MATERIAL WHICH HAS BECOME DAMAGED, DISEASED OR WHICH IS UNACCEPTABLE TO THE ARCHITECT, FOR ANY REASON, MAY BE REJECTED UPON DELIVERY TO THE SITE.
 2. ALL PLANT MATERIAL TO BE VIGOROUS, FREE OF INJURY OR DEFECTS. ALL PLANT MATERIAL TO .
 3. PLANT BEDS TO HAVE MINIMUM OF 24" TOPSOIL EXCEPT AS OTHERWISE NOTED
 4. NO SUBSTITUTION WILL BE PERMITTED WITHOUT PRIOR CONSENT FROM THE ARCHITECT.
 5. THE ACTUAL LOCATION OF PLANT MATERIALS MAY VARY DUE TO FIELD CONDITIONS, FINAL CONDITIONS, OR FINAL PLACEMENT OF PLANT MATERIAL.
 6. PLANT MATERIAL SHALL BE APPROVED BEFORE PITS ARE DUG. IF INITIAL PLACEMENT IS NOT SATISFACTORY, PLANTS SHALL BE RELOCATED IN THE FIELD AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE LANDSCAPE ARCHITECT.
 7. ALL PLANTS IN THE SAME AREA SHALL BE PLACED AND PLANTED AT THE SAME TIME. IF ANY PLANT REMAINS ON-SITE FOR MORE THAN 24 HOURS BEFORE FINAL PLANTING, THEY SHALL BE HEELED IN ON-SITE TO MAINTAIN THEIR HEALTH AND VITALITY. PLANTS SHALL BE OTHERWISE PROTECTED AND MAINTAINED INCLUDING, BUT NOT LIMITED TO, WATER AND SHADE. ANY PLANTS DEEMED IN UNSATISFACTORY HEALTH OR CONDITION AT THE TIME OF PLANTING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 8. THE CONTRACTOR IS TO USE CARE AND CONSIDERATION DURING EXCAVATION AND PLANTING TO AVOID DISTURBING OR DAMAGING ANY EXISTING AND ADJACENT UNDERGROUND UTILITIES, CONSTRUCTION AND PLANT MATERIAL. ANY DAMAGE TO THE AFORE-MENTIONED FROM THIS CONSTRUCTION SHALL BE THE CONTRACTORS RESPONSIBILITY AND BE RESTORED AT HIS EXPENSE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
 9. ADEQUATE MOISTURE SHOULD BE PROVIDED SO THAT PLANTINGS NOT DRY OUT DURING THE FIRST YEAR.
 10. THE CONTRACTOR SHALL RESTORE ALL LAWN AREAS TO FINISH. LINES OF INTERSECTION WITH EXISTING LAWN SHALL BE CONTINUOUS AND FLUSH .
 11. MINIMUM TOPSOIL IN GROUND COVER AND BULB BEDS: 9".



2 SERVICE ENTRY PROFILE
A-700 A-700 SCALE: 1:100



3 TYP. PLANTING DETAILS
A-700 A-700 SCALE: 1/2"=1'-0"

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DRAWING TITLE :
**LANDSCAPE KEY PLAN
AND NOTES**

DWG NUMBER :
A-700

PLANTING SCHEDULE								
TYPE	#	QTY	BOTANICAL NAME	COMMON NAME	CAL.	HEIGHT	ROOT	NOTES/COMMENTS
SHRUB	1	128	THUJA GREEN GIANT	THUJA STANDISHII X PLICATA	—	6'–0"	B&B	PLANT AT 6'–6" STAGGERED
	2	79	JAPANESE CEDAR	CRYPTOMERIA JAPONICA	—	6'–0"	B&B	PLANT AT 6'–6" STAGGERED
	3	0	ARBORVITAE HEDGE	THUJA OCCIDENTALIS SMARAGO	—	6'–0"	B&B	PLANT AT 6'–6" STAGGERED
VINES	01	320 SF	WHITE CLIMBING HYDRANGEA	HYDRANGEA ANOMALA PETIOLARIS	—	—	1 QT	PLANT AT 12" O.C.
	02	640 SF	ENGLISH IVY	HEDRA HELIX	—	—	PLATS	PLANT AT 8" O.C.
PERENNIALS	1	88	ORNAMENTAL FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'MOUDRY'	—	—	3 GAL.	PLANT AT 30" STAGGERED
	2	48	SPRING/SUMMER/FALL PERENNIAL FLOWER MIX	VARIES	—	—	1 GAL.	PLANT AT 18" STAGGERED

LEGEND:

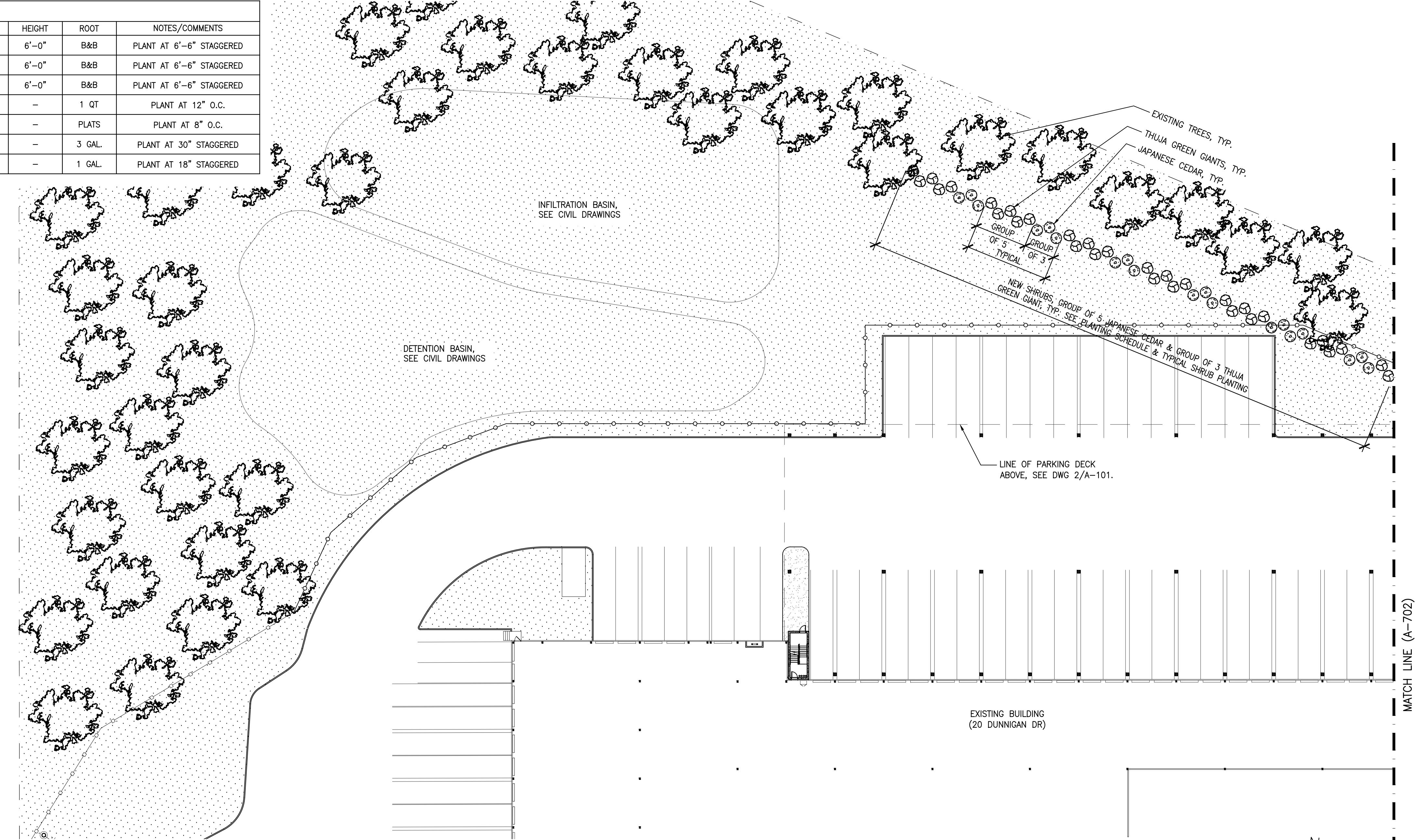
- NEW CHAIN LINK FENCE
- EXISTING CHAIN LINK FENCE
- PROPOSED SHRUB
- EXISTING SHRUB
- EXISTING TREE
- EXISTING TREE TO BE REMOVED

GENERAL NOTES:

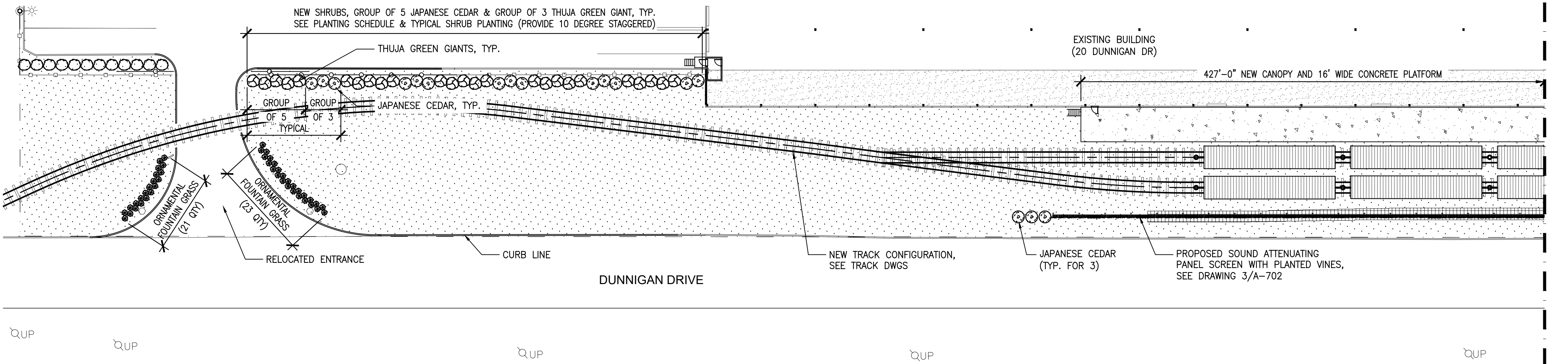
- SEE CIVIL DRAWINGS FOR GRADING AND UTILITIES PLANS.
- SEE PLANTING AND STANDARD LANDSCAPING NOTES IN A-700.

STANDARD LANDSCAPING NOTES:

- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THAT WHICH EXISTED IN THE NURSERY.
- ALL PLANTS SHALL BE ORIENTED AT THEIR PROPOSED LOCATION TO PRESENT THEIR BEST SIDE. THIS INSTALLATION SHALL BE CARRIED OUT UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT.
- MULCH ALL PLANT BEDS AND TREES WITH A THREE-INCH MINIMUM DEPTH OF WOODCHIPS, PINE BARK, PEAT MOSS, OR OTHER MULCH ACCEPTABLE TO THE VILLAGE'S LANDSCAPE CONSULTANT.
- STAKE ALL TREES WITH TWO THREE-INCH-DIAMETER CEDAR STAKES 180° APART, REINFORCED RUBBER HOSE AROUND TREE (SIX FEET ZERO INCHES PLUS/MINUS ABOVE GRADE) AND TWISTED #10 GAUGE GALVANIZED WIRE WITH TURNBUCKLES. TREES LARGER THAN THREE-AND-ONE-HALF-INCH CALIPER SHALL BE STAKED WITH THREE STAKES EACH AT 120° APART.
- PLANT PITS SHALL BE 18 INCHES WIDER AND SIX INCHES DEEPER THAN THE ROOT BALL AT A MINIMUM. REMOVE ALL EXISTING SOIL, LOOSEN SIDES OF PIT WITH PICK, AND BACKFILL WITH A MIXTURE OF ONE PART PEAT-HUMUS TO FOUR PARTS TOPSOIL. ADD APPROPRIATE QUANTITIES OF COMPLETE COMMERCIAL FERTILIZER (NITROGEN, PHOSPHORIC ACID, AND POTASH) AND BONEMEAL.
- TREE TRUNKS SHALL BE WRAPPED WITH BURLAP, OR OTHER APPROVED WRAP, UP TO THE BOTTOM BRANCHES WITH 50% OVERLAP.
- ALL PLANTS AND WORKMANSHIP SHALL BE UNCONDITIONALLY GUARANTEED FOR TWO FULL PLANTING SEASONS, OR ONE CALENDAR YEAR, WHICHEVER IS LONGER.
- ALL PLANTS SHALL BE PRUNED BACK 1/4 TO 1/3 BRANCH LENGTHS IMMEDIATELY AFTER PLANTING, EXCEPT THAT MAIN LEADERS SHALL NOT BE CUT.
- ALL PLANTING SHALL BE INSTALLED UNDER THE DIRECTION OF A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT. THE VILLAGE'S LANDSCAPE CONSULTANT SHALL BE NOTIFIED 48 HOURS PRIOR TO PLANTING.
- PROVIDE THE VILLAGE BUILDING INSPECTOR AND VILLAGE LANDSCAPE CONSULTANT WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE STANDARDS OF AMERICAN STANDARD FOR NURSERY STOCK, THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- NO PLANTS EXISTING ON THE SITE SHALL BE REMOVED, EXCEPT FOR THOSE SPECIFICALLY IDENTIFIED ON THE DRAWINGS FOR REMOVAL. TREES AND VEGETATED AREAS TO REMAIN SHALL BE PROTECTED WITH BRIGHTLY COLORED TEMPORARY FENCING LOCATED BEYOND THE DRIPLINES.
- A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT SHALL CERTIFY THAT THE PLANTINGS WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLAN, AND SUCH CERTIFICATION SHALL BE PROVIDED TO THE VILLAGE'S LANDSCAPE CONSULTANT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL LANDSCAPE INSTALLATIONS SHALL BE MAINTAINED ON A REGULAR BASIS, AND SHALL NOT BE ALLOWED TO TAKE ON AN UNSIGHTLY APPEARANCE (EXCEPT FOR NATURAL AREAS WHICH SHALL BE ALLOWED TO GROW NATURALLY WITH A MINIMUM OF MAINTENANCE).



1 PARTIAL PLAN REAR YARD WEST
SCALE: 1/32"=1'-0"



2 PARTIAL PLAN FRONT YARD WEST
SCALE: 1/32"=1'-0"

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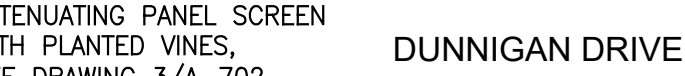
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**PROPOSED LANDSCAPE
PARTIAL PLAN AND
SCHEDULE (1 OF 2)**

DWG NUMBER :

A-701

PLANTING SCHEDULE



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PROPOSED LANDSCAPE PARTIAL PLAN AND SCHEDULE (2 OF 2)

DWG NUMBER :

A-702